

**CITY OF BOONVILLE
COUNCIL MEETING
AGENDA**

December 17, 2018

7:00 p.m.

**City Council Chambers
525 E. Spring Street
Boonville, Missouri**

Public Hearing 7:00 P.M. --

- **Requesting Voluntary Annexation and Zoning of a 3 Tracts of Land Located Between Rankin Mill Road and B Hwy, adjacent to Cooper County Memorial Hospital, Consisting of 14.29 Acres**
 - **Requesting Voluntary Annexation and Zoning of a Tract of Land Adjacent to 2501 West Ashley Road, Consisting of 3.1 Acres**
-

I. Call to Order – Pledge and Prayer (Brent Bozarth)

II. Roll Call

III. Hearing of Citizens' Comments

IV. Approval of the Minutes of the December 3, 2018 Council Meeting

V. Consent Items

a. None.

VI. Presentation of Accounts and Claims

VII. Unfinished Business

A) None.

VIII. New Business

- A) First Reading of Bill No. 2018-022 Authorizing Execution of Quit Claim Deed for "K" Barracks at the Kemper Campus
- B) First Reading of Bill No. 2018-023 Requesting Voluntary Annexation and Zoning of 3 Tracts of Land Located Between Rankin Mill Road and B Hwy, adjacent to Cooper County Memorial Hospital, Consisting of 14.29 Acres
- C) First Reading of Bill No. 2018-024 Requesting Voluntary Annexation and Zoning of a Tract of Land Adjacent to 2501 West Ashley Road, Consisting of 3.1 Acres
- D) First Reading of Bill No. 2018-025 Approving Final Site Plan for Expansion of Love's Truck Stop
- E) First Reading of Bill No. 2018-026 Approving Final Site Plan for Construction of Cooper County Ambulance District

IX. Reports of Standing Committees

- A) Board of Public Works – November 29, 2018 (Susan Meadows)
- B) Police Board – December 10, 2018 (Henry Hurt)
- C) Planning and Zoning Commission – December 11, 2018 (Whitney Venable)

X. Reports of City Officials

City Administrator

Mayor

- Committee Appointments

City Clerk

XI. Miscellaneous

XII. Adjourn

NOTICE: The City of Boonville will comply with the Americans with Disabilities Act (ADA). Individuals who require an accommodation due to disability to attend this meeting should contact our office at 660-882-2332 or Relay Missouri, 1-800-735-2966 TTY at least 48 hours in advance.

DRAFT PENDING CITY COUNCIL REVIEW AND APPROVAL

**City of Boonville
City Council Meeting Minutes
December 3, 2018**

The Boonville City Council met in Regular Session on December 3, 2018 at 7:00 p.m. in the Council Chambers. The following officers were present: Ned Beach, Mayor; Irl Tessendorf, City Administrator; and Teresa Studley, City Clerk. Interim City Counselor, Doug Abele, was absent.

CALL TO ORDER – PLEDGE AND PRAYER

The meeting was called to order and Ms. Susan Meadows led the prayer after the pledge of allegiance.

ROLL CALL

The following Council Representatives were present: Susan Meadows, Brent Bozarth, Henry Hurt, Morris Carter, Whitney Venable, Vanessa Dorman, Michael Stock, and Steve Young.

HEARING OF CITIZENS' COMMENTS

None.

APPROVAL OF THE MINUTES OF THE NOVEMBER 19, 2018 COUNCIL MEETING

The minutes were approved as presented.

CONSENT ITEMS

The following Consent Items were presented for approval:

- a. Consider Pay Request No. 1 from Earthworks Excavation and Associates, LLC in the amount of \$39,717.90 for Rice Mueller Stormwater Improvements
- b. Consider Change Order No. 1 from Earthworks Excavation and Associates, LLC in the amount of <\$0.00> for Rice Mueller Stormwater Improvements

Mr. Carter moved, and Mr. Bozarth seconded the motion to approve the Consent Items. Ayes: Meadows, Bozarth, Hurt, Carter, Venable, Dorman, Stock, and Young. Total (8). Opposed: None. Total (0). Absent: None. Total (0). Motion Carried.

PRESENTATION OF ACCOUNTS AND CLAIMS

Ms. Studley read the ordinance appropriating money, in its entirety, and a second time by title only, since a copy of the ordinance had been made available prior to the meeting. Mr.

Carter moved, and Mr. Venable seconded the motion for approval. Ayes: Meadows, Bozarth, Hurt, Carter, Venable, Dorman, Stock, and Young. Total (8). Opposed: None. Total (0). Absent: None. Total (0). Motion Carried.

UNFINISHED BUSINESS

None.

NEW BUSINESS

CONSIDER AUTO, PROPERTY, AND GENERAL LIABILITY INSURANCE PROPOSALS

- ***Insurance Presentations***

Mr. Tessendorf invited the two bidders to come forward and give a presentation regarding their insurance proposals.

Mr. Charlie Brown came before the Council representing Savers Insurance Group, the City's current insurance carrier. Mr. Brown reminded the Council that he was at the meeting 3 years prior with the previous insurance bid. Mr. Brown advised that because of the City's decision to go with Savers at that time, the City has saved approximately \$90,000-\$140,000 on insurance costs. The reason of the wide spread is because of an ongoing litigation that is still pending. Mr. Brown reminded the Council of a similar instance on an insurance bid where a new company came in with a lower bid and the City chose that new company. Eventually, after a rate increase from the new company, the City eventually chose a different company and ending up losing a net of \$20,000 overall with all the extra costs of moving to a different company. Mr. Brown explained to the Council that Savers has a B Rating, which is a good rating, and they anticipate that they will go to an A Rating in 2019. Mr. Brown explained a few items he felt were important. Mr. Brown explained that on non-monetary damages, which might include a sunshine law violation; where you are not being sued for money, but you still need to pay for defense; the Savers policy will pay up to \$10,000 in legal cost. But with the First State Insurance Agency (hereinafter FSIA), that cost is not covered at all. Mr. Brown advised that legal fees are outside the limits, which means you have the full limits plus the legal fees. He explained that FSIA's defense fees are a part of the limits. Mr. Brown advised that his organization has been in Missouri for over 38 years. There are over 320 cities that are insured at this time and 1,100 policies on the books for cities and counties. Mr. Brown advised that FSIA is new to the state and only has 2 policies in the State of Missouri. Mr. Brown informed the Council that if there is an earthquake, the City has coverage on all the \$55m plus worth of property that the City owns, with a 10% deductible. The FSIA policy only has \$10m worth of coverage, with a \$50,000 deductible.

Mr. Curtis Anderson, Vice President of FSIA, and Mr. Tim Connell, Commercial Insurance Consultant with Connell Insurance, Inc., came before the Council representing the Tokio Marine side of the insurance bid. Mr. Anderson advised that FSIA is a wholly owned subsidiary of First State Community Bank located in Farmington Missouri. FSIA currently manages \$80m-\$85m in premium. Mr. Connell thanked Mr. Tessendorf and his staff for

compiling the comparison chart with all the deductibles. It is such a diverse item. Mr. Connell advised that he was able to speak with Mr. Tessendorf in reference to the non-monetary damages' coverage. There has been some negotiation regarding this product if needed. Mr. Connell informed the Council that the City is being given a 3-year rate option. Based on the loss ratio's that the City is trending, this 3-year rate option is available to the City. Mr. Connell informed the Council that Connell Insurance, Inc. is the second largest rider as an agency in the state of tax districts and have now starting wholesaling with HCC. Mr. Connell advised that HCC is a market that he has searched out over the past 8 years to come into the State of Missouri. Mr. Connell was awarded with HCC after marketing to them for the past 8 years. They have finally chosen to come into the State of Missouri. Mr. Connell has passed that on to FSIA. Mr. Connell clarified regarding the earthquake coverage, they were aware that there was not enough coverage, therefore an additional policy has been secured along with the original policy for any overages that might occur. Mr. Connell explained the terminology of blanket coverage to the Council. Mr. Connell explained that if there was a shortage of coverage on one building, then the "blanket" will secure the coverage for an excess cost. Mr. Connell advised that currently, with Savers, there is a 10%-dollar deductible which is \$5m, which is not based on what the claim is. It is based on the total insured values that you have at the time of the claim. Mr. Connell stated that with FSIA, the deductible is \$50,000 and he negotiated a \$44m-\$45m additional rider with \$0 deductible; therefore, making it only a \$50,000 deductible payable up to the total amounts on the earthquake. Mr. Connell advised that the main thing that he says in the comparison is that the City currently has a \$25,000 deductible. Mr. Connell was pushing HCC for competitiveness on the file. Therefore, HCC was able to price it so low, therefore they offered a \$5,000 deductible on many of the insurance categories. Mr. Connell advised that they have been insuring tax districts since 2008. His company has over 125 cities and counties. HCC has over 25 agencies per state; therefore, he feels that his agency will be adequately versed to meet the needs of the City of Boonville. Mr. Stock questioned the non-monetary coverage of \$10,000. Mr. Connell responded that they were able to address that with the carrier and the carrier was able to come through with that at no additional charge.

- *Discussion*

Mr. Tessendorf explained to the Council that Ms. Fjell, Ms. Studley, and himself has spent considerable amount of time on the insurance bids and have compiled 3 separate pieces of information that has been included in the council packet, beginning on page 11. Mr. Tessendorf advised that he has tried to analyze this in a fair manner. There are many moving parts to it. Mr. Tessendorf brought the Council's attention to the memo that was included in the council packet. There is a comparison sheet that compares the bids to the current insurance policy and then there is a sheet of claims history that quantify the numbers with the two current bids based on past history.

Mr. Tessendorf directed the Council to the packet on page 14, to review and to give a better explanation of the figures on the comparison sheet that include both insurance bids. Mr. Tessendorf itemized category by category reviewing the limits and deductibles. Mr. Tessendorf also compared our current limits to the insurance bids submitted. Mr. Tessendorf reviewed the differences in the two insurance companies for each issue. Mr. Tessendorf explained that there are some differences based on how the deductible expenses and the fees are handled, vis-à-vis

the deductibles and the limits, in which Savers considers those to be outside those which is an advantage to Savers. In addition, on sewer backups, there are \$0 deductibles on the adjusting cost as well as the claim itself. In terms of FSIA, Option #2, that would put you up to a \$5,000 ceiling on those issues. The offset of FSIA, if you have a claim of over \$5,000, then you would end up paying more with Savers, than you would with FSIA. Mr. Tessendorf reviewed other issues with the Council involving: Law Enforcement, Employee Benefits, and Earthquake Coverage. Mr. Tessendorf explained that he decided to solicit some additional earthquake coverage to ensure that coverage for the City. Mr. Tessendorf gave the Council a summary of the total cost annually for each insurance company: Savers Insurance at \$244,216.00 and FSIA would be \$202,328 plus \$20,622 extra Earthquake Limit Increase – totaling \$222,950.00.

Mr. Tessendorf directed the Council to page 12 of the council packet and reviewed the pros and cons of each insurance company. Mr. Tessendorf noted a typo in the council packet. It states that Savers is not owned by a Chinese company; however, it *is* owned by a Chinese company. Tokio Marine is owned by a Japanese company.

Mr. Tessendorf stated that one might question how one weighs the advantages that Savers has in terms of the billing of their claims, expense, defense, and the terms of the sewer having no cost to the city, versus FSIA having lower deductibles in 4 of the 5 coverages. Mr. Tessendorf was wanting to see how these numbers balance out with each other. To assist with that, one of his staff has included a spreadsheet, beginning on page 20 of the council packet, which has taken the claims history from the past 7 years and compared the costs of actual claims, to what the City's potential cost might have been with each insurance companies bid proposal. Mr. Tessendorf reviewed the 7 years of history with the Council. Mr. Tessendorf explained that sewer backups are a prominent issue and there will still be some sewer claims, but they are improving. It is worth noting that the City has spent 12 years improving our sewer systems thru the work and manhole repairs completed by Insituform. The Council can see that the City's total responsibility of 2011-2017 with Savers is \$1,810,795.44 and FSIA would be \$1,640,761.79.

Mayor Beach thanked the staff for the comparisons and the claims history spreadsheets. There were no questions by Council. Mr. Young moved, and Mr. Bozarth seconded the motion to accept the bid with First State Insurance Agency Option # 2 for \$222,950, plus the extra increase of \$1.0m on limits for an extra cost of \$2,439. With no questions, roll call was taken. Ayes: Meadows, Bozarth, Hurt, Carter, Venable, Dorman, Stock, and Young. Total (8). Opposed: None. Total (0). Absent: None. Total (0). Motion Carried.

REPORTS OF STANDING COMMITTEES

HOUSING AUTHORITY – NOVEMBER 14, 2018

Mr. Carter reported that the meeting was good and everything is in good shape.

STREET, ALLEY, AND SANITATION REPORT – NOVEMBER 28, 2018

Mr. Stock reported that the meeting was cancelled.

INDUSTRIAL DEVELOPMENT AUTHORITY – NOVEMBER 15, 2018

Mr. Young reported that he was unable to attend the meeting. The minutes are available in the council packet. Mayor Beach was able to attend. Mayor Beach advised that there were some good things happening there. There were no questions.

REPORTS OF CITY OFFICIALS

CITY ADMINISTRATOR

Mr. Tessendorf reminded the council that the budget season is approaching. The Council will want to remember to allow work session meeting times to be open, which will begin before the Council meetings starting in the middle of January. Mr. Tessendorf informed the Council that the mayor will have some items that will be reviewed regarding the budget this year that the mayor will be discussing with them soon.

MAYOR

No report was offered.

CITY CLERK

Ms. Studley reported that on Friday, November 30, 2018, the following City Employees volunteered an hour of their time to ring the bell to benefit our community through the Salvation Army. The 2018 bell ringers were Mark Strange, Tom Goon, Whitney Venable, Darrell Harris, Tina Glover, Kim Gerlach, Ned Beach, Charrity Shively, Guy Kaiser, Jesse Keeran, Nick Edwards, Mike Groves, Kate Fjell, John Kaiser, Cole Potter, and Ms. Studley. Ms. Studley offered her thanks to everyone that participated.

Ms. Studley announced that the Candidate filing period for the April 2, 2019 Municipal Election will open on Tuesday, December 11, 2018 from 8:00 a.m. to the Closing Date of January 15, 2019 at 5:00 p.m. The offices to be filled for this upcoming election are for a 2-year term for each Council Representative for Wards 1 through 4 for those seated on her right and also the office of the City Prosecuting Attorney which is a 2-year term. Interested parties will complete a declaration of candidacy, pay a \$25.00 filing fee with the City Clerk at City Hall located at 401 Main Street in Boonville and have their city taxes paid and all user fees current on the last day to file. A public notice of this filing period was published in the Boonville Daily News on November 30th.

MISCELLANEOUS

Ms. Dorman inquired if Ms. Fjell would give the Council an update for the Boonville's Miracle on Main Street Christmas Event. Ms. Fjell reported that it was a success. Ms. Fjell reported that there were great volunteers for the open house tours. This year many of the houses were more petite. The weather cooperated this year for the event. The parade was great, and the shops downtown were full. Ms. Fjell reported that the children's community play was a success

as well. Ms. Fjell commended Ms. Katie Gibson and Ms. Jade Danner for all their hard work preparing for this event.

ADJOURN

With no further discussion, Mr. Young moved, and Ms. Meadows seconded the motion to adjourn at 7:37 p.m. and the voice vote was unanimous.

Respectfully Submitted,

Teresa Studley, City Clerk

Approved:

Ned Beach, Mayor

ORDINANCE APPROPRIATING MONEY

Be it Ordained by the Council of the City of Boonville, as follows:

Section 1: For the purpose of paying salaries and various accounts against the City of Boonville, which have been allowed by the Council, at the regular meeting thereof on December 17, 2018 the sum of **\$630,873.98**

General Fund	\$310,177.04
Sanitation	\$18,617.39
CIP Tax	\$3,562.97
Water Works	\$84,026.05
Capital Projects	\$0.00
Waste Water	\$74,159.31
Tourism	\$8,226.45
Gaming	\$130,122.57
Parks/Water	\$1,982.20

Section 2: The Accountant is hereby authorized and instructed to draw checks on the respective City bank accounts, in favor of the persons whose salaries and accounts have been allowed as above, amounting to **\$630,873.98** being the total amount of money above appropriated.

Section 3: This ordinance shall take effect and be in force from and after its passage. First reading on December 17, 2018 read for the second time this 17th day of December, 2018 since a copy was made available prior to the meeting.

Approved December 17, 2018 _____
Mayor

Endorsed December 17, 2018: I hereby certify that a sufficient sum of money stands to the credit of the City, unappropriated, in the various funds to meet the requirements of this ordinance.

Accountant

BILL NO. 2018-022

ORDINANCE NO. _____

**AN ORDINANCE OF THE CITY OF BOONVILLE, MISSOURI, AUTHORIZING
EXECUTION OF A QUIT CLAIM DEED FOR TRANSFER OF REAL ESTATE
KNOWN AS “K BARRACKS” FROM THE BOONSLICK COMMUNITY
DEVELOPMENT CORPORATION TO THE CITY OF BOONVILLE**

WHEREAS: the Boonslick Community Development owns K Barracks acquired in 2016. The building and perimeter which are the subject of this Ordinance are more particularly described in **Exhibit A** and the sketch attached hereto and incorporated by reference; and

WHEREAS: the City Council has determined that K Barracks is vacant and has fallen into disrepair. The structure has no known prospects for repair and renovation, and public safety requires that it be demolished in a safe and cost-effective manner; and

WHEREAS: the Boonslick Community Development Corporation, Inc. (hereinafter “BCDC”) has been established to assist the City with historic and economic redevelopment of community assets; to create jobs; to advance cultural, historic and artistic endeavors; and to partner with other entities to improve the quality of life in the community; and

WHEREAS: the BCDC took ownership of K Barracks and had the asbestos abated from the building and it is now ready for the City to resume ownership to coordinate and manage the demolition of the building.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BOONVILLE, MISSOURI, AS FOLLOWS:

SECTION 1: That the building commonly known and identified as K Barracks is depicted and described as set out in **Exhibit A** attached hereto and is owned by the BCDC.

SECTION 2: The BCDC has completed remediation of the asbestos in the building, the Mayor is hereby authorized to execute the Quit Claim Deed attached hereto as **Exhibit B**, legally transferring all right, title and interest in K Barracks and its perimeter to the City of Boonville., and the City Clerk is thereafter authorized and instructed to record said deed in the land records of Cooper County, Missouri as BCDC authorized and had executed the Quit Claim Deed.

SECTION 3: This ordinance shall take effect and be in full force from and after its passage and approval.

FIRST READING: DECEMBER 17, 2018

READ FOR THE SECOND TIME AND PASSED THIS 7th DAY OF JANUARY 2019, AFTER A COPY OF THIS ORDINANCE AND REFERENCED DOCUMENTS HAVE BEEN MADE AVAILABLE FOR PUBLIC INSPECTION PRIOR TO ITS FIRST AND SECOND READING.

Ned Beach, President of the Council

APPROVED THIS 7th DAY OF JANUARY, 2019

Ned Beach, Mayor

ATTEST:

Teresa Studley, City Clerk

Exhibit "A"

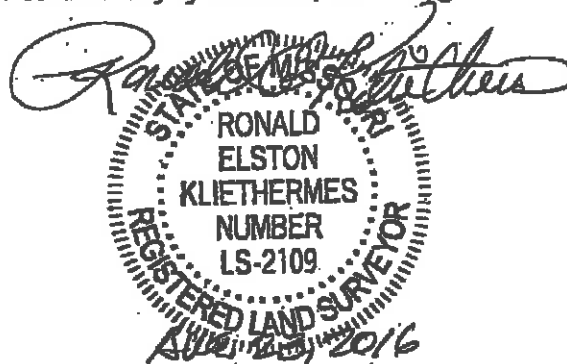
Description of the parcel of land containing the "K Barracks Dormitory Building" on the campus of the former Kemper Military Academy, Boonville, Missouri:

PARCEL DESCRIPTION: A parcel of land containing the "K. Barracks Dormitory Building" on the former Kemper Military Academy campus property previously conveyed to the City of Boonville, Missouri per deed filed in Book 406, Page 751 of the Cooper County Records, located in the Northeast Quarter of Section 35, Township 49 North, Range 17 West, City of Boonville, Cooper County, Missouri, with the parcel boundary containing said building being further located and described as follows: Commencing at the intersection of the southerly right-of-way line of Vine Street with the westerly right-of-way line of Third Street in said City of Boonville; thence S.13°01'10"E, along said west right-of-way line of Third Street for a distance of 368.2 feet; thence departing said right-of-way line S.76°58'50"W for a distance of 304.5 feet to a point on the western back of curb of an existing access lane, said point being 15.0 feet north and 8.8 feet east from the northeastern corner of said building, and being the point of "BEGINNING" for this parcel description; thence around the outer perimeter of said parcel containing the "K" Barracks Building on the following courses; S.13°05'00"E along said west back of curb for 200.0 feet to a point which is 6.7 feet south and 2.5 feet east from the southeastern corner of said building; thence departing said curb S.76°55'00"W for 157.0 feet to a point which is 6.7 feet south and 15.0 feet west from the southwest corner of said building; thence N.13°05'00"W for 55.0 feet; thence N.76°55'00"E for 97.0 feet; thence N.13°05'00"W, for 145.0 feet; thence N.76°55'00"E for 60.0 feet to the point of "Beginning", containing 0.40 acres, (17,335 sq. ft.), more or less, and being subject to or having the benefit of restrictions and easements of record or not of record. (Bearings are relative to the Boonville Project Control Network, NAD83, MO State Plane Central Zone).

End of Description

Prepared by: MEC:O Engineering Co., Inc.

Proj. No. 454-001.16 / City of Boonville, MO / August 23, 2016 / REK



QUIT CLAIM DEED

Exhibit "B"

THIS INDENTURE, is made this _____ day of December, 2018, by and between the Boonslick Community Development Corporation, a registered Missouri corporation, by and through the President thereof hereinafter known as "GRANTOR," and the City of Boonville, a municipal corporation of the State of Missouri hereinafter known as "GRANTEE."

WINTESSETH, that the GRANTOR, in consideration for the sum of \$1.00 and other good and valuable consideration the receipt and sufficiency of which is hereby acknowledged, does hereby RELEASE, REMISE, AND FOREVER QUIT CLAIM unto the GRANTEE all right, title and interest in the following described real property in Cooper County, State of Missouri, to wit:

A parcel containing the building commonly known as the "K Barracks" of the formerly existing Kemper Military School in the City of Boonville, Missouri, more particularly described in the attached legal description at **Exhibit A**, which is incorporated in this deed.

TO HAVE AND TO HOLD THE SAME, with all rights, immunities, privileges, and appurtenances thereto belonging, unto the GRANTEE, so that neither the GRANTOR nor any other persons, successors, heirs or assigns or any successor corporation in its own name or claiming in GRANTOR'S behalf shall or will hereafter claim or demand any right, title, or interest in the aforesaid premises or any part thereof, but they and every one of them shall, by these presents, be excluded and forever barred.

GRANTOR, Boonslick Community Development Corporation:

By: Irl Tessendorf, President

ATTEST: _____
Wilbert Meyer, Vice President

IN WITNESS WHEREOF, the GRANTEE has hereunto set its hand in acceptance of this deed the day and year first written above.

Ned Beach, Mayor

STATE OF MISSOURI)
) ss.
COUNTY OF COOPER)

On this ____ day of January, 2019, before me personally appeared Ned Beach, known to be the person described in and who accepted the foregoing instrument, and acknowledged that he accepted this deed as his free act and voluntary act on behalf of the City of Boonville, Missouri and declared himself to be the Mayor.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal, at my office in the County and State aforesaid, the day and year last above written.

NOTARY PUBLIC

My commission expires: _____.

Exhibit "A"

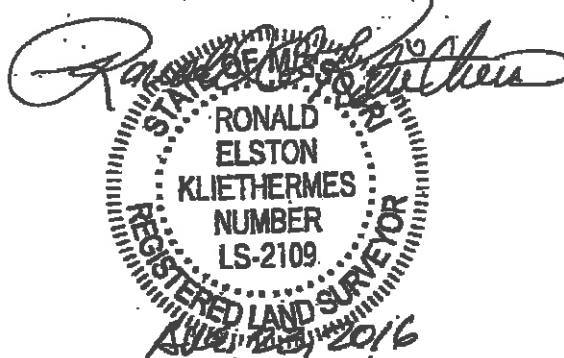
Description of the parcel of land containing the "K Barracks Dormitory Building" on the campus of the former Kemper Military Academy, Boonville, Missouri:

PARCEL DESCRIPTION: A parcel of land containing the "K. Barracks Dormitory Building" on the former Kemper Military Academy campus property previously conveyed to the City of Boonville, Missouri per deed filed in Book 406, Page 751 of the Cooper County Records, located in the Northeast Quarter of Section 35, Township 49 North, Range 17 West, City of Boonville, Cooper County, Missouri, with the parcel boundary containing said building being further located and described as follows: Commencing at the intersection of the southerly right-of-way line of Vine Street with the westerly right-of-way line of Third Street in said City of Boonville; thence S.13°01'10"E, along said west right-of-way line of Third Street for a distance of 368.2 feet; thence departing said right-of-way line S.76°58'50"W for a distance of 304.5 feet to a point on the western back of curb of an existing access lane, said point being 15.0 feet north and 8.8 feet east from the northeastern corner of said building, and being the point of "BEGINNING" for this parcel description; thence around the outer perimeter of said parcel containing the "K" Barracks Building on the following courses; S.13°05'00"E along said west back of curb for 200.0 feet to a point which is 6.7 feet south and 2.5 feet east from the southeastern corner of said building; thence departing said curb S.76°55'00"W for 157.0 feet to a point which is 6.7 feet south and 15.0 feet west from the southwest corner of said building; thence N.13°05'00"W for 55.0 feet; thence N.76°55'00"E for 97.0 feet; thence N.13°05'00"W, for 145.0 feet; thence N.76°55'00"E for 60.0 feet to the point of "Beginning", containing 0.40 acres, (17,335 sq. ft.), more or less, and being subject to or having the benefit of restrictions and easements of record or not of record. (Bearings are relative to the Boonville Project Control Network, NAD83, MO State Plane Central Zone).

End of Description

Prepared by: MEC:O Engineering Co., Inc.

Proj. No. 454-001.16 / City of Boonville, MO / August 23, 2016 / REK



BILL NO. 2018-023

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF BOONVILLE, MISSOURI ANNEXING CERTAIN CONTIGUOUS TERRITORY, OWNED BY COOPER COUNTY, OF 3 TRACTS OF LAND LOCATED IN NE QUARTER OF SECTION 11, TOWNSHIP 48 N, RANGE 17 W (TRACT 1, TRACT 3-16895 RANKIN MILL LANE- FUTURE ADDRESS 600 RANKIN MILL LANE, AND TRACT 4- FUTURE ADDRESS 604 RANKIN MILL LANE) ADJACENT TO COOPER COUNTY MEMORIAL HOSPITAL AND 17833 B HWY INTO THE CITY OF BOONVILLE, MISSOURI; ZONING THE PROPERTY AS C-1 COMMERCIAL DISTRICT; PROVIDING AN EFFECTIVE DATE THEREFORE, AND REPEALING ALL ORDINANCES IN CONFLICT WITH THIS ORDINANCE.

WHEREAS, verified petition, herein attached as "ATTACHMENT A" and made a part hereof, signed by all the owners of the real estate hereinafter described as to a 14.29 Acre tract, as described in a General Warranty Deed which was filed of record in the office of the Recorder of Deeds of Cooper County, Missouri on July 31, 1969 in Book 138, Page 394, of land requesting annexation of said territory into the City of Boonville, Missouri was filed with the City Clerk on October 15, 2018; and

WHEREAS, the petition is requesting annexation into the City of Boonville and includes an application for the property to be zoned as a C-1 Commercial District; and

WHEREAS, said real estate as hereinafter described is contiguous and compact to the present corporate limits of the City of Boonville, Missouri; and

WHEREAS, the Planning and Zoning Commission reviewed and approved the zoning application to place the Cooper County tracts of approximately 14.29 acres herein legally described into the C-1 Commercial district; and

WHEREAS, presentation and public hearings of the application for zoning and verified petition for voluntary annexation concerning said matters were held at the City Council Chambers in Boonville, Missouri on December 11, 2018 at 6:00 PM before the

Planning and Zoning Commission and on December 17, 2018 at 7:00 PM before the City Council; and

WHEREAS, notices of said Public Hearing were given by publication of notice thereof, on November 26, 2018 and November 30, 2018 in the Boonville Daily News, a daily newspaper of a general publication in Cooper County, State of Missouri and to the owners of property within 185 feet by certified mail or personal service; and

WHEREAS, at said Public Hearings, all interested persons, corporations, or political subdivisions were afforded the opportunity to present evidence regarding the proposed zoning and annexation; and

WHEREAS, no written objection to the proposed annexation was filed with the City Council of the City of Boonville, Missouri within fourteen days after the public hearing; and

WHEREAS, the City is able to furnish normal municipal services to said area within a reasonable time after annexation; and

WHEREAS, the City Council of the City of Boonville, Missouri, does find and determine that said annexation is reasonable and necessary to the proper development of the City of Boonville.

NOW THEREFORE, be it ordained by the City Council of the City of Boonville, Missouri, as follows:

SECTION 1: Pursuant to the provisions of Section 71.012 RSMo as amended, the real estate described to wit in "ATTACHMENT A" attached hereto and made a part hereof, is hereby annexed into the City of Boonville, Missouri.

SECTION 2: The boundaries of the City of Boonville, Missouri are hereby altered so as to encompass the real estate described to wit in "ATTACHMENT A" lying contiguous and compact to the present corporate limits.

SECTION 3: The City Council of the City of Boonville, Missouri does place this property in District C-1 district as recommended by the P&Z Commission.

SECTION 4: This property will be placed in Ward Three of the City of Boonville, Missouri.

SECTION 5: The City Clerk of the City of Boonville is hereby ordered to cause three certified copies of this ordinance to be filed with the Cooper County Clerk, one copy recorded with the Cooper County Recorder of Deeds and one copy forwarded to the City Engineer for updating City maps and boundaries.

SECTION 6: This ordinance shall take effect and be in force from and after its passage.

SECTION 7: All ordinances or parts of ordinances in conflict with this ordinance are hereby repealed.

FIRST READING: December 17, 2018

SECOND READING: January 7, 2019

READ FOR THE SECOND TIME THIS 7th DAY OF JANUARY, 2019 AFTER A COPY OF THIS ORDINANCE AND EXHIBITS REFERENCED HEREIN HAVE BEEN MADE AVAILABLE FOR PUBLIC INSPECTION FOLLOWING ITS FIRST READING AND PUBLIC HEARINGS ON THE ZONING AND ANNEXATION MATTERS WERE PROPERLY HELD.

NED BEACH, PRESIDENT OF THE COUNCIL

APPROVED THIS 7th DAY OF JANUARY, 2019.

NED BEACH, MAYOR

ATTEST:

TERESA STUDLEY, CITY CLERK



RECEIVED
11.15.18

SAMPLE
VERIFIED PETITION TO THE CITY OF BOONVILLE, MISSOURI
FOR THE ANNEXATION AND
APPLICATION FOR ZONING OF PROPERTY

County of Cooper, husband and wife / single, residing at
200 Main Street in Cooper County, Boonville, Missouri,
(street address)

65233 hereby presents this as their verified Petition for Annexation of Real Estate into the City of Boonville, Missouri (the "City"), pursuant to Section 71.012 RSMo., and their Application for the zoning of said real estate under the Ordinances of the City of Boonville. The Owners/Petitioners hereby request the City of Boonville as follows:

1. **Real Estate ("Property"):** The Real Estate (the "Property") to which this Petition relates is a 14.29 acre tract as described in a General Warranty Deed
(size of tract)
which was filed of record in the office of the Recorder of Deeds of Cooper County, Missouri on July 31, 1969 in Book 138, Page 394 The real property which is the
(date recorded) (book #) (page #)
subject of this Petition is legally described on Exhibit A, which is attached
hereto and incorporated herein by reference. (exhibit letter)

2. **Contiguity:** The above described and referenced real property is contiguous with and compact to the existing corporate limits of the City of Boonville, Missouri.

3. **Ownership:** The undersigned Owners/Petitioners are the owner of the fee simple interest in the above referenced Real Estate.

4. **Annexation Requested:** Owners/Petitioners request that the above referenced real estate be annexed into the corporate limits of the City of Boonville, Missouri, and submits that this annexation request by Owners/Petitioners is reasonable and necessary to the proper development of the City of Boonville. This 14.29 acre
(size of tract)
tract is contiguous to the City limits and provides continuity for the _____
(neighboring property name)
property, also petitioning concurrently for annexation to the City. Owners/Petitioners submit that the City of Boonville has the ability to furnish normal municipal services to the above referenced real property within a reasonable time.

5. **Public Hearings Requested:** Owners/Petitioners request that a public hearing concerning the request for annexation in this Petition be held not less than fourteen (14) days nor more than sixty (60) days after the date this Petition is filed with the City of Boonville, Missouri, and that such hearing be held not less than seven (7) days after the notice of such hearing is published in a newspaper of general circulation qualified to publish notices of legal matters. Owners/Petitioners also request that the Planning and Zoning Commission of the City of Boonville schedule a public hearing in accordance with the Ordinances of the City with respect to the rezoning of the Property.

6. **No Known Objection:** Owners/Petitioners know of no objection by any qualified voter to this Annexation Petition.

7. **Zoning Requested:** Pursuant to Section 101.1, Part Ten of Ordinance No. 1948 of the City of Boonville's Code of Ordinances, Owners/Petitioners request that the Property be categorized and zoned in the C-1
(zoning code and zoning district name)

8. **Authority:** The undersigned Owners/Petitioners represent and warrant that they have full power and authority to execute this Petition and Application and that same has been executed and delivered to the City of Boonville, Missouri, as the free act and deed of Owners/Petitioners, and that this Petition has been duly verified in the manner required by the laws of the state of Missouri and ordinances of the City of Boonville. The undersigned Owners/Petitioners also represent that the tract described herein is currently being marketed for sale and that any purchaser shall be apprised of the pending petition, hearings and obligations including the requirement and costs for hooking onto the sewer line that is to be placed in the adjacent road right-of-way. In the event the annexation proceedings are not completed prior to any closing and new ownership of the property, the Owners/Petitioners shall immediately notify the City in order to take the necessary legal steps to verify new ownership and substitute parties for a valid annexation.

9. **Procedural Matters:** In addition to the foregoing petition and request, the Owners/Petitioners submit the following:

a. No portion of the Property is within the incorporated boundaries of any other municipality.

b. The Property is not presently zoned because Cooper County does not have a zoning ordinance or planning and zoning.

c. The proposed uses of the Property are substantially similar to and compatible with adjacent property usage.

d. Petitioners submit that the zoning requested is proper and necessary in order to permit the Property to be used in the manner hereafter described.

185 e. The names and addresses of owners of property located within feet of the subject property are attached hereto as Exhibit B.
(# of feet) (exhibit letter)

f. A location map clearly showing the location of the property for which zoning and annexation is requested is attached hereto as Exhibit C.
(exhibit letter)

g. The Owners/Petitioners believe that their annexation and zoning application as hereby submitted is complete in all respects; however, Owners/Petitioners request permission to supplement and amend same to the extent that the City's legal counsel deems this Petition and Application to be deficient in any respect.

10. **Date of Petition:** This Petition and Application has been submitted to the City of Boonville, Missouri in the manner required by the Ordinances of the City of Boonville on this 15th day of November 2018

Verification

County of Cooper

The undersigned, by Don Baragary, husband and wife / single,
(name)

being of lawful age and being duly sworn, state and verify that the undersigned have reviewed the foregoing Petition for Annexation and Application for Zoning and that they are, for the purposes of this application, the Owners of the above referenced real estate and state, affirm, verify and acknowledge that they are duly authorized to execute the foregoing Petition and Application and hereby verify that the matters and facts set forth in the foregoing Petition are true and correct to the best of their knowledge and belief.

IN WITNESS WHEREOF, the Owner/Petitioner has executed this verification for the foregoing intents and purposes.

Petitioner Name

County of Cooper

Don Baragary Presiding Commissioner
Petitioner Name

State of Missouri)

) ss.

County of Cooper)

On this 15 day of November 2018, before me, a Notary Public, in and for said county and state, personally appeared Don Baragary, known to be to
(name)

be the persons who executed the foregoing Petition for Annexation and Application for Zoning and who upon their oath and upon being duly sworn, verified and acknowledged to me that they executed the same as their free act and deed for the purposes therein stated, and that the facts therein stated are true to the best of their knowledge and belief.



DIANA L. THOMAS
My Commission Expires
August 4, 2021
Cooper County
Commission #18009106

My commission expires Aug 4, 2021

Diana Thomas

Notary Public

Commissioned in Cooper County, MO

EXHIBIT A
TO PETITION FOR ANNEXATION AND REZONING

Legal Description - _____ Property

(name)

Lot # 134 of Cooper County ^{Lot Split} is shown and designated on the Recorded Plat of said
(subdivision)
subdivision as Recorded in Survey Book 2017, Page 266 in the Office of Cooper
(book #) (page #)
County Recorder. Subject to Easements and Restrictions of Record.

See Attached

EXHIBIT B
TO PETITION FOR ANNEXATION AND REZONING

Owners within 185 Feet of Subject Properties

NE 1/4 SEC 11-T48N-R17W
NW 1/4 SEC 12-T48N-R17W

Exhibit "A"

SHAFFER, KLINE & WARREN

107 Butler Street

Macon, MO 63552-1628

660.385-6441 FAX: 660.385-6614

SURVEYING | ENGINEERING | CONSTRUCTION
MISSOURI CERTIFICATE OF AUTHORITY: 000143



SURVEYED FOR:
*Cooper County Commission
200 Main Street, Room 24
Boonville, MO 65233-1276*

Tract 1

A tract of land located in the Northeast Quarter of Section 11, and the Northwest Quarter of Section 12, Township 48 North, Range 17 West, Cooper County, Missouri, said parcel being previously described in Trustees Deed at Book 195 Pages 37 and 38 and in Warranty Deed at Book 138 at page 394 of the Cooper County Record, said tract being more particularly described as follows:

Commencing at a found Type A monument marking the East Quarter Corner of Section 11, Township 48 North, Range 17 West as referenced by Corner Document # 600-25495; thence along the Quarter Section line North 01 degrees 07 minutes 53 seconds East a distance of 905.00 feet to the Point of Beginning; thence leaving said Quarter Section line North 88 degrees 52 minutes 07 seconds West a distance of 879.92 feet to the Easterly right-of-way of Route B; thence along the said right-of-way, North 02 degrees 57 minutes 47 seconds East a distance of 346.46 feet; thence North 02 degrees 55 minutes 17 seconds East a distance of 132.77 feet; thence South 88 degrees 52 minutes 07 seconds East a distance of 75.61 feet; thence North 33 degrees 22 minutes 34 seconds East a distance of 469.41 feet to a point on the Southerly right-of-way of Rankin Mill road; thence along said Southerly right-of-way, South 44 degrees 14 minutes 49 seconds East a distance of 15.00 feet; thence South 59 degrees 33 minutes 05 seconds East a distance of 56.95 feet; thence leaving said right-of-way, South 32 degrees 48 minutes 56 seconds West a distance of 232.77 feet; thence South 63 degrees 53 minutes 32 seconds East a distance of 196.92 feet; thence South 32 degrees 48 minutes 56 seconds West a distance of 83.88 feet; thence South 63 degrees 37 minutes 36 seconds East a distance of 331.85 feet; thence North 32 degrees 48 minutes 56 seconds East a distance of 250.00 feet; thence South 54 degrees 58 minutes 02 seconds East a distance of 354.12 feet; thence leaving said Southerly right-of-way, South 76 degrees 49 minutes 48 seconds West a distance of 267.56 feet to a found iron pipe on the Section line; thence along said Section line, South 01 degrees 07 minutes 53 seconds West a distance of 292.59 feet to the Point of Beginning, said tract of land containing 11.20 acres, more or less. Tract 1 is subject to a 30 foot waterline easement over an existing waterline and a 20 foot utility easement as shown on Survey by SKW.

Tract 3

A tract of land located in the Northeast Quarter of Section 11, Township 48 North, Range 17 West, Cooper County, Missouri, said tract being more particularly described as follows:

Commencing at a found Type A monument marking the East Quarter Corner of Section 11, Township 48 North, Range 17 West as referenced by Corner Document # 600-25495; thence along the Quarter Section line North 01 degrees 07 minutes 53 seconds East a distance of 905.00 feet; thence leaving said Quarter Section line North 88 degrees 52 minutes 07 seconds West a distance of 879.92 feet to the Easterly right-of-way of Route B; thence along the said right-of-way, North 02 degrees 57 minutes 47 seconds East a distance of 346.46 feet; thence North 02 degrees 55 minutes 17 seconds East a distance of 132.77 feet; thence South 88 degrees 52 minutes 07 seconds East a distance of 75.61 feet; thence North 33 degrees 22 minutes 34 seconds East a distance of 469.41 feet to a point on the Southerly right-of-way of Rankin Mill road; thence along said Southerly right-of-way, South 44 degrees 14 minutes 49 seconds East a distance of 15.00 feet; thence South 59 degrees 33 minutes 05 seconds East a distance of 56.95 feet to the Point of Beginning; thence leaving said right-of-way, South 32 degrees 48 minutes 56 seconds West a distance of 232.77 feet; thence South 63 degrees 53 minutes 32 seconds East a distance of 196.92 feet; thence North 32 degrees 48 minutes 56 seconds East a distance of 216.12 feet to the Southerly right-of-way of Rankin Mill Road; thence along said right of way, North 54 degrees 58 minutes 02 seconds West a distance of 21.62 feet; thence North 59 degrees 33 minutes 05 seconds West a distance of 174.12 feet to the Point of Beginning, said tract of land containing 1.01 acres, more or less. Tract 3 is subject to a 30 foot waterline easement over an existing waterline and a 20 foot utility easement as shown on Survey by SKW.

Tract 4

A tract of land located in the Northeast Quarter of Section 11, Township 48 North, Range 17 West, Cooper County, Missouri, said tract being more particularly described as follows:

Commencing at a found Type A monument marking the East Quarter Corner of Section 11, Township 48 North, Range 17 West as referenced by Corner Document # 600-25495; thence along the Quarter Section line North 01 degrees 07 minutes 53 seconds East a distance of 905.00 feet; thence leaving said Quarter Section line North 88 degrees 52 minutes 07 seconds West a distance of 879.92 feet to the Easterly right-of-way of Route B; thence along the said right-of-way, North 02 degrees 57 minutes 47 seconds East a distance of 346.46 feet; thence North 02 degrees 55 minutes 17 seconds East a distance of 132.77 feet; thence South 88 degrees 52 minutes 07 seconds East a distance of 75.61 feet; thence North 33 degrees 22 minutes 34 seconds East a distance of 469.41 feet to a point on the Southerly right-of-way of Rankin Mill road; thence along said Southerly right-of-way, South 44 degrees 14 minutes 49 seconds East a distance of 15.00 feet; thence South 59 degrees 33 minutes 05 seconds East a distance of 56.95 feet; thence South 59 degrees 33 minutes 05 seconds East a distance of 174.12 feet; thence South 54 degrees 58 minutes 02 seconds East a distance of 21.62 feet to the Point of Beginning; thence leaving said right-of-way, South 32 degrees 48 minutes 56 seconds West a distance of 300.00 feet; thence South 63 degrees 37 minutes 36 seconds East a distance of 331.85 feet; thence North 32 degrees 48 minutes 56 seconds East a distance of 250.00 feet to the Southerly right-of-way of Rankin Mill Road; thence along said right of way, North 54 degrees 58 minutes 02 seconds West a distance of 330.00 feet to the Point of Beginning, said tract of land containing 2.08 acres, more or less. Tract 4 is subject to a 20 foot utility easement as shown on Survey by SKW.

180065-010
+ Sec 11-T48N-R17W
COOPER COUNTY, MISSOURI
-010LOTSPLIT.DWG

EXHIBIT B

List of property owners within 185 feet of proposed annexed property.

Donald E. & Diana Foster – 17075 Rankin Mill Lane, Boonville, MO 65233

Hartmann Village – 615 Rankin Mill Lane, Boonville, MO 65233

David Simmons – 16942 Rankin Mill Lane, Boonville, MO 65233

Gerald A. & Judy F. Zepnick Trust, 614 Woodland Park Dr., Boonville, MO 65233

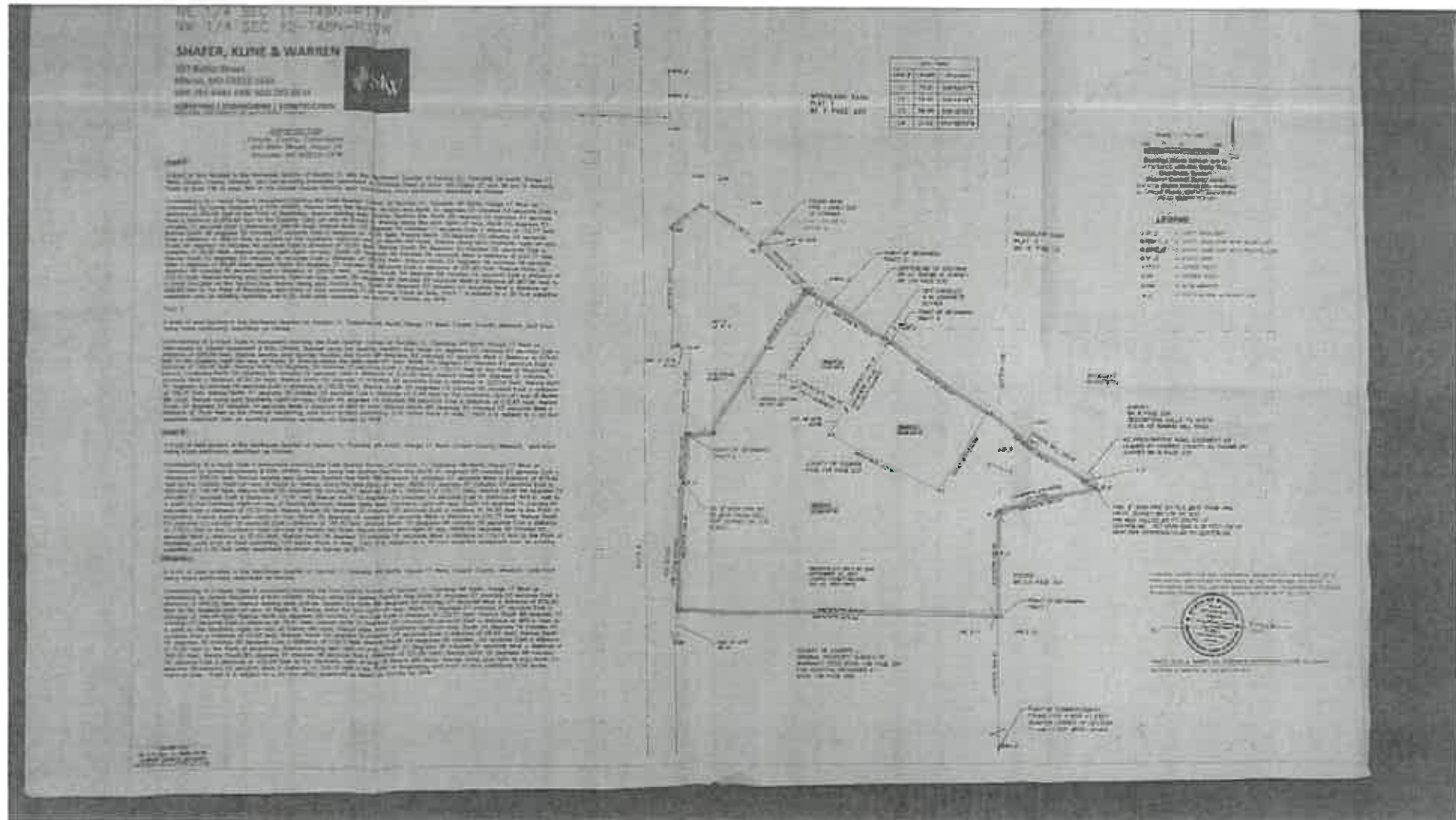
Sharon Schroeder – 601 Woodland Park Dr., Boonville, MO 65233

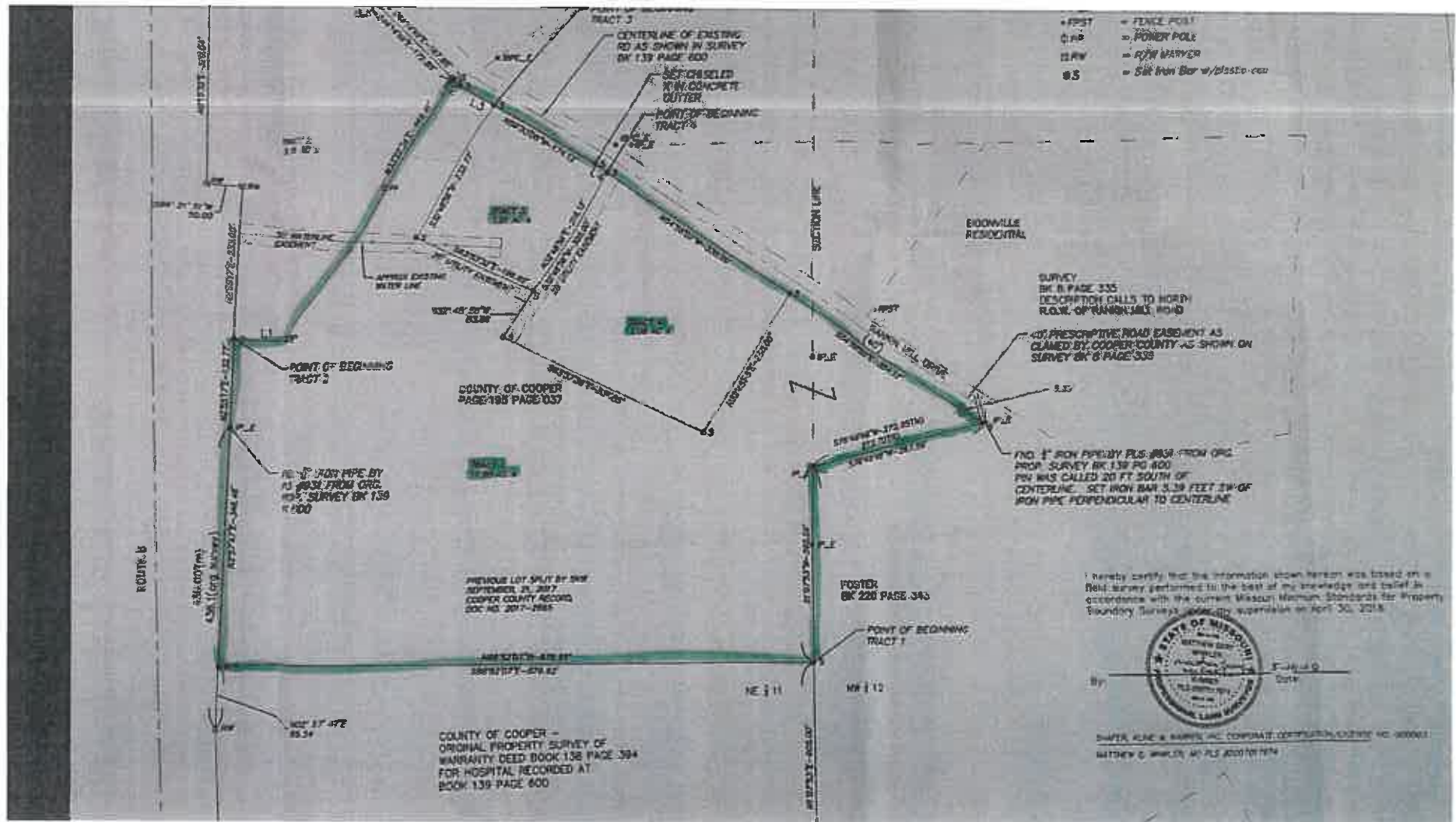
Nancy L. Wallace Trust – 605 Woodland Park Dr., Boonville, MO 65233

Cooper County Community Memorial Hospital, LLC. – ¹⁷⁶⁵¹~~17833~~ B Hwy., Boonville, MO 65233

BTC Bank – 400 Main Street, Boonville, MO 65233

~~Missouri Housing Development Loan Services – 3435 Broadway, Kansas City, MO 64111-2403~~
Boonville Associates I, LP -- Attn: Darin Preis,
807 B North Providence Road, Columbia MO 65203





COOPER COUNTY COMMISSION

Commission Phone: 660/882-2228
200 Main St., Room 24
BOONVILLE, MISSOURI 65233-1276

CHARLIE MELKERSMAN
Eastern District Commissioner
20770 Clarks Fork Rd, Boonville, MO 65233
660/537-2082
charlie.melkersman@coopercountymo.gov

DON BARAGARY
Presiding Commissioner
15789 Sunrise Valley Drive, Boonville, MO 65233
660/888-0169
don.baragary@coopercountymo.gov

DAVID BOOKER
Western District Commissioner
12887 Highway 186, Pilot Grove, MO 65276
660/884-3136
david.booker@coopercountymo.gov

November 8, 2018

Resolution Number 2018-21

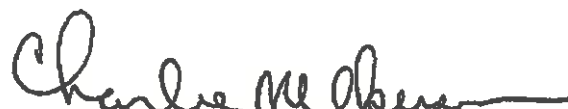
Whereas, Cooper County owns property along Rankin Mill Lane and Route B which is contiguous with the City Limits of Boonville, Missouri

And whereas, Cooper County desires said property be annexed into the City Limits of Boonville, Missouri

And whereas, the Cooper County Commission has the authority to request the annexation

Therefore, be it resolved the Cooper County Commission will pursue annexation of said property into the City Limits of Boonville, Missouri.


Don Baragary, Presiding Commissioner


Charlie Melkersman, Eastern District Commissioner


David Booker, Western District Commissioner

WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS, That JOHN E. PATTERSON and CLARA H. PATTERSON, HUSBAND AND WIFE, of the County of St. Louis in the State of Missouri, have this day for and in consideration of the sum of Twenty-three Thousand and Nine (\$23,009.00) Dollars, to the said JOHN E. PATTERSON and CLARA H. PATTERSON, husband and wife, in hand paid by COUNTY OF COOPER, in the State of Missouri, Granted, Bargained and Sold and by these presents, do Grant, Bargain and Sell unto the said COUNTY OF COOPER, the following described tracts or parcels of land situated in the County of Cooper, in the State of Missouri, that is to say:

Beginning at the Southeast corner of the Northeast quarter of Section Eleven (11) in Township forty-eight (48) North Range Seventeen (17) West 5th P. M., and running thence North 89 degrees and 30 minutes West 14.38 chains to the middle of public road, thence North 8 degrees East 3.60 chains, thence North 5.38 chains, thence North 2 degrees and 30 minutes East 9.02 chains, thence North 35 degrees East 8.00 chains, thence North 26 degrees East 2.68 chains to a stake in the middle of said public road, thence South 62 degrees East 3.50 chains, thence South 55 degrees East 6.00 chains to a stake in the middle of said public road at a point where the Section line crosses the same, thence South 20 minutes West 21.89 chains to the point of beginning, containing 32.75 acres, more or less, and lying in the Northeast quarter of said Section Eleven (11); subject to roads.

Also beginning on the West line of the Northwest quarter of Section Twelve (12) in Township Forty-eight (48) North Range Seventeen (17) West 5th P. M., at a stone in the middle of the public road, where the same intersects the said line, and running thence South on said line 254 feet, thence Northeast 269 feet to South line said road, thence North 20 feet to the middle of said public road, thence with the middle of said road with its meanders in a northwesterly course 294 feet to the place of beginning, containing 82/100 of an acre. Subject to road.

Said property also being described by actual survey as follows: Beginning at the Southeast corner of the Northeast quarter (k) Section Eleven (11), Township Forty-eight (48), Range Seventeen (17), in Cooper County, Missouri, running thence North 89° 30' west 13.38 chains to the East right of way line of Missouri State Highway B, thence northerly along said highway line North 4° 30' West 8.00 chains, thence North 6° West 4.18 chains, thence North 3° West 6.75 chains to the center of the old gravel roadway, thence North 34° East in the center of the old roadway 6.54 chains, thence North 28° 30' East 4.48 chains to the center of the Old Rankin Mill Public Road, thence Southeasterly in the center of said road 14.40 chains thence South 20 feet to the South line of said road, thence in a westerly direction 4.07 chains to the Section line between Sections Eleven (11) and Twelve (12), thence South along said section line to the point of beginning. Said land being located in the Northeast quarter of Section Eleven (11) and the Northwest quarter of Section Twelve (12), Township 48, Range 17, Cooper County, Missouri, and containing 32.87 acres, subject to easements and roads of record.

(395)

TO HAVE AND TO HOLD the premises hereby conveyed, with all the rights, privileges and appurtenances thereto belonging or in anywise appertaining, unto the said COUNTY OF COOPER, its successors and assigns forever; and the said JOHN E. PATTERSON and CLARA H. PATTERSON, husband and wife, hereby covenanting to and with the said COUNTY OF COOPER, its successors and assigns for themselves, their heirs, executors and administrators, to warrant and defend the title to the premises hereby conveyed against the claim of every person whomsoever.

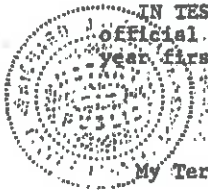
IN WITNESS WHEREOF, We have hereunto subscribed our names and affixed our seals this 31st day of July, 1969.

John E. Patterson
John E. Patterson
Clara H. Patterson
Clara H. Patterson

STATE OF MISSOURI)
COUNTY OF COOPER) ss.

On this 31st day of July, 1969, before me personally appeared John E. Patterson and Clara H. Patterson, his wife, to me known to be the persons described in and who executed the foregoing instrument, and acknowledged that they executed the same as their free act and deed.

IN TESTIMONY WHEREOF, I hereunto set my hand and affixed my official seal, at my office in Boonville, Missouri, the day and year first above written.



[Signature]
Notary Public.

My Term of office as Notary Public will expire: 10-31 1970.

STATE OF MISSOURI)
COUNTY OF COOPER) ss.

The foregoing instrument was filed for record in my office on the 31st day of July, 1969 at the hour of 1 o'clock and 30 minutes P. M. and recorded in Deed Book 138 on page 394.

Witness my hand and official seal.

Elmer Jaeger

Circuit Clerk and Recorder

SEAL

By Carrie Anna Gerdine D. C.

2018-0275

GEORGIA ESSER
RECORDER OF DEEDS
COOPER COUNTY MISSOURI
RECORDED ON
02/09/2018 11:16AM

PAGES: 4

COPY

[SPACE ABOVE THE LINE FOR RECORDING PURPOSES ONLY]

WHEN RECORDED RETURN TO:

Dennis Davis, Chief Legal Officer
RHG Consolidated LLC
4770 North Belleview, Suite 207
Gladstone, Missouri 64116

SPECIAL WARRANTY DEED

THIS INDENTURE, made and entered into this 7th day of February, 2018, by and between Cooper County Memorial Hospital, a Chapter 205, Revised Statutes of Missouri, Public County hospital in Cooper County, Missouri (the "Grantor"), and Cooper County Community Hospital LLC, a Delaware limited liability company (the "Grantee"), whose mailing address is 4770 North Belleview, Suite 207, Gladstone, Missouri 64116.

WITNESSETH, that Grantor, in consideration of the sum of Ten and no/100 Dollars (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged by Grantor, hereby covenanting that the lots, tracts or parcels of land, lying, being and situate in Saline County, Missouri as more particularly described in Exhibit A attached hereto on page 4 and made a part hereof (the "Real Property") is free and clear from any encumbrance done or suffered by Grantor; and that Grantor will WARRANT AND DEFEND the title to the Property unto Grantee and unto Grantee's successors and assigns forever, against the lawful claims and demands of all persons claiming under Grantor, SUBJECT, HOWEVER, to (a) all covenants, easements, restrictions and reservations now of record and all taxes and assessments, general and special, not now due and payable and (b) the deed restriction set forth herein:

I.

Grantor does hereby impress the Real Property with the following use restriction (the "Restriction"), to wit:

All of the Real Property shall be used exclusively for hospital, medical clinic or ambulatory medical services and may be occupied only by a hospital, medical clinic or ambulatory medical services provider.

1

II.

The Restriction shall continue in full force and effect from the date of execution until amended or terminated in the manner specified in this Indenture.

III.

The Restriction is not intended to restrict the right of the City Council of the City of Boonville, Missouri (the "City"), to exercise its legislative duties and powers insofar as zoning of the Real Property is concerned.

IV.

Grantee agrees that the Restrictions inure to the benefit of Cooper County, Missouri (the "County"). Grantee hereby grants the County the right to enforce the Restriction by any lawful means, including filing an action in a court of competent jurisdiction, at law or in equity, against the person violating or attempting to violate the Restriction, either to prevent the violation or to require its correction. If the County substantially prevails in a legal proceeding to enforce the Restriction, Grantee agrees that the County shall be entitled to recover damages, seasonable attorney's fees, and court costs. The right of the County to enforce these restrictions shall not be waived, expressly or otherwise.

V.

The provisions of this Indenture are hereby declared covenants running with the land and are binding on all successors, heirs, and assigns of Grantee who acquire any right, title, or interest in or to the Real Property, or any part thereof. Any person who acquires any right, title, or interest in or to the Real Property, or any part thereof, thereby agrees and covenants to abide by and fully perform the provisions of this Indenture.

VI.

The invalidation of any provision in this Indenture by any court shall in no way affect any other provision, which shall remain in full force and effect, and to this end the provisions are declared to be severable.

TO HAVE AND TO HOLD, the Real Property, with all and singular the rights, privileges, appurtenances and immunities thereunto belonging or in any manner appertaining thereto unto Grantee and unto its successors and assigns forever; Grantor, for itself, its successors and assigns, hereby covenanting that it is lawfully seized of an indefeasible estate in fee in the Real Property herein conveyed, that it has good right to convey the same, that the said Real Property is free and clear from any encumbrance, except as set forth hereinabove, and that it will warrant and defend the title of the said Real Property unto Grantee and unto its successors and assigns forever, against the lawful claims and demands of all persons whomsoever.

IN WITNESS WHEREOF, the Grantor has executed these presents as of the date first above written.

Cooper County Memorial Hospital

By: Mike Conway
Print Name: Mike Conway
Title: Chairman of the Board of Trustees

STATE OF MISSOURI)
 Boone)
COUNTY OF COOPER) ss..

On this 14th day of February, 2018, before me personally appeared Mike Conway, to me known, who being by me duly sworn, did say that he is the Chairman of the Board of Trustees for Cooper County Memorial Hospital, a Chapter 205, Revised Statutes of Missouri, Public County hospital in Cooper County, Missouri, that said Public County Hospital has no corporate seal, that said instrument was signed on behalf of said Public County Hospital by authority of its Board of Trustees, and acknowledged said instrument to be the free act and deed of said corporation.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my notarial seal the day and year last above written.


Print Name: Andrea L. Crawford
Notary Public in and for said County and State

My Commission Expires:

Andrea L. Crawford
Notary Public - Notary Seal
State of Missouri, Boone County
My Commission Expires December 11, 2020
Commission #12423661

Exhibit A
LEGAL DESCRIPTION OF REAL PROPERTY

A tract of land located in the Northeast Quarter (NE ¼) of Section 11 (11), Township Forty-eight North (48N), Range Seventeen West (17W), Cooper County, Missouri, said parcel being previously described in Warranty Deed at Book 138, Page 394, Records of Cooper County, Missouri, said tract being more particularly described as follows:

BEGINNING at a found Type A monument marking the East Quarter corner of Section Eleven (11), Township Forty-eight North (48N), Range Seventeen West (17W), as referenced by Corner Document #600-25495; thence along the Quarter Section line, North 88°05'02" West, a distance of 137.20 feet to a found iron bar at the Southeast corner of a surveyed parcel of land shown on Survey recorded in Book 8, Page 361, Records of Cooper County, Missouri, thence North 01°58' 27" East, a distance of 120.00 feet to a found iron bar; thence North 88°05' 02" West, a distance of 120.00 feet to a found iron bar; thence South 01°57'22", a distance of 120.00 feet to found iron bar marking the Southwest corner of said surveyed parcel being on the Quarter Section line; thence along said Quarter Section line, North 88°05'02" West, a distance of 624.36 feet to a found iron pipe on the Easterly Right-of-Way of Route B; thence along the Easterly Right-of-Way along the curve to the left having a radius of 1191.40, chord bearing North 06°40'41" East, 122.48 feet; thence along the arc of said curve a distance of 122.54 feet to a spiral curve to the left, having a centerline length of 250.00 feet; thence along the chords of said spiral curve, North 03°05'58" East, a distance of 78.40 feet; thence North 00°42'58" East, a distance of 102.60 feet; thence North 00°20'41" West, a distance of 75.50 feet to the end of said spiral curve; thence continuing along said Easterly Right-of-Way, North 0°38'42" West, a distance of 425.10 feet; thence North 02°57'47" East, a distance of 89.54 feet; thence leaving said Right-of Way South 88°52'07" East, a distance of 879.92 feet to the East line of said Section Eleven (11); thence along the Section line, South 01°07'53" West, a distance of 905.00 feet to the **POINT OF BEGINNING**, said tract of land containing 17.71 acres, more or less.



* 2 0 1 8 - 1 7 0 4 4 *

2018-1704

GEORGIA ESSER
RECORDER OF DEEDS
COOPER COUNTY MISSOURI
RECORDED ON
07/23/2018 01:10PM

PAGES: 4

EX OFFICIO COMMISSIONER'S SPECIAL WARRANTY DEED

DATE OF INSTRUMENT: July 20, 2018

GRANTOR: Eric Phelps, Ex Officio Commissioner for Cooper County, MO
422 E. Spring Street
Boonville, Missouri 65233

GRANTEE: BTC BANK
400 Main Street
Boonville, MO 65233

PROPERTY DESCRIPTION: 3.16 acre tract, m/l, situated in Boonville, Cooper County,
MO, more particularly described on page 2 of this Deed.

This Deed, made and entered into this 20th day of July, 2018, by and between
Eric Phelps, as Ex Officio Commissioner for the Cooper County Commission, a political
subdivision of Cooper County, Missouri, GRANTOR, and BTC BANK, whose principal
place of business is located at Bethany, Harrison County, Missouri, GRANTEE.

WHEREAS, Cooper County, Missouri, is the owner of certain real estate
hereinafter described, situated within Section 11, Township 48, Range 17, Cooper
County, Missouri; and

WHEREAS, said property consists of a commercial building located on
approximately 3.16 acres of land, more or less; and

WHEREAS, said property is not needed for any county purposes; and

WHEREAS, the determination to transfer said real estate to the highest bidder at a sealed bid auction was made by the Cooper County Commission at its regularly scheduled session held on June 7, 2018, pursuant to public notice duly given; and

WHEREAS, the GRANTEE was the highest bidder at said sealed bid auction held at the office of the Cooper County Commission on July 16, 2018, pursuant to public notice duly published; and

WHEREAS, pursuant to the provisions of Section 49.280, RSMo., said County Commission by Order duly entered, designated and appointed the undersigned person as Ex Officio Commissioner to transfer and convey said property for and in behalf of Cooper County, Missouri, and to convey the same to the GRANTEE; and

WHEREAS, said County Commission has duly authorized and directed the undersigned person, as Ex Officio Commissioner, to execute and deliver to the GRANTEE, BTC BANK, this instrument.

WITNESSETH, that the said GRANTOR, for and in consideration of the sum of One and 00/100 (\$1.00) Dollar and other valuable consideration paid by the said GRANTEE, the receipt of which is hereby acknowledged, does by these presents SELL and CONVEY unto the said GRANTEE, the following described real estate, situated in the City of Boonville, County of Cooper and State of Missouri, to-wit:

A tract of land located in the Northeast Quarter of Section 11, Township 48 North, Range 17 West, Cooper County, Missouri, said tract being more particularly described as follows:

Commencing at a found Type A monument marking the East Quarter Corner of Section 11, Township 48 North, Range 17 West as referenced by Corner Document #600-25495; thence along the Quarter Section line North 01 degrees 07 minutes 53 seconds East a distance of 905.00 feet; thence leaving said Quarter Section line North 88 degrees 52 minutes 07 seconds West a distance of 879.92 feet to the Easterly right-of-way of Route B; thence along the said right-of-way, North 02 degrees 57 minutes 47 seconds East a distance of 346.46 feet; thence

North 02 degrees 55 minutes 17 seconds East a distance of 132.77 feet to the Point of Beginning; thence continuing North 02 degrees 55 minutes 17 seconds East a distance of 233.00 feet; thence South 89 degrees 21 minutes 51 seconds West a distance of 50.00 feet; thence North 00 degrees 15 minutes 32 seconds East a distance of 320.04 feet; thence North 50 degrees 42 minutes 14 seconds East a distance of 108.85 feet; thence South 55 degrees 04 minutes 02 seconds East a distance of 195.31 feet; thence North 47 degrees 45 minutes 22 seconds East a distance of 7.49 feet to the Southerly right-of-way of Rankin Mill Road; thence along said Southerly right-of-way South 44 degrees 14 minutes 49 seconds East a distance of 172.85 feet; thence South 33 degrees 22 minutes 34 seconds West a distance of 469.41 feet; thence North 88 degrees 52 minutes 07 seconds West a distance of 75.61 feet to the Point of Beginning, said tract of land containing 3.16 acres more or less. Tract 2 is subject to a 30 foot waterline easement over an existing waterline as shown on Survey by SKW.

Subject to roads. Subject to easements, conditions and restrictions of record.

TO HAVE AND TO HOLD the same, together with all rights, immunities, privileges and appurtenances to the same belonging, unto GRANTEE and GRANTEE'S successors and assigns, forever;

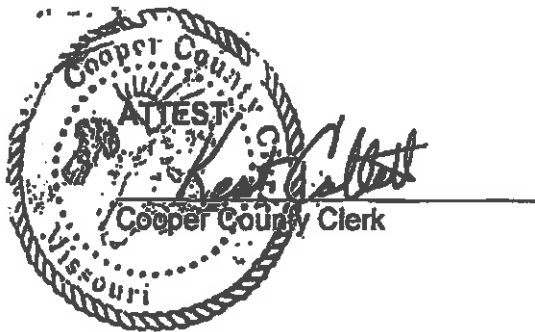
The said GRANTOR, in his representative capacity hereby covenanting that these premises are free from all encumbrances except as hereinabove set forth, and said GRANTOR will WARRANT and DEFEND the title to the premises unto the said GRANTEE, and to the successors and assigns of such GRANTEE forever, against the lawful claims of all persons claiming through the GRANTOR in his representative capacity.

IN WITNESS WHEREOF, the said GRANTOR has hereunto caused this instrument to be executed the day and year first above written and the seal of the County of Cooper affixed hereto.

COOPER COUNTY, MISSOURI

By:

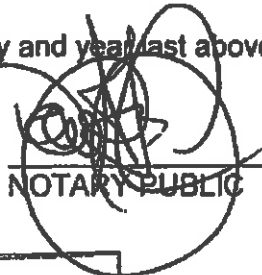

Eric Phelps, Ex Officio Commissioner
For and in behalf of Cooper County,
Missouri



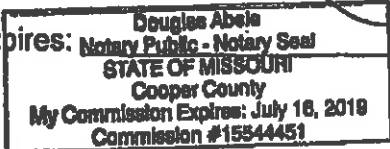
STATE OF MISSOURI)
) ss.
COUNTY OF COOPER)

On this 20th day of July, 2018, before me the undersigned, a Notary Public, in and for the County and State aforesaid, personally appeared Eric Phelps, Ex Officio Commissioner appointed by the Cooper County Commission, to me known to be the person described in and who executed the foregoing instrument for and in behalf of Cooper County, Missouri, and acknowledged that he executed the same for the purposes therein stated in his capacity as Ex Officio Commissioner.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal in Cooper County, Missouri, the day and year last above written.



NOTARY PUBLIC

My Commission Expires: 

BILL NO. 2018-024

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF BOONVILLE, MISSOURI ANNEXING CERTAIN CONTIGUOUS TERRITORY OWNED BY RANDALL POTTER, ADJACENT TO LOVES TRAVEL STOP, LOCATED AT 2501 WEST ASHLEY ROAD, INTO THE CITY OF BOONVILLE, MISSOURI; ZONING THE PROPERTY AS C-1 COMMERCIAL DISTRICT; PROVIDING AN EFFECTIVE DATE THEREFORE, AND REPEALING ALL ORDINANCES IN CONFLICT WITH THIS ORDINANCE.

WHEREAS, verified petition, herein attached as "ATTACHMENT A" and made a part hereof, signed by the owner of the real estate hereinafter described as a 3.102 Acre Tract of Land in Cooper County, Missouri requesting annexation of said territory into the City of Boonville, Missouri was filed with the City Clerk on October 15, 2018; and

WHEREAS, the petition is requesting annexation into the City of Boonville and includes an application for the property to be zoned as a C-1 Commercial District; and

WHEREAS, said real estate as hereinafter described is contiguous and compact to the present corporate limits of the City of Boonville, Missouri; and

WHEREAS, the Planning and Zoning Commission reviewed and approved the zoning application to place the Randall Potter tract of approximately 3.102 acres herein legally described into the C-1 Commercial district; and

WHEREAS, presentation and public hearings of the application for zoning and verified petition for voluntary annexation concerning said matters were held at the City Council Chambers in Boonville, Missouri on December 11, 2018 at 6:00 PM before the Planning and Zoning Commission and on December 17, 2018 at 7:00 PM before the City Council; and

WHEREAS, notices of said Public Hearing were given by publication of notice thereof, on November 26, 2018 and November 30, 2018 in the Boonville Daily News, a daily

newspaper of a general publication in Cooper County, State of Missouri, and to the owners of property within 185 feet by certified mail or personal service; and

WHEREAS, at said Public Hearings, all interested persons, corporations, or political subdivisions were afforded the opportunity to present evidence regarding the proposed zoning and annexation; and

WHEREAS, no written objection to the proposed annexation was filed with the City Council of the City of Boonville, Missouri within fourteen days after the public hearing; and

WHEREAS, the City is able to furnish normal municipal services to said area within a reasonable time after annexation; and

WHEREAS, the City Council of the City of Boonville, Missouri, does find and determine that said annexation is reasonable and necessary to the proper development of the City of Boonville.

NOW THEREFORE, be it ordained by the City Council of the City of Boonville, Missouri, as follows:

SECTION 1: Pursuant to the provisions of Section 71.012 RSMo as amended, the real estate described to wit in "**ATTACHMENT A**" attached hereto and made a part hereof, is hereby annexed into the City of Boonville, Missouri.

SECTION 2: The boundaries of the City of Boonville, Missouri are hereby altered so as to encompass the real estate described to wit in "**ATTACHMENT A**" lying contiguous and compact to the present corporate limits.

SECTION 3: The City Council of the City of Boonville, Missouri does place this property in District C-1 district as recommended by the P&Z Commission.

SECTION 4: This property will be placed in Ward Three of the City of Boonville, Missouri.

SECTION 5: The City Clerk of the City of Boonville is hereby ordered to cause three certified copies of this ordinance to be filed with the Cooper County Clerk, one copy recorded with the Cooper County Recorder of Deeds and one copy forwarded to the City Engineer for updating City maps and boundaries.

SECTION 6: This ordinance shall take effect and be in force from and after its passage.

SECTION 7: All ordinances or parts of ordinances in conflict with this ordinance are hereby repealed.

FIRST READING: December 17, 2018

SECOND READING: January 7, 2019

READ FOR THE SECOND TIME THIS 7TH DAY OF JANUARY, 2019 AFTER A COPY OF THIS ORDINANCE AND EXHIBITS REFERENCED HEREIN HAVE BEEN MADE AVAILABLE FOR PUBLIC INSPECTION FOLLOWING ITS FIRST READING AND PUBLIC HEARINGS ON THE ZONING AND ANNEXATION MATTERS WERE PROPERLY HELD.

NED BEACH, PRESIDENT OF THE COUNCIL

APPROVED THIS 7TH DAY OF JANUARY, 2019.

NED BEACH, MAYOR

ATTEST:

TERESA STUDLEY, CITY CLERK



RECEIVED

11-27-2018

ATTACHMENT A

SAMPLE
VERIFIED PETITION TO THE CITY OF BOONVILLE, MISSOURI
FOR THE ANNEXATION AND
APPLICATION FOR ZONING OF PROPERTY

Randall J. Potter, husband ~~and wife~~ / single, residing at
(name)

PO BOX 273 in Cooper County, Boonville, Missouri,
(street address)

65233 hereby presents this as their verified Petition for Annexation of Real Estate into the City of Boonville, Missouri (the "City"), pursuant to Section 71.012 RSMo., and their Application for the zoning of said real estate under the Ordinances of the City of Boonville. The Owners/Petitioners hereby request the City of Boonville as follows:

1. **Real Estate ("Property"):** The Real Estate (the "Property") to which this Petition relates is a 3.102 acre tract as described in a General Warranty Deed
(size of tract)
which will be filed in the Office of Cooper County Recorder, upon Completion of Sale.

The real property which is the subject of this petition is legally described on Exhibit A, which is attached hereto and incorporated herein by reference.
2. **Contiguity:** The above described and referenced real property is contiguous with and compact to the existing corporate limits of the City of Boonville, Missouri.
3. **Ownership:** The undersigned Owners/Petitioners are the owner of the fee simple interest in the above referenced Real Estate.
4. **Annexation Requested:** Owners/Petitioners request that the above referenced real estate be annexed into the corporate limits of the City of Boonville, Missouri, and submits that this annexation request by Owners/Petitioners is reasonable and necessary to the proper development of the City of Boonville. This 3.102 acre
(size of tract)
tract is contiguous to the City limits and provides continuity for the Love's
(neighboring property name)
property, also petitioning concurrently for annexation to the City. Owners/Petitioners submit that the City of Boonville has the ability to furnish normal municipal services to the above referenced real property within a reasonable time.
5. **Public Hearings Requested:** Owners/Petitioners request that a public hearing concerning the request for annexation in this Petition be held not less than fourteen (14) days nor more than sixty (60) days after the date this Petition is filed with the City of Boonville, Missouri, and that such hearing be held not less than seven (7) days after the notice of such hearing is published in a newspaper of general circulation

qualified to publish notices of legal matters. Owners/Petitioners also request that the Planning and Zoning Commission of the City of Boonville schedule a public hearing in accordance with the Ordinances of the City with respect to the rezoning of the Property.

6. **No Known Objection:** Owners/Petitioners know of no objection by any qualified voter to this Annexation Petition.

7. **Zoning Requested:** Pursuant to Section 101.1. Part Ten of Ordinance No. 1948 of the City of Boonville's Code of Ordinances, Owners/Petitioners request that the Property be categorized and zoned in the C1
(zoning code and zoning district name).

8. **Authority:** The undersigned Owners/Petitioners represent and warrant that they have full power and authority to execute this Petition and Application and that same has been executed and delivered to the City of Boonville, Missouri, as the free act and deed of Owners/Petitioners, and that this Petition has been duly verified in the manner required by the laws of the state of Missouri and ordinances of the City of Boonville. The undersigned Owners/Petitioners also represent that the tract described herein is currently being marketed for sale and that any purchaser shall be apprised of the pending petition, hearings and obligations including the requirement and costs for hooking onto the sewer line that is to be placed in the adjacent road right-of-way. In the event the annexation proceedings are not completed prior to any closing and new ownership of the property, the Owners/Petitioners shall immediately notify the City in order to take the necessary legal steps to verify new ownership and substitute parties for a valid annexation.

9. **Procedural Matters:** In addition to the foregoing petition and request, the Owners/Petitioners submit the following:

a. No portion of the Property is within the incorporated boundaries of any other municipality.

b. The Property is not presently zoned because Cooper County does not have a zoning ordinance or planning and zoning.

c. The proposed uses of the Property are substantially similar to and compatible with adjacent property usage.

d. Petitioners submit that the zoning requested is proper and necessary in order to permit the Property to be used in the manner hereafter described.

e. The names and addresses of owners of property located within 185 feet of the subject property are attached hereto as **Exhibit B**.
(# of feet) (exhibit letter)

f. A location map clearly showing the location of the property for which zoning and annexation is requested is attached hereto as **Exhibit C**.
(exhibit letter)

g. The Owners/Petitioners believe that their annexation and zoning application as hereby submitted is complete in all respects; however, Owners/Petitioners request permission to supplement and amend same to the extent that the City's legal counsel deems this Petition and Application to be deficient in any respect.

10. **Date of Petition:** This Petition and Application has been submitted to the City of Boonville, Missouri in the manner required by the Ordinances of the City of Boonville on this 27th day of November 2018.

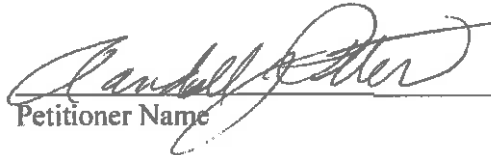
Randall Potter
Name of Petitioner

Name of Petitioner

Verification

The undersigned, **Randall J. Potter**, husband and wife / single,
(name)
being of lawful age and being duly sworn, state and verify that the undersigned have reviewed the foregoing Petition for Annexation and Application for Zoning and that they are, for the purposes of this application, the Owners of the above referenced real estate and state, affirm, verify and acknowledge that they are duly authorized to execute the foregoing Petition and Application and hereby verify that the matters and facts set forth in the foregoing Petition are true and correct to the best of their knowledge and belief.

IN WITNESS WHEREOF, the Owner/Petitioner has executed this verification for the foregoing intents and purposes.



Petitioner Name

Petitioner Name

State of Missouri)
)
County of Cooper) ss.

On this 26 day of November 2018, before me, a Notary Public, in and for said county and state, personally appeared Randall J. Potter, known to be to
(name)

be the persons who executed the foregoing Petition for Annexation and Application for Zoning and who upon their oath and upon being duly sworn, verified and acknowledged to me that they executed the same as their free act and deed for the purposes therein stated, and that the facts therein stated are true to the best of their knowledge and belief.



Notary Public
Commissioned in Cooper County, MO

My commission expires: 4/25/2021

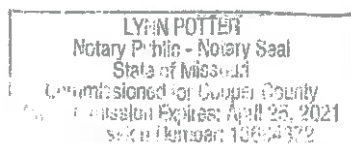


EXHIBIT A
TO PETITION FOR ANNEXATION AND REZONING

Legal Description

Proposed 3.102 Acre Tract Legal Description to be recorded in the Office of Cooper County Recorder, upon completion of sale. Subject Easements and Restrictions of Record.

PLAT OF SURVEY

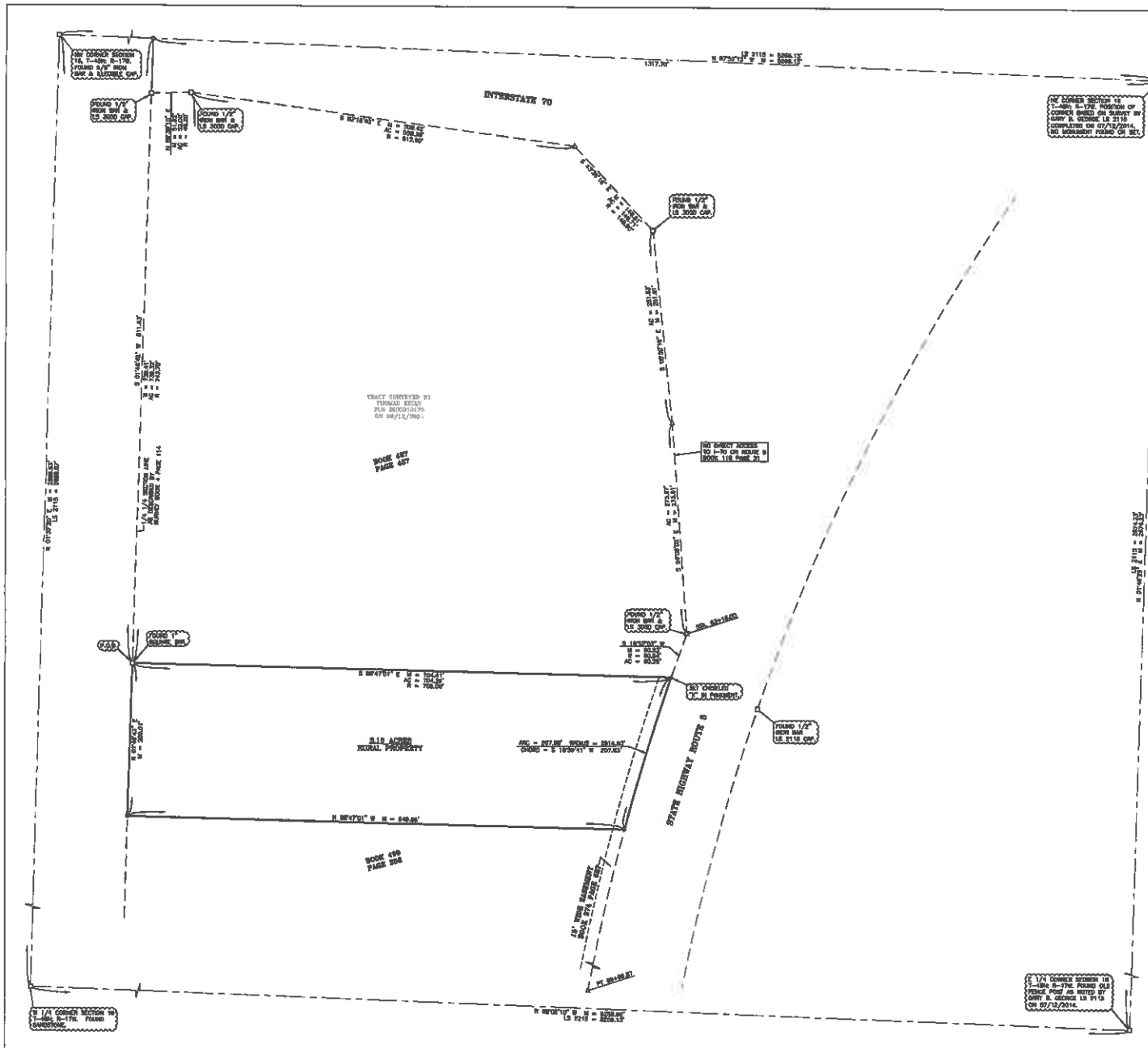


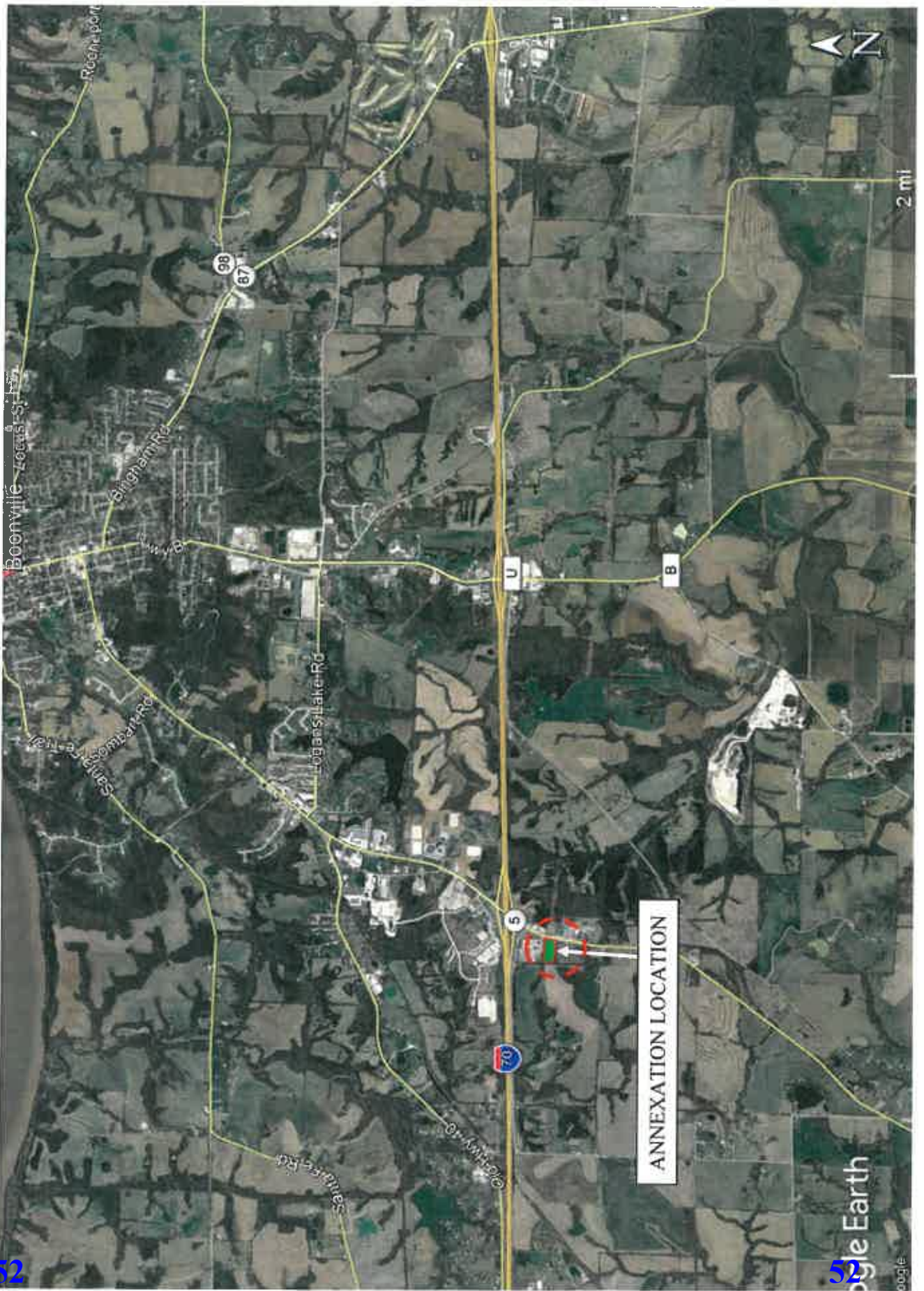
EXHIBIT B
TO PETITION FOR ANNEXATION AND REZONING

Owners within 185 Feet of Subject Properties
(# of feet)

[illegible]

EXHIBIT C
TO PETITION FOR ANNEXATION AND REZONING

Location Map



PROPERTY DESCRIPTION:

Commencing at the Northeast corner Section 16, Township 48 North, Range 17 West; thence along the North line of said Section, North 87 degrees 52 minutes 12 seconds West, 1317.70 feet; thence departing from said line, South 01 degrees 46 minutes 42 seconds West, 811.63 feet to the Point of Beginning; thence South 88 degrees 47 minutes 01 seconds East, 704.41 feet to the Western right-of-way line of State Highway Route 5; thence along said right-of-way line, 207.88 feet by arc distance along a curve to the left having a radius of 2914.93 feet and a chord bearing and distance of South 16 degrees 59 minutes 41 seconds West, 207.83 feet; thence departing from said right-of-way line, North 88 degrees 47 minutes 01 seconds West, 649.86 feet; thence North 01 degrees 46 minutes 42 seconds East, 200.01 feet to the point of beginning.

The above described tract of land contains 3.10 acres, more or less, exclusive of Highway Route 5, and is subject to all recorded and unrecorded easements, restrictions, and right-of-ways.

AN ORDINANCE OF THE CITY OF BOONVILLE, MISSOURI APPROVING THE FINAL SITE PLANS FOR THE EXPANSION OF LOVES TRAVEL STOP FACILITY LOCATED AT 2501 WEST ASHLEY ROAD

WHEREAS, Loves Travel Stop , through its professional consulting firms, has made application for the approval of its plans to expand their truck parking at their facility located at 2501 West Ashley Road; and

WHEREAS, City staff, including the City Engineer, Building Inspector, Public Works Director and Assistant to the City Administrator met and communicated with project engineers and planners throughout the month of November in order work out the details of construction and site planning and to ensure that the plans are in compliance with the City's zoning ordinances and planning standards; and

WHEREAS, Final plans were presented to the Planning and Zoning Commission, which voted on December 11, 2018 to approve the final site plans. The plans include **Exhibit A**, architectural and engineering plans, which are attached hereto. The commission has recommended their approval by the Council. Said site plans are incorporated herein as if set forth fully in this ordinance; and

WHEREAS, the City Council has evaluated the site plans for compatibility with the use of abutting sites, the safety and convenience of vehicle and pedestrian traffic and in view of the potential economic benefit to the City of Boonville and finds them to be appropriate and beneficial to further economic development of the City.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BOONVILLE, MISSOURI AS FOLLOWS:

SECTION 1: That the final site plans for the construction of expanded truck parking at Loves Truck Stop, located at 2501 West Ashley Road in the City of Boonville should be and are hereby approved.

SECTION 2: This ordinance shall take effect and be in full force from passage of this ordinance, and the approval granted herein shall be valid for a period not to exceed 12 months thereafter.

READ FOR THE FIRST TIME: 17th DAY OF DECEMBER, 2018

READ FOR THE SECOND TIME AND PASSED THIS 7th DAY OF JANUARY 2019, AFTER A COPY OF THIS ORDINANCE, REFERENCED PLANS HAVE BEEN MADE AVAILABLE FOR PUBLIC INSPECTION PRIOR TO ITS FIRST READING.

PRESIDENT OF THE COUNCIL

APPROVED THIS 7th DAY OF JANUARY 2019.

NED BEACH, MAYOR

ATTEST:

TERESA STUDLEY, CITY CLERK

LEGEND

Features

Spot Elevation
Contour Elevation
Fence (Barbed, Field, Hog)
Fence (Chain Link)
Fence (Wood)
Tree Line
Tree Stump
Deciduous Tree or Shrub
Coniferous Tree or Shrub
Underground Telephone
Overhead Telephone
Fiber Optic Telephone
Underground Electric
Overhead Electric
Underground Television
Overhead Television
Gas Main with Size
High Pressure Gas Main with Size
Low Pressure Gas Main with Size
Water Main with Size
Sanitary Sewer with Size
Sanitary Manhole

Existing

93.0
93
T
OT
FD
E
DE
TV
DTV
G
HPG
LPG
W
S
ST

Proposed

93.0
93
T
OT
FD
E
DE
TV
DTV
G
HPG
LPG
W
S
ST

Storm Sewer with Size
Storm Manhole
Single Storm Sewer Intake
Double Storm Sewer Intake
Fire Hydrant
Fire Hydrant on Building
Water Main Valve
Water Service Valve
Well
Utility Pole
Guy Anchor
Utility Pole with Light
Street Light
Yard Light
Electric Box
Electric Transformer
Traffic Sign
Telephone Junction Box
Telephone Manhole
Gas Valve
Gas Manhole
Gas Apparatus
Cable TV Junction Box
Cable TV Manhole
Fence Post or Guard Post
Underground Storage Tank
Above Ground Storage Tank
Sign
Satellite Dish
Mailbox
Soil Boring

ENGINEER
SNYDER & ASSOCIATES, INC.
TROY CULVER, PE
320 E. PRENTISS ST.
IOWA CITY, IA 52240
(319) 359-7676

APWA - KANSAS CITY METRO CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION. SPECIFICATIONS AVAILABLE AT
WWW.KCMETRO.APWA.NET/CHAPTERS/KCMETRO/SPECIFICATIONS.ASP

MODOT - MISSOURI STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION. SPECIFICATIONS AVAILABLE AT
WWW.MODOT.MO.GOV/BUSINESS/STANDARDS_AND_SPECS/BEGIN.PDF

PLANS - THIS SET OF CIVIL CONSTRUCTION PLANS.

DNR PERMIT - GENERAL PERMIT FOR LAND DISTURBANCE FROM MISSOURI DEPARTMENT OF NATURAL RESOURCES.

CONTRACTOR - CONTRACTOR TO COORDINATE THESE ITEMS DIRECTLY WITH LOCAL UTILITY.

LOVE'S TRAVEL STOP & COUNTRY STORES, BOONVILLE, MO SITE SPECIFICATION REFERENCE			
NO.	ITEM DESCRIPTION	SPECIFICATION	BID REFERENCE
1	CLEARING & GRUBBING	APWA 2100	
2	REMOVALS	PLANS	GENERALLY THE AREA IS TO BE CLEARED OF EXISTING DEBRIS, TREES ETC. FULL DEPTH SAW CUTS ARE REQUIRED AT ALL PAVEMENT REMOVAL LIMITS.
3	SUBGRADE PREPARATION	APWA 2201	SUBGRADE REINFORCEMENT OPTIONS PER SOILS REPORT AND NOTES ON SHEET C8
4	PCC CURB & GUTTER	PLANS	REINFORCED CONCRETE CURB AND GUTTER TO BE CONSTRUCTED IN TRUCK PARKING AREA PER CONSTRUCTION PLANS.
5	PCC PAVEMENT AND JOINTS	MODOT 502	ALL PCC PAVEMENT TO BE 4000 PSI.
6	PCC APRON	XXXX	XXXX
7	ASPHALTIC CONCRETE PAVEMENT	MODOT 401	REFER TO PAVEMENT PLAN SHEET FOR ASPHALTIC CONCRETE DETAILS
8	AGGREGATE FOR BASE TYPE 1 OR 5	MODOT 304	
9	RCP STORM PIPE	APWA 2602	
10	RIP RAP	APWA 2605	
11	SEDIMENT & EROSION CONTROL	DNR PERMIT	THIS ITEM SHALL INCLUDE ALL LABOR, EQUIPMENT AND MATERIALS NECESSARY TO TEMPORARILY STABILIZE THE SITE AND CONTROL EROSION.
12	SWPPP REPORTING/MAINTENANCE	DNR PERMIT	
13	LANDSCAPE	PLANS	LANDSCAPING (TREES) OR NOT INCLUDED IN WORK BY CONTRACTOR
14	SEEDING, FERTILIZING, & MULCH	APWA 2401	
15	LIGHTING	ARCHITECT	ALL ELECTRICAL IMPROVEMENTS SHALL BE 120/280V THREE PHASE. CONTRACTOR TO COORDINATE WITH UTILITIES
16	FENCE	ARCHITECT	
17	TRAFFIC CONTROL (if necessary)	MODOT 900	SEE MODOT TRAFFIC CONTROL SPECIFICATION SECTION 900

GENERAL NOTES

- THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR/ENGINEER MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR/ENGINEER FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES BEFORE CONSTRUCTION AND NOTIFY ENGINEER WHEN CONFLICTS EXIST.
- ALL TRAFFIC CONTROL, IF NECESSARY, SHALL BE PROVIDED IN ACCORDANCE WITH REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AND WHEN CONSTRUCTION ACTIVITIES OBSTRUCT PORTIONS OF THE ROADWAY FLAGGERS SHALL BE PROVIDED. FLAGGERS SHALL CONFORM TO THE MUTCD IN APPEARANCE, EQUIPMENT AND ACTIONS.
- NOTIFY OWNER AND ENGINEER AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
- IN THE EVENT OF A DISCREPANCY BETWEEN THE SPECIFICATIONS AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
- ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE RECONNECTED AND NOTED ACCORDINGLY ON THE AS-BUILD DOCUMENTS.
- DIMENSIONS, BUILDING LOCATION, UTILITIES AND GRADING OF THIS SITE ARE BASED ON AVAILABLE INFORMATION AT THE TIME OF LAYOUT. DEVIATIONS MAY BE NECESSARY IN THE FIELD. ANY SUCH CHANGES OR CONFLICTS BETWEEN THIS PLAN AND FIELD CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT/ENGINEER PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- CONTRACTOR SHALL COORDINATE INSPECTION ON ALL UTILITIES WITH THE APPROPRIATE AUTHORITIES BEFORE COVERING TRENCHES AT INSTALLATION.
-
- REFER TO TERRACON GEOTECHNICAL REPORT FOR INFORMATION RELATING TO THE SUBSURFACE CONDITIONS DATED XXXXXXX.
- CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR WHO CONTROLS THE MEANS, METHODS, AND SEQUENCING OF CONSTRUCTION OPERATIONS. UNDER NO CIRCUMSTANCES SHALL THE INFORMATION PROVIDED HEREIN BE INTERPRETED TO MEAN THAT THE ENGINEER OR ARCHITECT IS ASSUMING ANY RESPONSIBILITY FOR CONSTRUCTION SITE SAFETY OR THE CONTRACTOR'S ACTIVITIES; SUCH RESPONSIBILITY SHALL NEITHER BE IMPLIED NOR INFERRED.
- A CONCRETE WASHOUT AREA SHALL BE UTILIZED BY THE CONTRACTOR AND ALL SUBCONTRACTORS. GENERAL CONTRACTOR TO BE RESPONSIBLE FOR MAINTAINING THIS FEATURE AND PROPER DISPOSAL UPON COMPLETION OF PROJECT.
- CONTRACTOR SHALL MAINTAIN ACCESS TO UTILITY ACCESS EASEMENTS
- ALL EXCAVATION TO BE UNCLASSIFIED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE "AMERICAN PUBLIC WORKS ASSOCIATION, KANSAS CITY METROPOLITAN CHAPTER" AND THE "MISSOURI STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION", UNLESS NOTED OTHERWISE.
- IF THE CONTRACTOR'S OPERATIONS REQUIRE WORK ON OR ACCESS ACROSS PRIVATE PROPERTY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN WRITTEN PERMISSION FROM THE PROPERTY OWNER TO ENTER THE PROPERTY AND TO REPAIR ANY DAMAGE TO PRIVATE PROPERTY CAUSED BY HIS OPERATIONS.
- THE CONTRACTOR SHALL KEEP THE PROJECT SITE NEAT AND ORDERLY AT ALL TIMES WHILE CONSTRUCTION IS IN PROGRESS. ACCESS STREETS TO THE DEVELOPMENT SHALL BE KEPT CLEAN OF MUD, DEBRIS, PAPER AND WASTE MATERIAL AT ALL TIMES.
- METHOD OF MEASUREMENT FOR ALL SITE DEVELOPMENT WORK (C SHEETS) WILL BE LUMP SUM.
- CONTRACTOR MAY INQUIRE WITH LOVE'S CONSTRUCTION DIVISION TO OBTAIN COPIES OF NDPS, LAND DISTURBANCE PERMIT.
- CONTRACTOR TO PROVIDE SUBMITTALS FOR THE FOLLOWING ITEMS: PAVEMENT MIX DESIGN(S) AGGREGATE BASE, FENCE, & LIGHTING.

PROPERTY DESCRIPTION:

COMMENCING AT THE NORTHEAST CORNER SECTION 16, TOWNSHIP 48 NORTH, RANGE 17 WEST; THENCE ALONG THE NORTH LINE OF SAID SECTION, NORTH 87 DEGREES 52 MINUTES 12 SECONDS WEST, 1317.70 FEET; THENCE DEPARTING FROM SAID LINE, SOUTH 01 DEGREES 46 MINUTES 42 SECONDS WEST, 811.63 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 88 DEGREES 47 MINUTES 01 SECONDS EAST, 704.41 FEET TO THE WESTERN RIGHT-OF-WAY LINE OF STATE HIGHWAY ROUTE 5; THENCE ALONG SAID RIGHT-OF-WAY LINE, 207.88 FEET BY ARC DISTANCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 2914.93 FEET AND A CHORD BEARING AND DISTANCE OF SOUTH 16 DEGREES 59 MINUTES 41 SECONDS WEST, 207.83 FEET; THENCE DEPARTING FROM SAID RIGHT-OF-WAY LINE, NORTH 88 DEGREES 47 MINUTES 01 SECONDS WEST, 649.86 FEET; THENCE NORTH 01 DEGREES 46 MINUTES 42 SECONDS EAST, 200.01 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED TRACT OF LAND CONTAINS 3.10 ACRES, MORE OR LESS, EXCLUSIVE OF HIGHWAY ROUTE 5, AND IS SUBJECT TO ALL RECORDED AND UNRECORDED EASEMENTS, RESTRICTIONS, AND RIGHT-OF-WAYS.



MISSOURI ONE-CALL SYSTEM, INC.

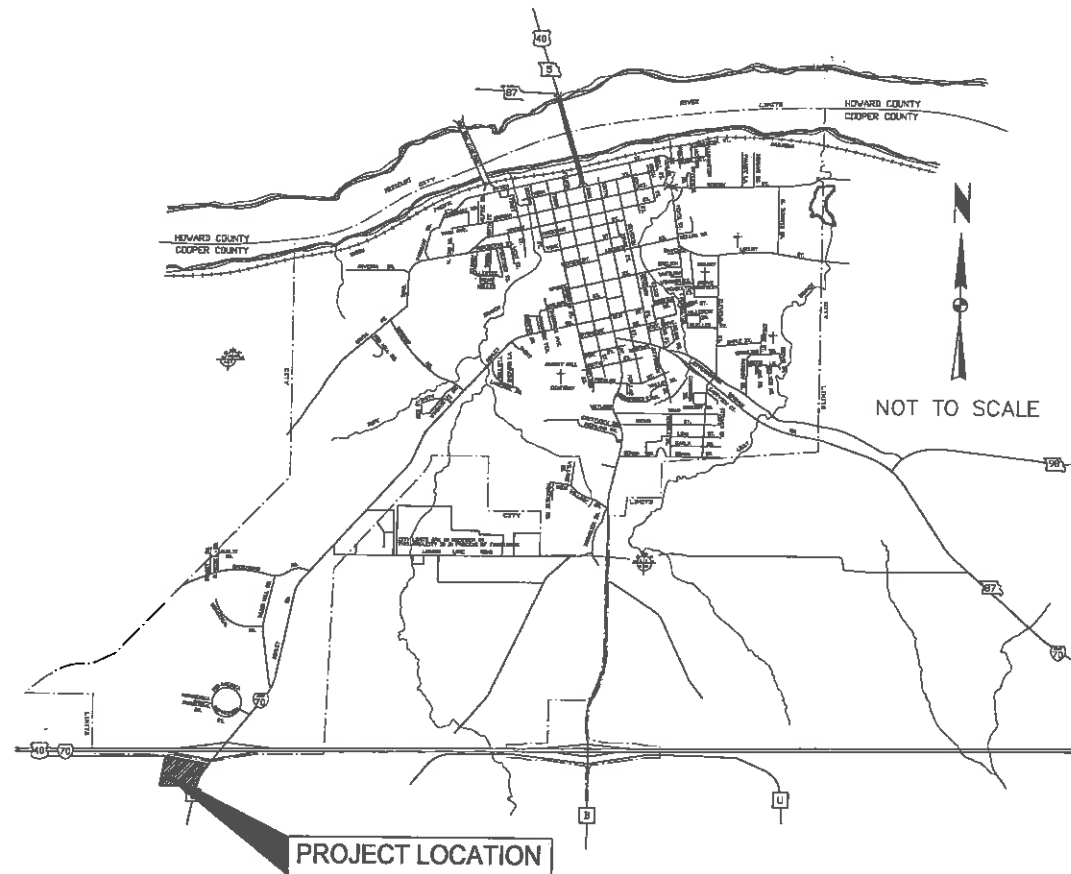
UTILITY WARNING:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, LINES, OR STRUCTURES SHOWN ON THESE DRAWINGS ARE OBTAINED BY A SEARCH OF THE INFORMATION AND RECORDS AVAILABLE. ACCURACY IF UTILITY LOCATIONS IS NOT GUARANTEED AND THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ALL OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE DRAWINGS BY FIELD VERIFICATION PRIOR TO BEGINNING ACTUAL PORTION OF THEIR WORK.

DATE

CONSTRUCTION PLANS FOR LOVE'S TRAVEL STOP

CITY OF BOONVILLE COOPER COUNTY, MISSOURI



VICINITY MAP

PROJECT SITE INFORMATION

ADDRESS: 16824 HWY 5
BOONVILLE, MO 65233

ZONING: C1

AREA: 3.102 ACRES (ANNEXED AREA)
NEW PARKING SPACES: 60 TRUCK SPACE
OPEN SPACE: 1.08 ACRES (35%)

BENCHMARK NAME	NAD83 - MO CENTRAL STATE PLANE COORDINATES		GROUND COORDINATES	
	N (US FT)	E (US FT)	N (US FT)	E (US FT)
BM #1	1128771.37	1561119.93	1128874.46	1561262.51

HORIZONTAL CONTROL FOR PROJECT ESTABLISHED FROM MODOT NETWORK - SCALE FACTOR = 0.999908678

VERTICAL CONTROL FOR PROJECT ESTABLISHED FROM NGS MONUMENT - W 330 NAVD 88 ELEVATION = 692.55 FEET

BENCHMARKS
MIDLAND SURVEYING
4784 FREDERICK BLVD.
ST. JOSEPH, MO 64508 (816) 233-7900
ATTN: RICK MATTSO

ORIGINAL BENCHMARK FROM SURVEY BY PLS 2003013175 DATED 09/12/05 ELEV. = 769.25

COORDINATES AND BENCHMARKS ARE BASED ON A LOCAL INDEPENDENT GRID SYSTEM. CONTACT SURVEYOR FOR CONTROL TO THIS

SHEET LIST TABLE	
Sheet Number	Sheet Title
C1	TITLE SHEET
C2	DETAILS
C3	EXISTING CONDITIONS AND REMOVALS
C4	SWPPP
C5	GRADING PLAN
C6	DETENTION BASIN PLAN
C7	SITE PLAN
C8	PAVEMENT PLAN
C9	LANDSCAPE PLAN
E1.4	ELECTRICAL SITE PLAN - PHOTOMETRICS

LOVE'S TRAVEL STOPS AND COUNTRY STORES

TITLE SHEET

BOONVILLE, MO

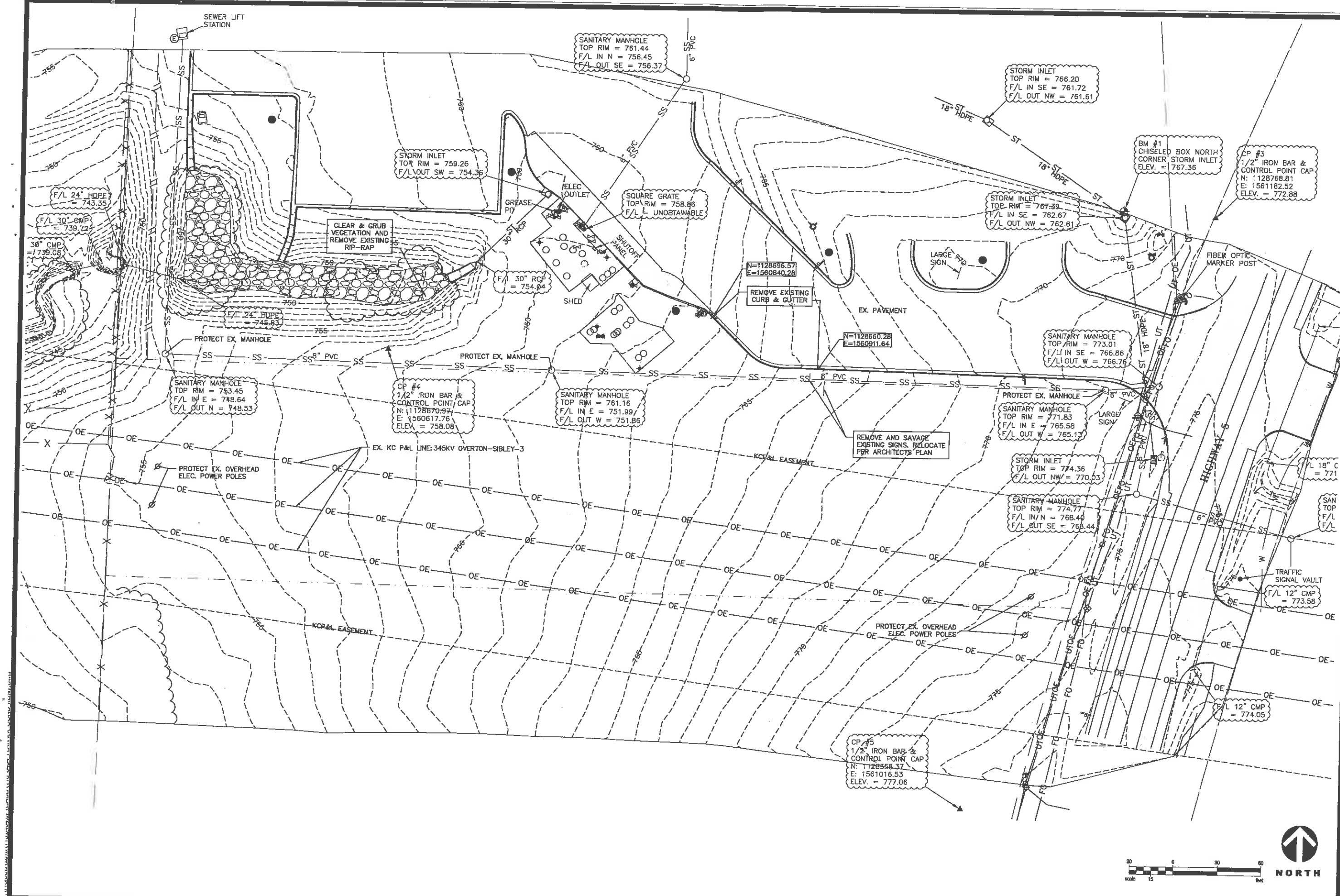
SNYDER & ASSOCIATES, INC.

320 E. PRENTISS ST.
IOWA CITY, IOWA 52240
319-359-7676 | www.snyder-associates.com

SNYDER & ASSOCIATES

118.0454

C1



LOVE'S TRAVEL STOPS AND COUNTRY STORES
EXISTING CONDITIONS AND REMOVALS



118.0454

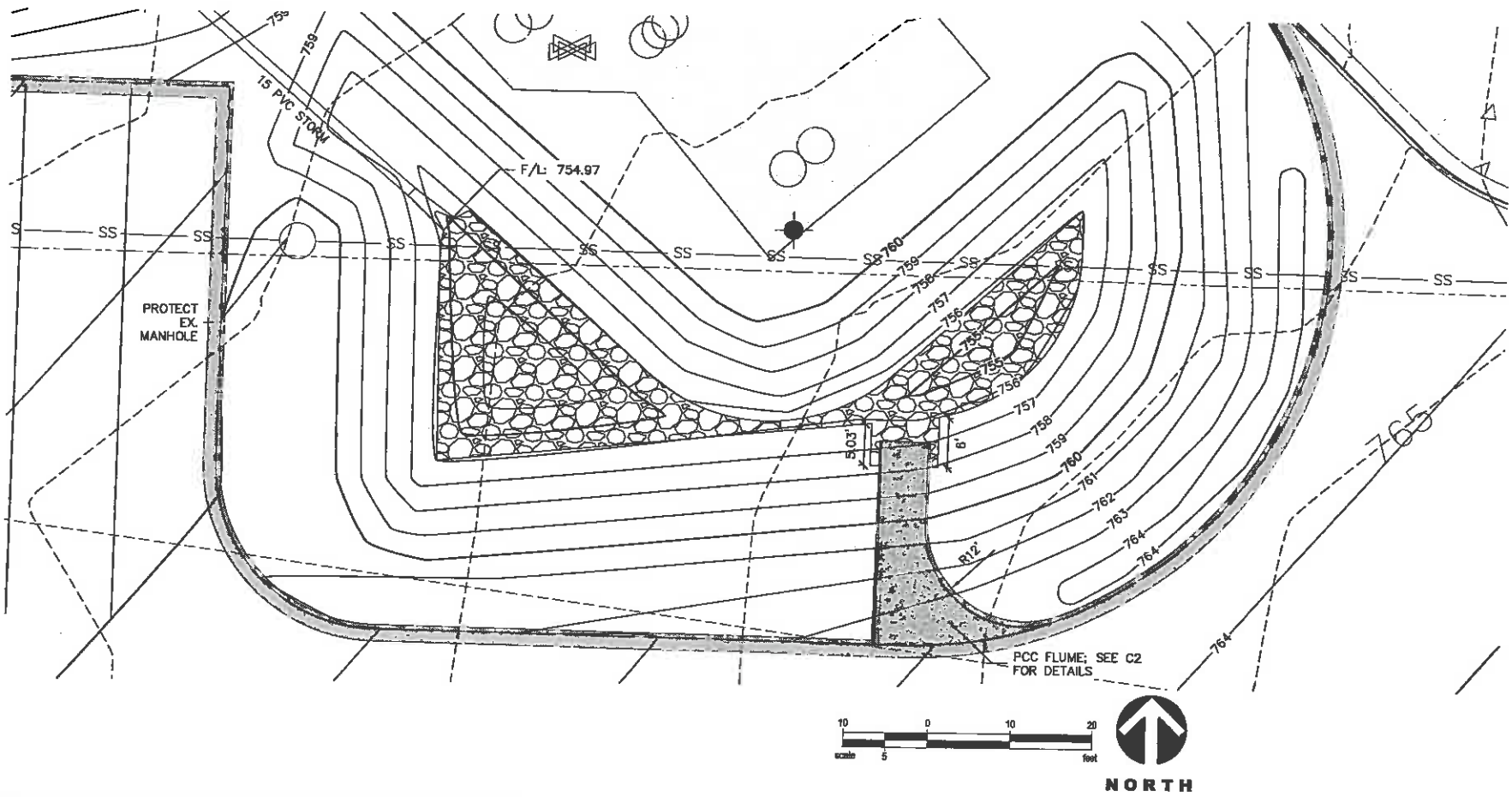
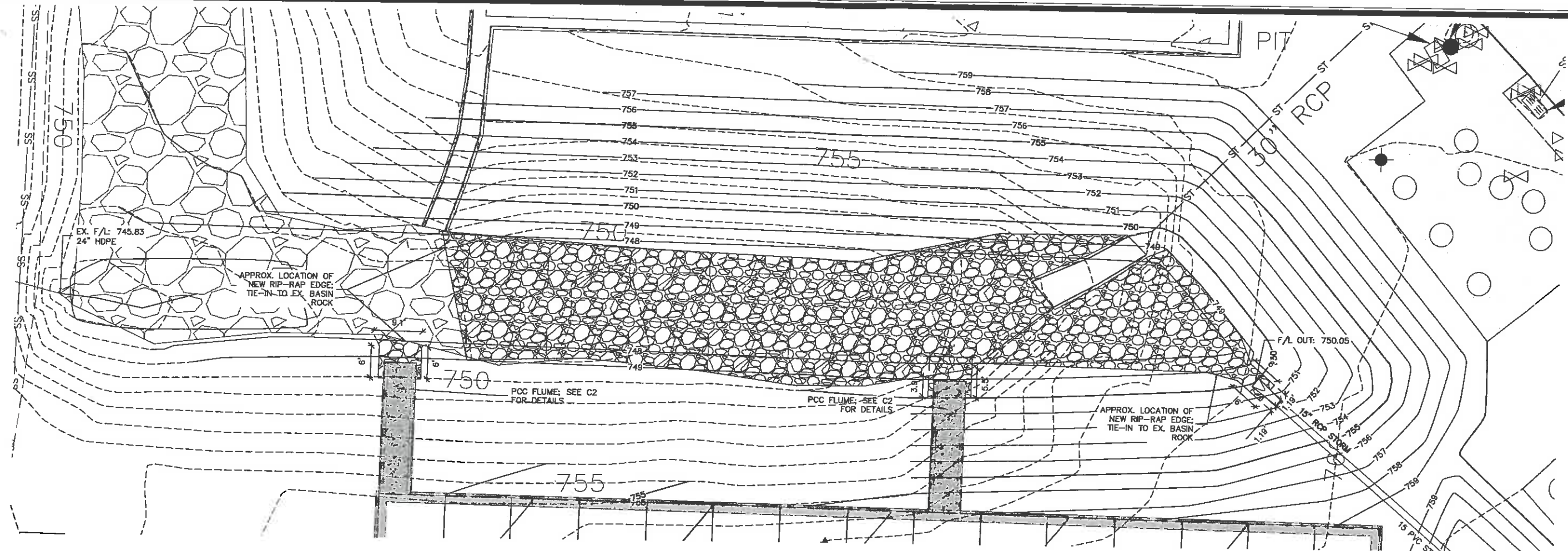
C3

BOONVILLE, MO

SNYDER & ASSOCIATES, INC.

320 E. PRENTISS ST.
IOWA CITY, IOWA 52240
319-578-7878 | www.snyder-associates.com

MARK	REVISION	DATE	BY	SCALE	PG.
Engineer: ENGR	Checked By: CHKD	Scale: 1" = 100'			
Technician: TECH	Data: MM-DD-YYYY	Field Bk:			
118.0454					C3



NOT FOR CONSTRUCTION

LOVE'S TRAVEL STOPS AND COUNTRY STORES

DETENTION BASIN PLAN

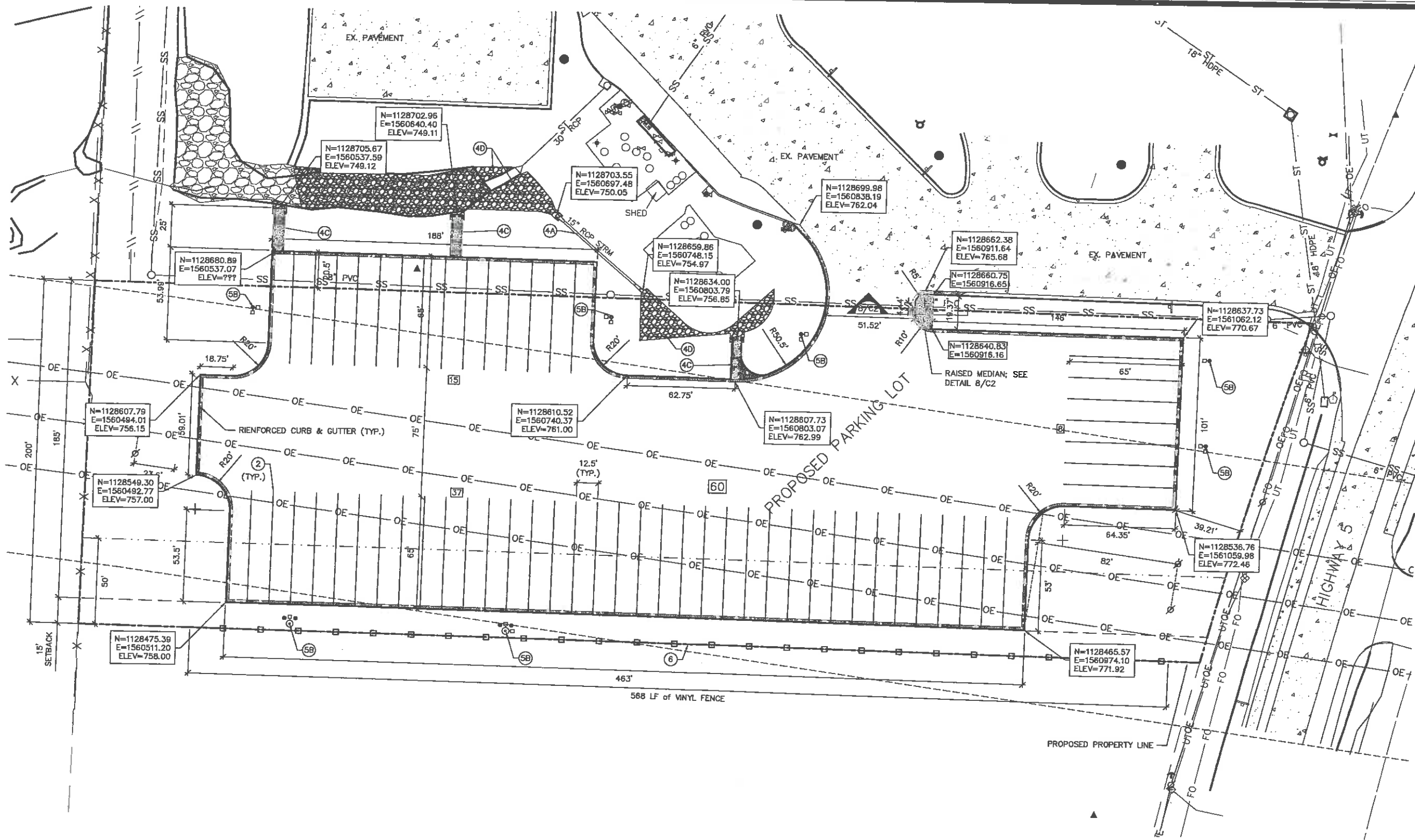
SNYDER & ASSOCIATES, INC.

BOONVILLE, MO

5010 VOGES ROAD
MADISON, WISCONSIN 53716
608-538-0444 | www.snyder-associates.com

118.0454

C6



- SITE PLAN NOTES:**
1. SITE SIGNAGE. SEE ARCHITECT'S PLAN FOR MORE INFORMATION.
 2. PAVEMENT MARKINGS TO BE SINGLE YELLOW SOLID LINE, 6" (INCHES) WIDE, UNLESS NOTED.
 3. TRUCK SPACES PROVIDED: 60
 4. STORM SEWER
 - A. 15" RCP PIPE
 - B. 15" CIRCULAR FLARED-END SECTION
 - C. 6" WIDE PCC FLUME
 - D. NEW RIP-RAP
 5. ELECTRIC
 - A. UNDERGROUND ELECTRIC; SEE ARCHITECT'S PLAN FOR MORE INFORMATION
 - B. LIGHT FIXTURE; SEE ARCHITECT'S PLAN FOR MORE INFORMATION
 6. 72" VINYL 2-SIDED FENCE PER CITY SCREENING/BUFFERING ORDINANCE;

MANUFACTURER: TREX
MODEL: TREX SECLUSION
COLOR: SADDLE
HEIGHT: 3' MIN.
INSTALLED PER MANUFACTURER'S RECOMMENDATIONS



NOT FOR CONSTRUCTION

LOVE'S TRAVEL STOPS AND COUNTRY STORES

SITE PLAN



118.0454

C7

BOONVILLE, MO

320 E. PRENTISS ST.
IOWA CITY, IOWA 52240
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SNYDER & ASSOCIATES, INC.

319-358-7676

118.0454

C7

MARK	REVISION	DATE	BY
Engineer: ENGR	Checked By: CHKD	Scale:	Fig:
Technician: TECH	Dater: MM-DD-YYYY	Field Bk:	

LANDSCAPE PLANTING SCHEDULE

KEY	SCIENTIFIC NAME Common name	SIZE	CONDITION
CO	CORNUS FLORIDA SSP Flowering Dogwood	1.5" DBH	B & B
MA	MALUS SSP Crabapple	1.5" DBH	B & B
	AREA TO BE SEEDED		

PLANTING PLAN GENERAL NOTES (BY OWNER)

A. UTILITY WARNING:
THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.

B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.

C. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).

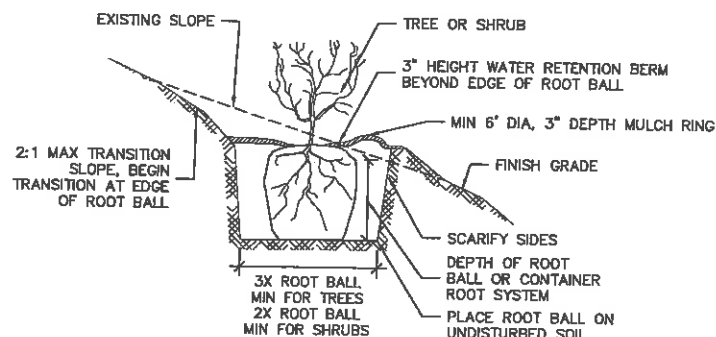
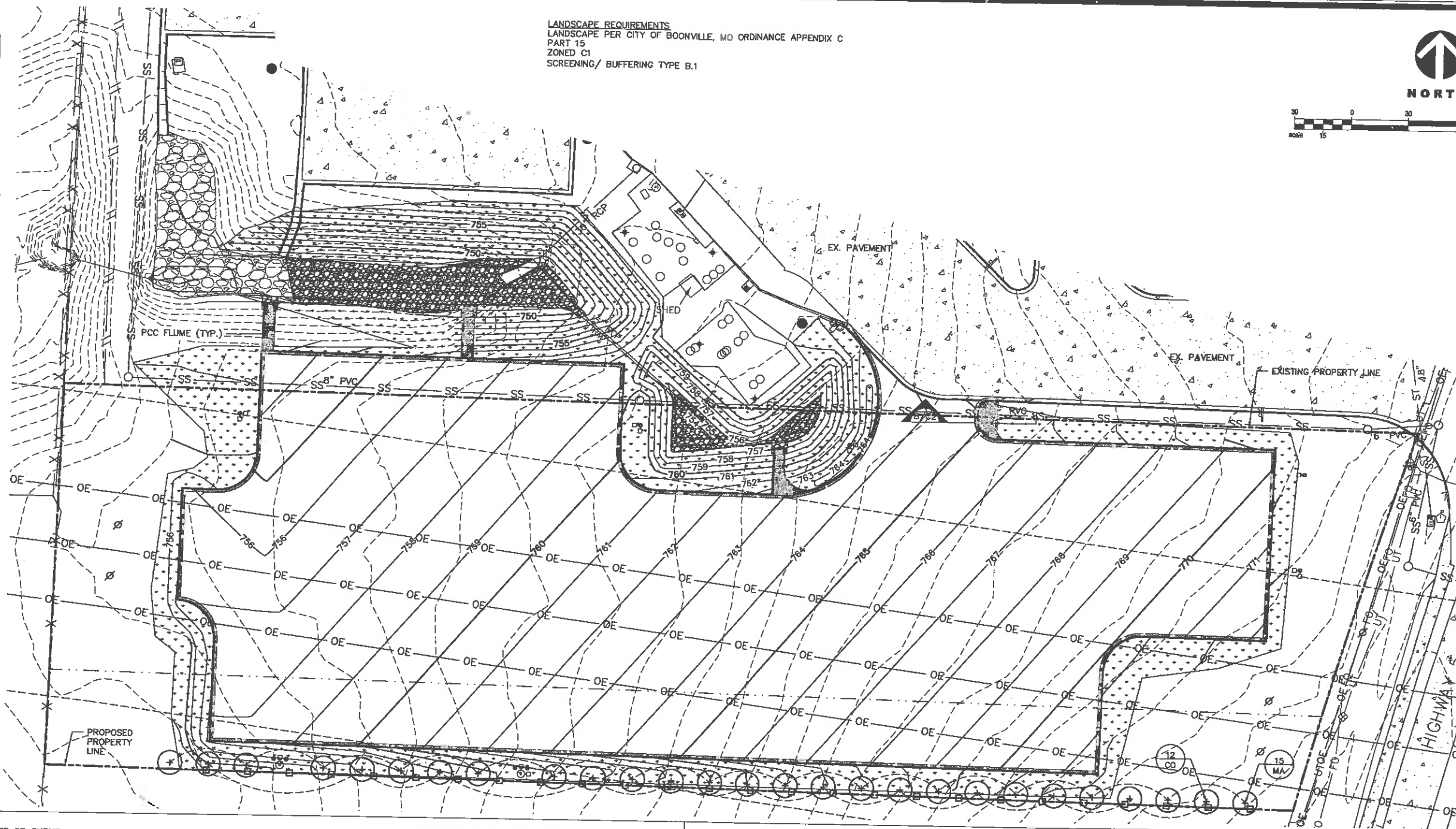
D. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.

E. REFER TO SHEET C4 FOR EROSION CONTROL INFORMATION, SEED MIX INFORMATION, AND SOD INFORMATION AS REQUIRED BY CITY OF BOONVILLE, MO.

F. CONTRACTOR TO PROVIDE A FULLY FUNCTIONING IRRIGATION SYSTEM IN ALL PROPOSED LANDSCAPED AND SODDED AREAS AS PER MISSOURIA COUNTY REQUIREMENTS.

G. CONTRACTOR TO PROVIDE 3" DEPTH SHREDDED HARDWOOD MULCH AROUND ALL FREESTANDING DECIDUOUS TREES TO A MINIMUM 3' DIAMETER. MULCH SHALL BE PLACED A MINIMUM OF 2" FROM ROOT FLARE IN ALL DIRECTIONS.

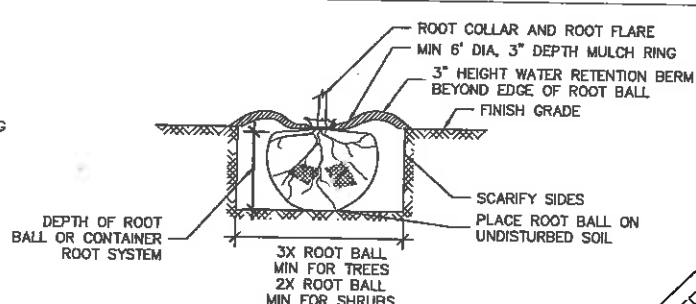
LANDSCAPE REQUIREMENTS
LANDSCAPE PER CITY OF BOONVILLE, MO ORDINANCE APPENDIX C
PART 15
ZONED C1
SCREENING/ BUFFERING TYPE B.1



TYPICAL PLANTING PIT DETAIL
NOT TO SCALE

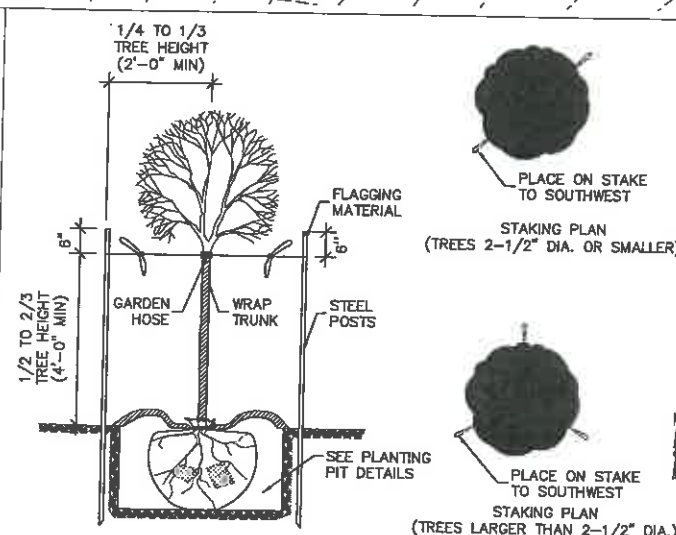
NOTES

1. REMOVE ALL NON-BIODEGRADABLE MATERIAL, CONTAINERS OR OTHER MATERIAL THAT WILL IMPEDE THE GROWTH OF THE PLANT MATERIAL. REMOVE ALL TWINE, FOR BALLED AND BURLAP (B&B) PLANTS REMOVE MINIMUM OF 1/2 OF BURLAP AND WIRE BASKET.
2. SET ROOT COLLAR AND ROOT FLARE 2" ABOVE FINISH GRADE. DO NOT PLACE MULCH WITHIN 2" OF TRUNK. ROOT COLLAR IS NOT ALWAYS LOCATED AT TOP OF ROOT BALL.

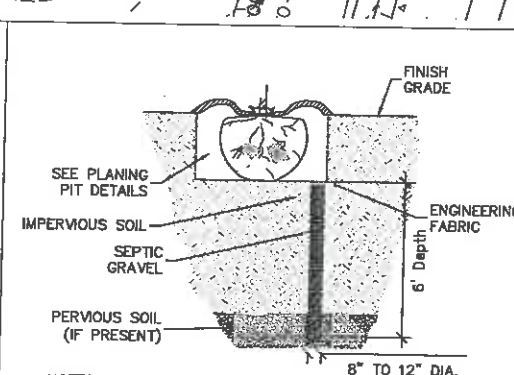


SLOPED PLANTING PIT DETAIL
NOT TO SCALE

NOT FOR CONSTRUCTION



DECIDUOUS TREE STAKING DETAIL
NOT TO SCALE



NOTES

1. TREE DRAINAGE WELL ONLY REQUIRED IF IMPERVIOUS SOILS ARE FOUND DURING INSTALLATION; AS APPROVED BY ENGINEER.
2. IF PERVIOUS SOIL IS ENCOUNTERED AT A DEPTH LESS THAN 6 FEET, THE DRAINAGE WELL MAY BE TERMINATED WHEN THE WELL EXTENDS A MINIMUM OF 12 INCHES INTO THE PERVIOUS SOIL LAYER.

TREE DRAINAGE WELL DETAIL
NOT TO SCALE

LOVE'S TRAVEL STOPS AND COUNTRY STORES

LANDSCAPE PLAN

SNYDER & ASSOCIATES, INC.



118.0454

C9

BOONVILLE, MO

320 E. PRENTISS ST.
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C9

BILL NO. 2018-026

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF BOONVILLE, MISSOURI APPROVING THE FINAL SITE PLANS FOR THE CONSTRUCTION OF THE COOPER COUNTY AMBULANCE DISTRICT FACILITY, TRACT 3, LOCATED NEAR B HIGHWAY ON RANKIN MILL LANE (FUTURE ADDRESS IS 604 RANKIN MILL LANE)

WHEREAS, Cooper County Ambulance District, through its professional consulting firms, has made an application for the approval of its plans to construct a new facility located on Rankin Mill Lane (future address is 604 Rankin Mill Lane); and

WHEREAS, City staff, including the City Engineer, Building Inspector, Public Works Director and Assistant to the City Administrator met and communicated with project engineers and planners throughout the month of November in order work out the details of construction and site planning and to ensure that the plans are in compliance with the City's zoning ordinances and planning standards; and

WHEREAS, Final plans were presented to the Planning and Zoning Commission, which voted on December 11, 2018, to approve the final site plans. The plans include **Exhibit A**, architectural and engineering plans, which are attached hereto. The Commission has recommended their approval by the Council. Said site plans are incorporated herein as if set forth fully in this ordinance; and

WHEREAS, the City Council has evaluated the site plans for compatibility with the use of abutting sites, the safety and convenience of vehicle and pedestrian traffic and in view of the potential economic benefit to the City of Boonville and finds them to be appropriate and beneficial to further economic development of the City.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BOONVILLE, MISSOURI AS FOLLOWS:

SECTION 1: That the final site plans for the construction of the Cooper County Ambulance Facility located at Rankin Mill Lane (future address is 604 Rankin Mill Lane) in the City of Boonville, should be and are hereby approved.

SECTION 2: This ordinance shall take effect and be in full force from passage of this ordinance, and the approval granted herein shall be valid for a period not to exceed 12 months thereafter.

READ FOR THE FIRST TIME: 17th DAY OF DECEMBER, 2018

READ FOR THE SECOND TIME AND PASSED THIS 7th DAY OF JANUARY 2019, AFTER A COPY OF THIS ORDINANCE, REFERENCED PLANS HAVE BEEN MADE AVAILABLE FOR PUBLIC INSPECTION PRIOR TO ITS FIRST READING.

PRESIDENT OF THE COUNCIL

APPROVED THIS 7th DAY OF JANUARY 2019.

NED BEACH, MAYOR

ATTEST:

TERESA STUDLEY, CITY CLERK

COOPER COUNTY AMBULANCE DISTRICT NEW AMBULANCE FACILITY BOONVILLE, MISSOURI


McCLURE™
making lives better

1901 Pennsylvania Ave.
Columbia, MO 65202
573-8140568
Certificate of Authority No.
E2006023253 Expires
December 31, 2018

COOPER COUNTY AMBULANCE DISTRICT
NEW AMBULANCE FACILITY
BOONVILLE, MISSOURI

COVER SHEET

THIS DOCUMENT HAS BEEN
SIGNED, SEALED AND DATED.



Christopher M. Sander
MO PE-2001004658
December 5, 2018

ISSUE DATE

11/26/18

REVISIONS

#1 - 12/05/18

ENGINEER

CMS

DRAWN BY

CFB

DESIGNED BY

CFB

CHECKED BY

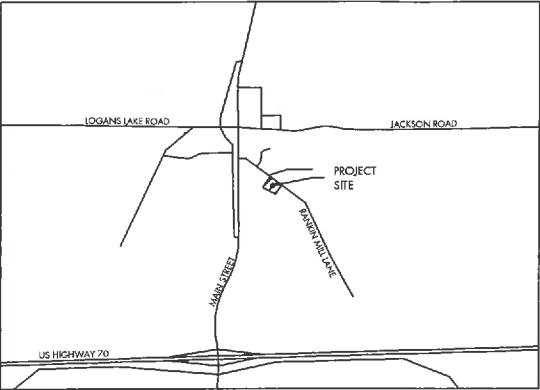
CMS

McClure Project No.

150218007

SHEET NO.

C001



LOCATION MAP
N.T.S.

OWNER:

COOPER COUNTY COMMISSIONERS
200 MAIN STREET, STE 200
BOONVILLE, MISSOURI 65233

PREPARED BY:

McClure
1901 PENNSYLVANIA DRIVE
COLUMBIA, MISSOURI 65202

UTILITY COMPANIES:

LOCATES:
MISSOURI ONE CALL, INC.
1022 S NORTHEAST DRIVE
JEFFERSON CITY, MO 65109
(800) 344-7483

NATURAL GAS:
AMEREN
2001 MAGUIRE BLVD
COLUMBIA, MO 65201
(800) 522-7583
TRENT SNODGRASS

WATER:
CITY OF BOONVILLE
401 MAIN STREET
BOONVILLE, MO 65233
(660) 882-2332

SANITARY SEWER:
CITY OF BOONVILLE
401 MAIN STREET
BOONVILLE, MO 65233
(660) 882-2332

ELECTRIC:
AMEREN
(660) 882-8702
DAVID HAGAN

COMMUNICATION:
SOCKET
2703 CLARK LANE
COLUMBIA, MO 65202
(573) 817-0000

FLOOD PLAIN STATEMENT:

NO PART OF THIS TRACT LIES WITHIN THE 100-YEAR
FLOOD PLAIN MAP 29053C0155C, EFFECTIVE 5/3/2011.

TRACT INFORMATION:

SIZE: 2.1 ACRES

A TRACT OF LAND LOCATED IN THE NE QUARTER OF
SECTION 11, TOWNSHIP 48 NORTH, RANGE 17 WEST,
CITY OF BOONVILLE, COOPER COUNTY, MISSOURI.

GENERAL NOTES:

- ALL STREET & STORM CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF BOONVILLE REQUIREMENTS.
- ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF BOONVILLE REQUIREMENTS.
- EXISTING UTILITIES SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL COORDINATE LOCATES (HORIZONTAL AND VERTICAL) PRIOR TO ANY EXCAVATION.
- ALL EXCAVATION TO BE IN ACCORDANCE WITH SECTIONS 319.010-319.050, REVISED STATUTES OF THE STATE OF MISSOURI. SUCH COMPLIANCE SHALL NOT, HOWEVER, EXCUSE ANY PERSON MAKING ANY EXCAVATION FROM DOING SO IN A CAREFUL AND PRUDENT MANNER, NOR SHALL IT EXCUSE SUCH PERSON FROM LIABILITY FOR ANY DAMAGE OR INJURY TO UNDERGROUND UTILITIES RESULTING FROM THE EXCAVATION.
- A GEOTECHNICAL EVALUATION OF THE SUBSURFACE SOIL, GROUNDWATER CONDITIONS, AND A SLOPE STABILITY ANALYSIS HAS NOT BEEN PERFORMED BY THIS ENGINEER. THE OWNER SHALL SATISFY THEMSELVES OF ALL GEOTECHNICAL CONDITIONS PRIOR TO ANY CONSTRUCTION.
- ANY FILL PLACEMENT WITHIN STREET RIGHT-OF-WAY SHALL BE INSPECTED BY THE CITY OF BOONVILLE.
- REFER TO STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR NARRATIVE REPORT AND BMP DESCRIPTIONS AND DETAILS.
- ALL SLOPES ARE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- IT IS THE INTENT OF THESE PLANS TO COMPLY WITH THE REQUIREMENTS OF THE MDNR CLEAN WATER COMMISSION.
- ALL DISTURBED AREAS WITHIN THE "LIMITS OF DISTURBANCE" SHALL BE FINE GRADED, SEEDED, AND MULCHED.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL DEVICES AND REMOVING THEM ONCE THE SITE IS STABILIZED.
- ALL SEWER LINES SHALL BE CONSTRUCTED AT LEAST 10 FEET HORIZONTALLY, EDGE TO EDGE, FROM ANY WATER LINE AND A LEAST 18 INCHES VERTICALLY BETWEEN THE OUTSIDE LIMITS OF THE SANITARY SEWER AND WATER LINE. FOR CONDITIONS OTHER THAN THOSE IDENTIFIED ABOVE, CONTACT THE ENGINEER FOR SPECIFIC INSTRUCTIONS.
- NO SITE CONSTRUCTION ACTIVITIES, INCLUDING SITE CLEARANCE OR GRADING, SHALL OCCUR PRIOR TO ISSUANCE OF A DEVELOPMENT CONSTRUCTION PERMIT FROM THE CITY OF BOONVILLE.

GENERAL LAND DISTURBANCE NOTES:

- MISSOURI DNR LAND DISTURBANCE PERMIT FOR THIS TRACT IS _____.
- PROPOSED TOTAL DISTURBED AREA IS APPROXIMATELY 1.3 ACRES.
- CONTRACTOR SHALL NOT DISTURB ADJACENT PROPERTIES OUTSIDE THE SHOWN EASEMENTS THAT ARE NOT THE PROPERTY OF THE OWNER UNLESS WRITTEN AUTHORIZATION IS OBTAINED.
- ALL WORK SHALL COMPLY WITH THE CITY OF BOONVILLE AND STATE OF MISSOURI D.N.R. REGULATIONS IN REGARDS TO LAND DISTURBANCE.
- LAND DISTURBANCE SITES SHOULD BE INSPECTED ON A REGULAR SCHEDULE AND WITHIN A REASONABLE TIME PERIOD (NOT TO EXCEED 48 HOURS) FOLLOWING HEAVY RAINS. REGULARLY SCHEDULED INSPECTIONS SHALL BE AT A MINIMUM OF ONCE PER WEEK. ANY DEFICIENCIES SHALL BE NOTED IN A WEEKLY REPORT OF THE INSPECTION AND CORRECTED WITHIN SEVEN CALENDAR DAYS OF THE REPORT.
- IN ORDER TO TERMINATE A STATE OPERATING PERMIT THE MISSOURI DEPARTMENT OF NATURAL RESOURCES (MDNR) REQUIRES THAT THE PERMITTEE SUBMIT A COMPLETED FORMH (INCLUDED WITH THE APPROVED PERMIT) TO THE MDNR. A PERMIT IS ELIGIBLE FOR TERMINATION WHEN EITHER PERENNIAL VEGETATION, PAVEMENT, BUILDINGS, OR STRUCTURES USING PERMANENT MATERIALS COVER ALL AREAS THAT HAVE BEEN DISTURBED. VEGETATIVE COVER SHALL BE AT LEAST 70% OF FULLY ESTABLISHED PLANT DENSITY OVER 100% OF THE DISTURBED AREA.
- SEE LAND DISTURBANCE PLANS AND SWPPP FOR FURTHER INFORMATION REGARDING LAND DISTURBANCE AND EROSION CONTROL MEASURES AND REQUIREMENTS.
- THE FINAL CONTOURS SHOWN ARE APPROXIMATE, AND MAY BE CHANGED IN THE FIELD WITH AUTHORIZATION OF ENGINEER. THE GOAL BEING TO GRADE THE SITE TO MINIMIZE OR ELIMINATE POSSIBLE DRAINAGE PROBLEMS FROM OCCURRING IN THE FUTURE. CHANGES IN GRADING THAT ALTER THE DESIGN DRAINAGE AREAS SHALL BE SUBJECT TO REVIEW BY THE CITY OF BOONVILLE.
- THE CONTRACTOR SHALL BE REQUIRED TO HAVE COMPACTION TESTING PERFORMED ON ALL FILL AREAS OUTSIDE OF STREET RIGHT-OF-WAY. THIS DATA MUST BE RECORDED IN A FORM THAT THE AREAS TESTED CAN BE RELOCATED ON A PLAN. THE TESTING REQUIRED SHALL BE ONE PASSING TEST FOR EACH 8 INCHES OF FILL ON EACH LOT WITHIN THE FILLED AREAS.
- FILL AREAS WITHIN STREET RIGHT-OF-WAY WILL BE TESTED ACCORDING TO CITY OF BOONVILLE CODE OF ORDINANCES.
- DISPOSE OF MATERIAL REMOVED FROM MAINTENANCE OF TRAPS IN BLACK DIRT STOCK PILES.
- ALL AREAS DISTURBED SHALL BE SEEDED AND MULCHED AFTER ALL CONSTRUCTION IS COMPLETE AND BE IN COMPLIANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN. SEEDING MAY BE PHASED SO THAT GROUND COVER IS ESTABLISHED SOONER.

SHEET INDEX:

C001 - COVER SHEET, LEGEND & NOTES
C100 - DIMENSION & UTILITY PLAN
C200 - GRADING & EROSION PLAN
C300 - DETAILS

STANDARD LEGEND (PLAN VIEW)

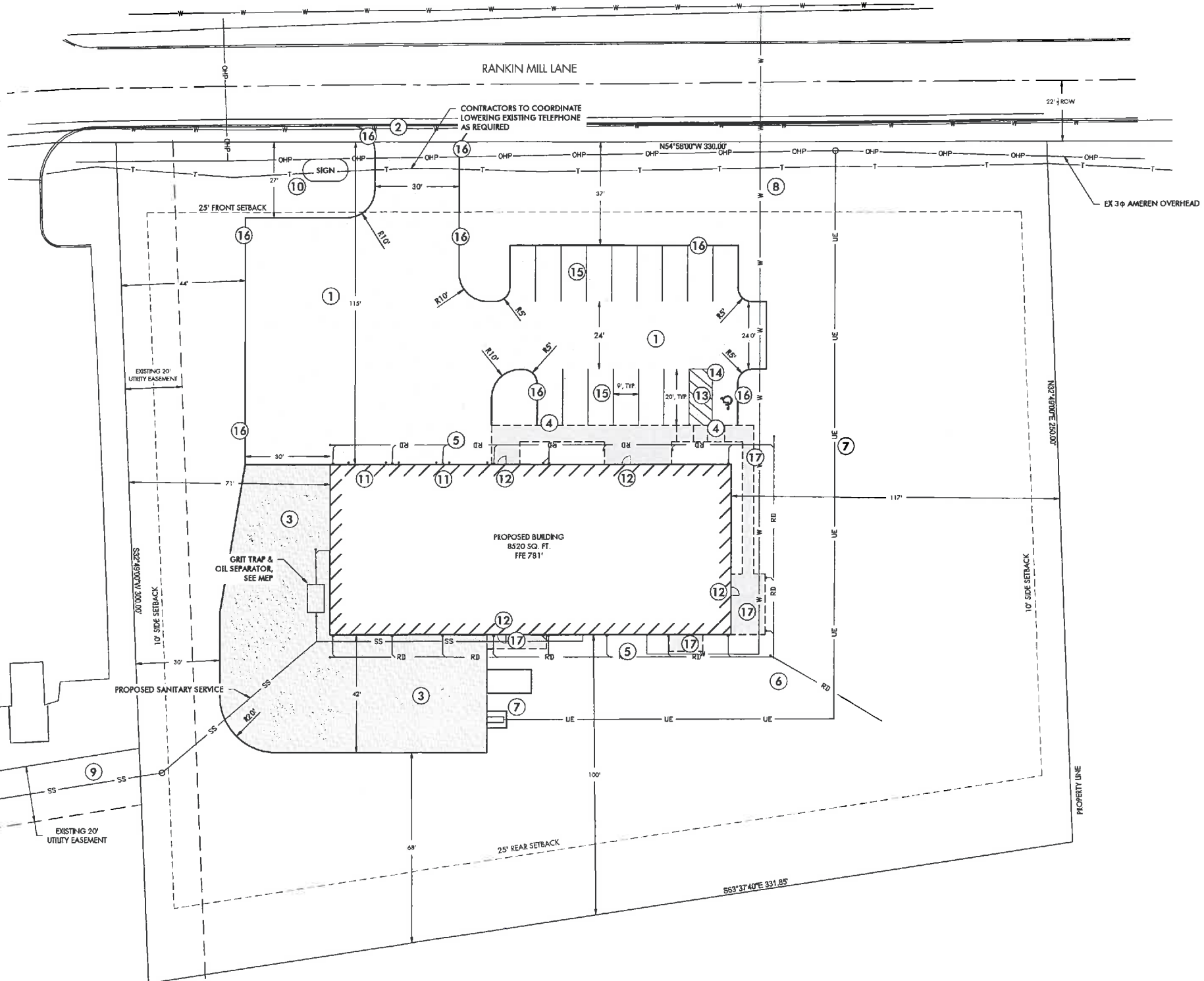
EXISTING	PROPOSED	EXISTING	PROPOSED

STANDARD LEGEND (PLAN VIEW)

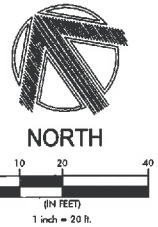
EXISTING	PROPOSED	
		SANITARY SEWER MAIN
		SANITARY SEWER SERVICE
		SANITARY SEWER FORCE MAIN
		WATER MAIN
		WATER SERVICE

NOTES:

- ① PCC PAVING AS SHOWN. SEE DETAIL 1, SHEET C300.
- ② CONSTRUCT PCC DRIVEWAY APPROACH WITH 10' RADIUS CURB RETURN AS SHOWN.
- ③ INSTALL 5" OF 3" MINUS CRUSHED LIMESTONE TOPPED WITH 3" OF 1" MINUS ROLLED STONE BASE.
- ④ CONSTRUCT PCC SIDEWALK CURB AS SHOWN. SEE DETAIL 4, SHEET C300.
- ⑤ INSTALL 6" HDPE OR SDR 35 PVC ROOF DRAIN PIPE AT 1% MIN. CONNECT TO DOWNSPOUTS. SEE ARCHITECTURAL PLANS FOR DOWNSPOUT LOCATIONS.
- ⑥ INSTALL 40' OF 8" HDPE OR 8" SDR 35 PVC TO DAYLIGHT AS SHOWN.
- ⑦ INSTALL CONDUIT FOR ELECTRIC AND CONSTRUCT PCC TRANSFORMER PAD. COORDINATE WITH AMEREN AND MEP.
- ⑧ INSTALL 2" WATER SERVICE. COORDINATE WITH MEP AND CITY OF BOONVILLE.
- ⑨ INSTALL 4" SDR 35 SANITARY LATERAL AS SHOWN AT 1% MINIMUM GRADE. INSTALL CLEANOUT TO SURFACE AT CHANGE OF DIRECTION, NOT TO EXCEED 100'. CONNECT TO MAIN PER CITY OF BOONVILLE REQUIREMENTS.
- ⑩ MONUMENT SIGN. SEE ARCHITECTURAL PLAN FOR DETAILS.
- ⑪ INSTALL PIPE BOLLARD AS SHOWN. SEE DETAIL 2, SHEET C300 (6 REQUIRED).
- ⑫ INSTALL 9'X5' LANDING AT 2% MAX SLOPE AT EACH DOOR.
- ⑬ CONSTRUCT ACCESSIBLE RAMP AS SHOWN. 1:12 MAX SLOPE, 2% MAX CROSS SLOPE.
- ⑭ ACCESSIBLE PARKING AS SHOWN. SLOPE SHALL NOT EXCEED 2% IN ANY DIRECTION. SEE DETAIL 5, SHEET C300.
- ⑮ PAINT STALLS AS SHOWN WITH 4" STRIPE.
- ⑯ NO CURB
- ⑰ CONSTRUCT PCC WALK AS SHOWN. SEE DETAIL 6, SHEET C300.



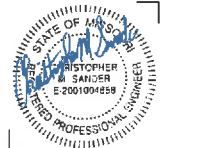
1901 Pennsylvania Ave.
Columbia, MO 65202
573-814-1568
Certificate of Authority
No. E2006023253
Expires December 31, 2018



**COOPER COUNTY AMBULANCE DISTRICT
NEW AMBULANCE FACILITY
BOONVILLE, MISSOURI**

DIMENSION & UTILITY PLAN

THIS DOCUMENT HAS BEEN
ELECTRONICALLY
SIGNED, SEALED AND DATED.



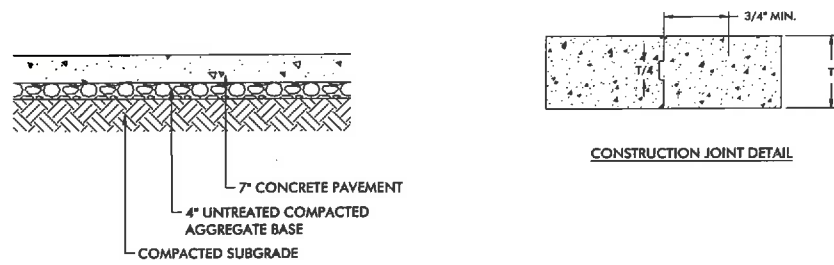
Christopher M. Sander
MO PE2001004658
December 5, 2018

ISSUE DATE
11/26/18
REVISIONS
#1 - 12/05/18

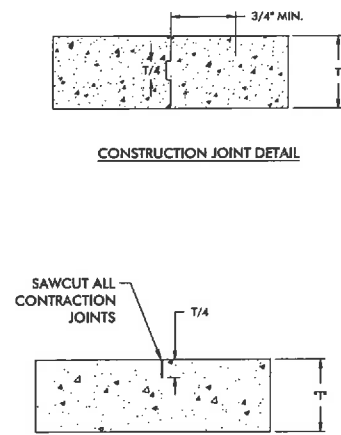
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CFB
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PROJECT NO.
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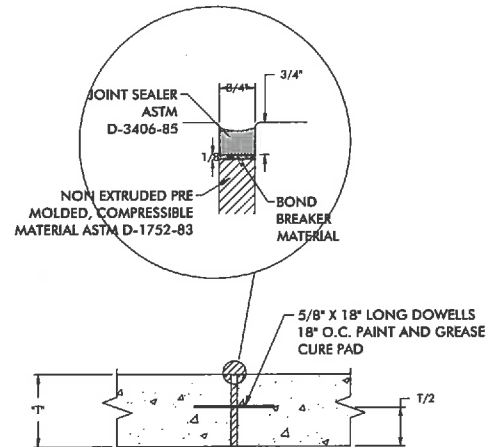
SHEET NO.
C100



- NOTE:
1. CONCRETE SHALL CONFORM TO SPECIFICATIONS.
 2. ALL IRREGULAR SLABS AND RECTANGULAR SLABS EXCEEDING LENGTH TO WIDTH RATIO OF 1.25 SHALL BE ADDITIONALLY REINFORCED WITH 6" X 6" W2.9WWF.
 3. SAWCUT ALL CONTRACTION JOINTS.
 4. ALL JOINTS SHALL BE SEALED WITH VULCAN 45 OR DOW CORNING 888 SILICONE JOINT SEALANT.
 5. CONTROL JOINTS SHALL BE SAWN TO CREATE UNIFORM RECTANGULAR SLABS NOT TO EXCEED 10'X10' IN SIZE.

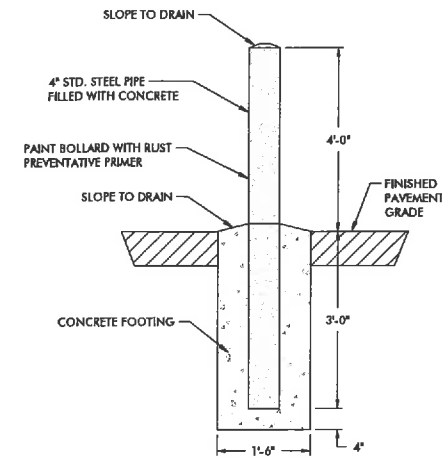


CONTROL JOINT DETAIL

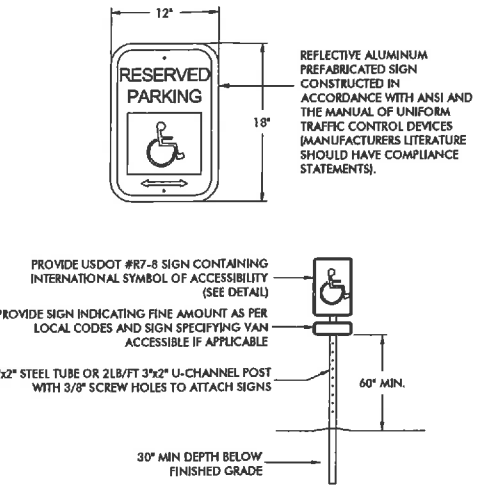


EXPANSION JOINT DETAIL

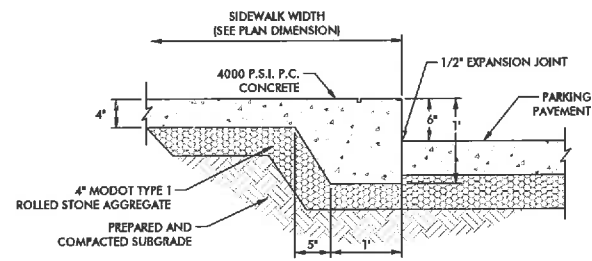
1 CONCRETE PAVEMENT DETAILS N.T.S.



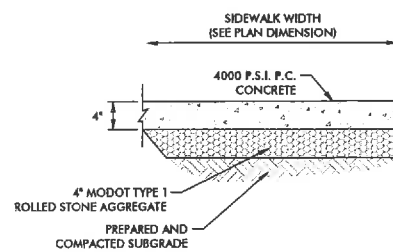
2 TYPICAL BOLLARD N.T.S.



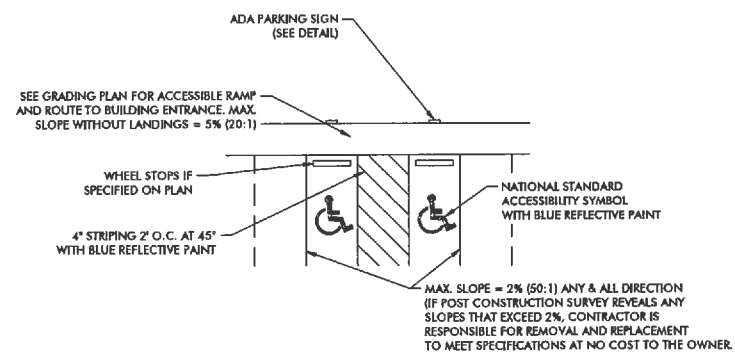
3 HANDICAPPED PARKING SIGN N.T.S.



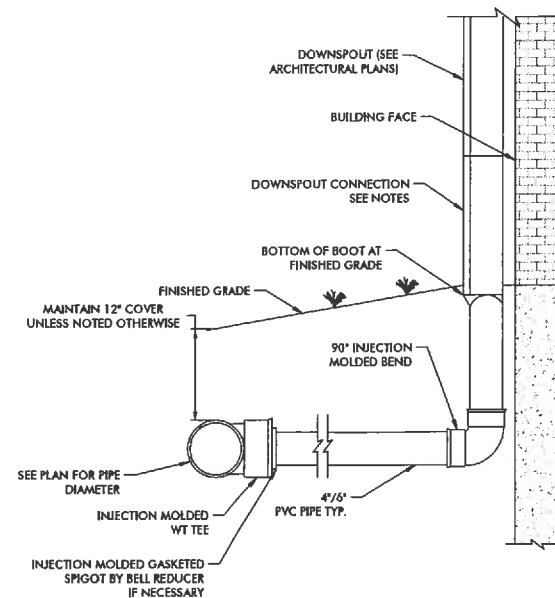
4 SIDEWALK CURB N.T.S.



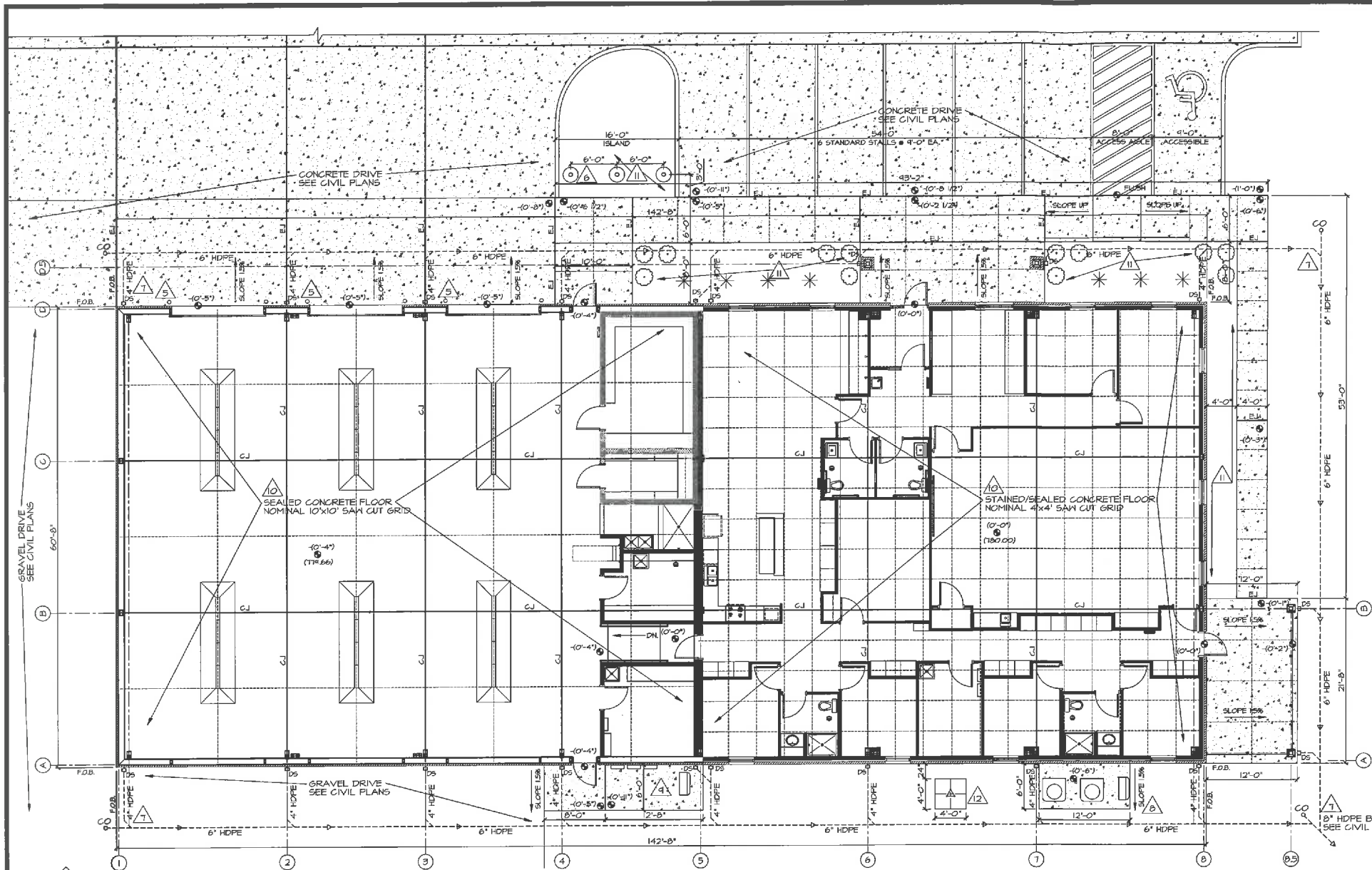
6 PCC WALK N.T.S.



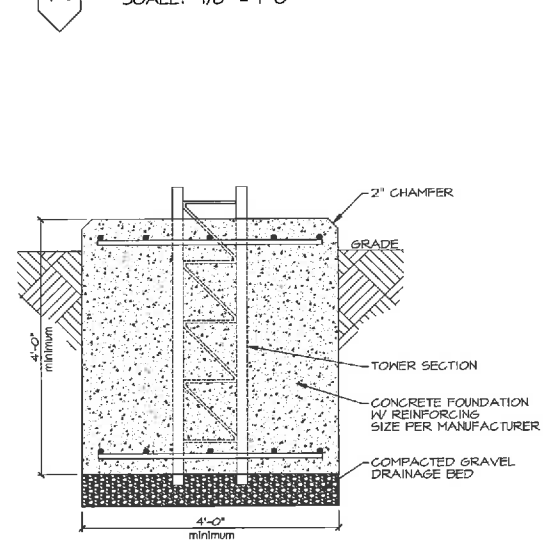
5 ACCESSIBLE PARKING DETAIL N.T.S.



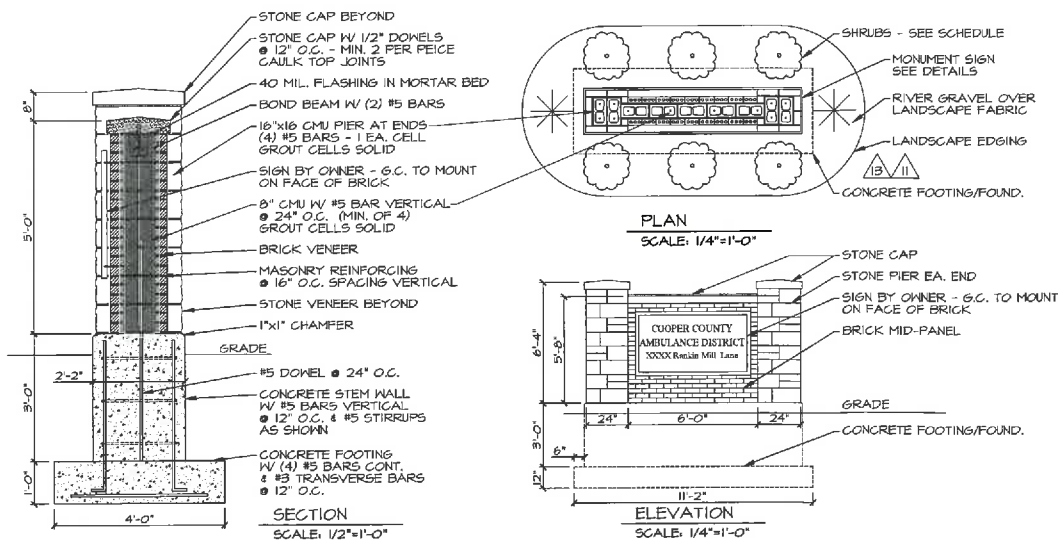
7 ROOF DRAIN CONNECTION N.T.S.



BUILDING ROOF DRAINAGE & WALKS/PAVING PLAN
SCALE: 1/8" = 1'-0"



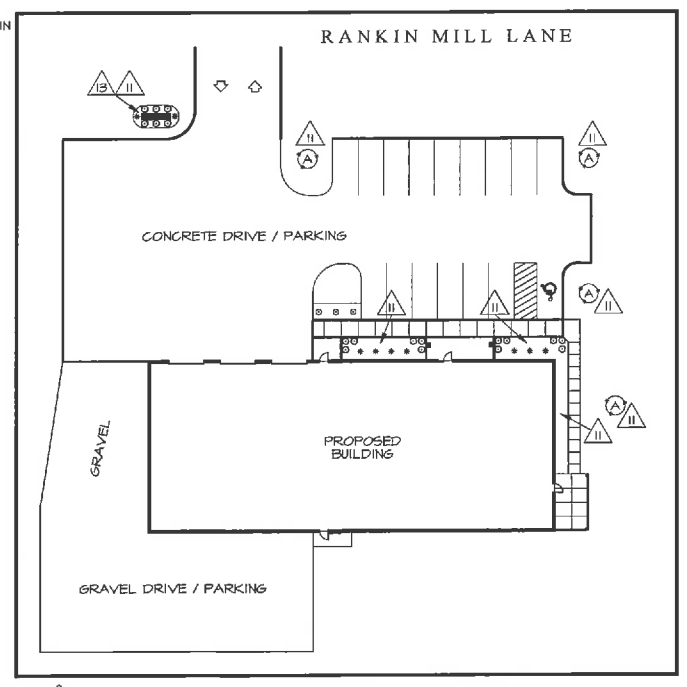
1 TOWER BASE DETAIL
SCALE: 3/4" = 1'-0"



2 MONUMENT SIGN DETAIL
SCALE: 1/2" = 1'-0"

- NOTES**
EXTERIOR WALKS & PAVING NOTES
- WALKS AND PAVING LAYOUT SHOWN ON THIS PLAN FOR CLARITY. ALSO SEE AND COORDINATE WITH CIVIL AND STRUCTURAL PLANS. SEE THIS PLAN FOR SAVED JOINTS (SINGLE LINE DASHED) AND EXPANSION JOINTS (DOUBLE LINE & LABELED E.J.) - SEE CIVIL PLANS FOR REQUIREMENTS. EXPANSION JOINTS ALSO TO BE PROVIDED WHERE WALKS AND DRIVE PAVING ABUTS BUILDING CONCRETE.
 - EXTERIOR CONCRETE WALKS - 4" THICK CONCRETE PER CIVIL PLANS. SEE CIVIL PLANS FOR REQUIREMENTS.
 - EXTERIOR CONCRETE DRIVE PAVING - CONCRETE PER CIVIL PLANS. SEE CIVIL PLANS FOR REQUIREMENTS.
 - EXTERIOR CONCRETE WALKS/PADS: EXTERIOR CONCRETE APRONS TO BE MIN. 6" THICK AT O.H. DOORS. SLOPE AWAY FROM BLDG. AT 2% MAX. UNLESS NOTED OTHERWISE. PEDESTRIAN SIDEWALKS TO BE MIN. 4" THICK. PROVIDE A MIN. 10" THICK x 36" DEEP FROST FOOTING AT ALL EXTERIOR SCOOPS, APRONS, PATIOS, ETC. ALSO SEE CIVIL DRAWINGS FOR DRIVE AND PARKING REQUIREMENTS.
 - STEEL BOLLARDS / GUARD POSTS - 6'-0" x 6" DIA. STEEL PIPE EMBEDDED IN CONCRETE W/ TOP @ +48" ABOVE FINISHED CONCRETE. FILL WITH CONCRETE AND PAINT BLUE OR COLOR AS INDICATED BY OWNER. SEE FLOOR PLAN THIS SHEET FOR LOCATIONS - 2 REQUIRED AT EXTERIOR OF EACH O.H. DOOR. CONTRACTOR OPTION - BOLTED BASEPLATE ALSO ACCEPTABLE.
 - FLAG POLES (3 REQ'D) - CONTRACTOR TO PROVIDE AND INSTALL FLAG POLES AND CONCRETE BASES. SEE FLOOR PLAN AND ALSO CIVIL PLANS FOR LOCATIONS. ALSO SEE MEP PLANS FOR LIGHTING. CONCRETE BASES PER MANUFACTURER REQUIREMENTS.
 - DOWNSPOUTS - SEE PLAN, THIS SHEET AND EXTERIOR ELEVATIONS FOR LOCATIONS. DOWNSPOUTS TO BE SHEET METAL PER FPMH MFR. AND TO DISCHARGE BELOW GRADE INTO 4" HDPE LATERAL VIA BOOT/ADAPTER W/ CLEANOUT - TIE INTO BUILDING STORM SEWER LINES - SEE PLAN, THIS SHEET FOR LOCATIONS - SEE CIVIL PLANS FOR LOCATION OF SITE STORM SEWERS AND DISCHARGE AREA.
 - CONDENSER PADS - LOCATE AT BACK (SOUTH) OF BUILDING. SEE FLOOR PLAN FOR LOCATIONS AND SIZE. ACTUAL SIZE TO BE ADJUSTED AS REQUIRED TO ACCOMMODATE UNITS AND CLEARANCES.
 - FUTURE GENERATOR PAD - LOCATE AT BACK (SOUTH) OF BUILDING. SEE FLOOR PLAN FOR LOCATION AND SIZE - RUN CONDUITS TO FUTURE LOCATION ONLY - SEE MEP PLANS. ACTUAL SIZE TO BE COORDINATED TO ACCOMMODATE FUTURE GENERATOR AND CLEARANCES. GENERATOR TO BE PROVIDED AND INSTALLED BY OWNER.
 - INTERIOR CONCRETE SLABS - STAINED/SEALED (EAST) SLAB TO HAVE NOMINAL 4'x4' SAW CUT GRID. SEALED (WEST) SLAB TO HAVE NOMINAL 10'x10' SAW CUT GRID. INSTALL SEALANT IN SAW CUTS PRIOR TO SEALING. CONSTRUCTION JOINTS TO BE ON GRID LINES. SEE PLAN THIS SHEET. ALSO SEE STRUCTURAL PLANS.
 - LANDSCAPE AREAS - INSTALL LANDSCAPE FABRIC (WEEDMATS OR EQUAL) AND MIN 3" THICK LAYER OF 1" OSAGE RIVER GRAVEL IN AREAS BETWEEN SIDEWALKS AND BUILDING & AT ISLAND. ALSO PROVIDE AT MONUMENT SIGN - LANDSCAPE FABRIC, GRAVEL AND 3" POLYETHYLENE LAWN EDGING. SEE LANDSCAPE SCHEDULE AND SITE PLAN THIS SHEET FOR TREES AND SHRUBS TO BE INSTALLED UNDER THIS CONTRACT. NURSERY TO PROVIDE MIN. 1 YEAR WARRANTY FOR ALL TREES SHRUBS.
 - RADIO TOWER - ROHN SERIES 256 40' TOWER ASSEMBLY - OR EQUAL. CONTRACTOR TO PROVIDE TOWER AND INSTALL TOWER AND BASE. CONCRETE BASE TO BE MIN. 4'x4'x4' DEEP ON MIN. 6" COMPACTED SAND/GRAVEL DRAINAGE BED. SEE DETAIL ON THIS SHEET - INSTALL PER MANUFACTURER REQUIREMENTS. INSTALL 2" PVC CONDUIT FROM TOWER TO MECHANICAL ROOM 112. VERIFY EXACT TOWER LOCATION WITH OWNER/ARCHITECT PRIOR TO INSTALLATION.
 - MONUMENT SIGN - INSTALL NEW MASONRY MONUMENT SIGN - SEE SITE PLAN THIS SHEET FOR LOCATION. ALSO SEE DETAILS THIS SHEET. OWNER TO PROVIDE (1) 6'x4' SIGN APPLIED TO MASONRY ON STREET SIDE - INSTALLATION BY G.C. SEE ELECTRICAL SITE PLAN FOR REQUIRED LIGHTING. VERIFY EXACT LOCATION WITH OWNER/ARCHITECT PRIOR TO INSTALLATION.

LANDSCAPE SCHEDULE				
SYMBOL	DESCRIPTION	SIZE	QUANTITY	REFERENCE
*	SAYBROOK JUNIPER	#3	1	SEE SITE PLAN THIS SHEET
○	DRIFT ROSE	#3	10	SEE SITE PLAN THIS SHEET
⊙	AUTUMN BLAZE MAPLE	2" DIA.	4	SEE SITE PLAN THIS SHEET



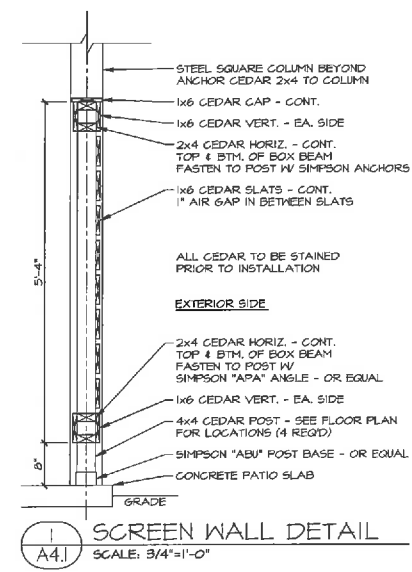
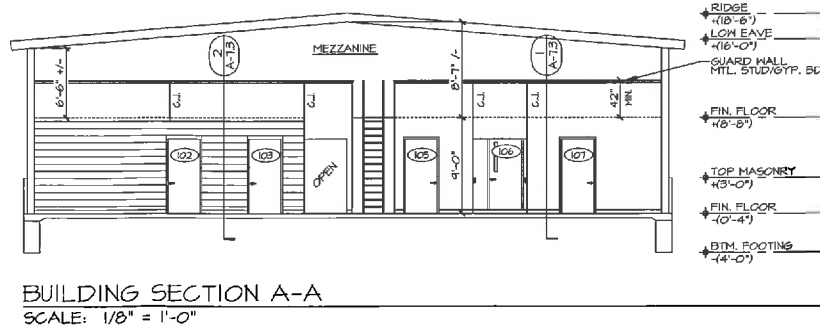
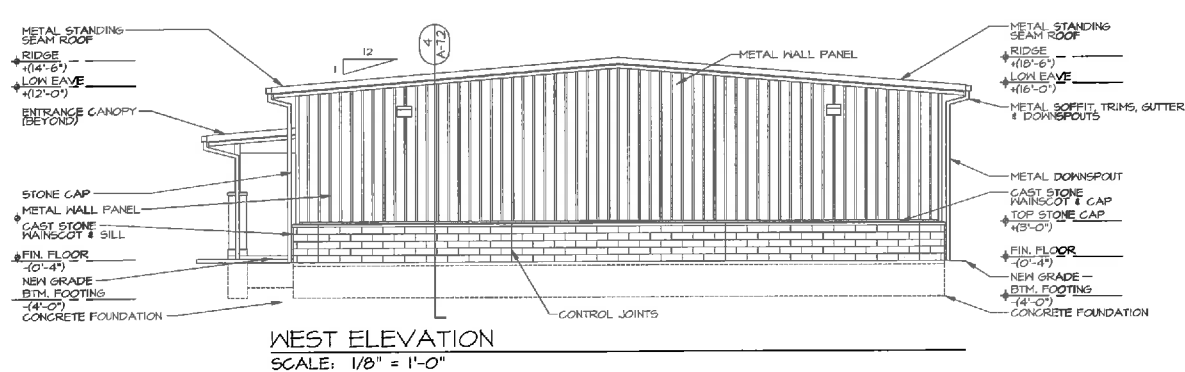
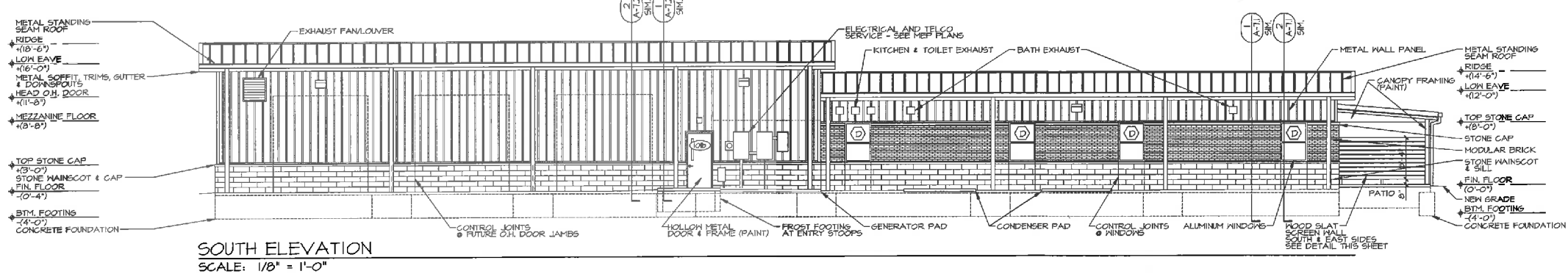
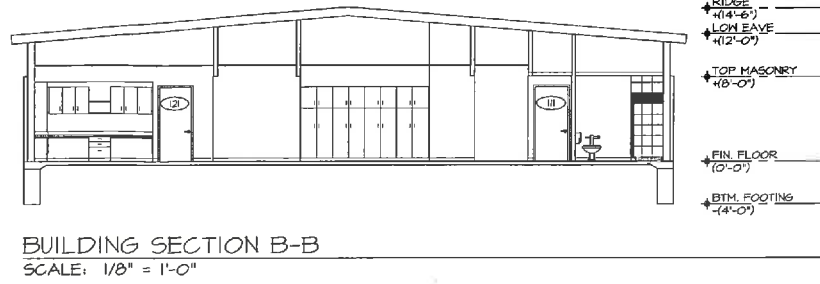
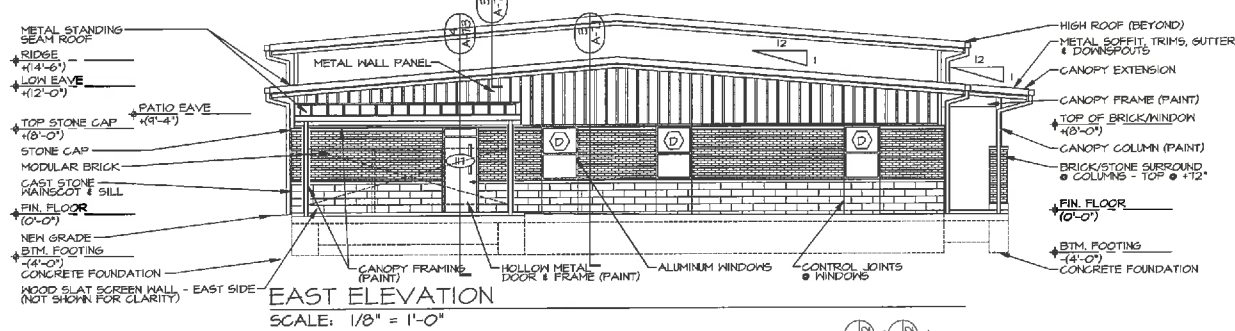
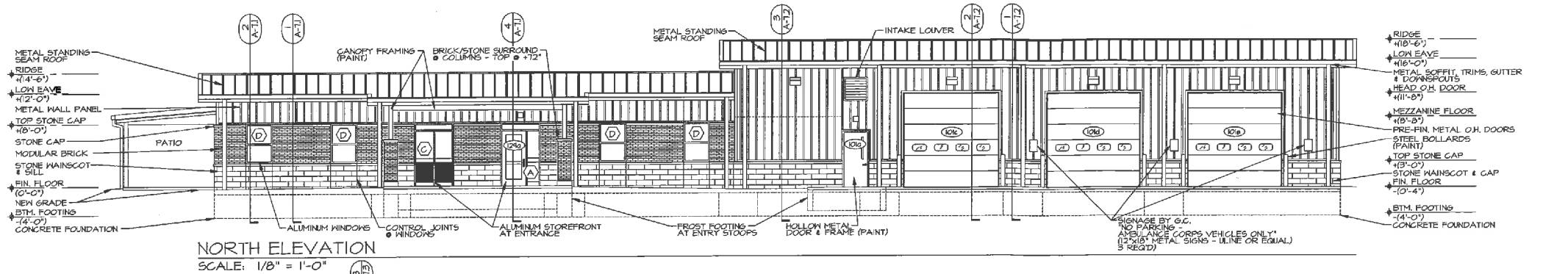
SITE LANDSCAPING PLAN
SCALE: 1" = 30'-0"

PORTER, BERENDZEN & ASSOCIATES, P.C.
ARCHITECTS
MISSOURI ARC-000588 - EXP. 12-31-19
305 EAST BROADWAY - SUITE A
P.O. BOX 446
ASHLAND, MISSOURI 65010
PHONE: (573) 657-2022
email: pba_info@centurytel.net

JAY D. BERENDZEN
ARCHITECT
NUMBER 29600034595
EXPIRATION DATE 12-31-18
JAY D. BERENDZEN, ARCHITECT
MO# A-2000034585

NEW AMBULANCE FACILITY
RANKIN MILL LANE
COOPER COUNTY AMBULANCE DISTRICT
COOPER COUNTY - BOONVILLE, MISSOURI
ARCHITECTURAL SITE PLAN

NO.	DATE	DESCRIPTION
1	NOV. '18	PROJECT NO. 1813
		DRAWING NO. A3.5



ADA SIGNAGE SPECIFICATIONS:

NOTE: ADA SIGNAGE SHALL BE PROVIDED FOR ALL NEW UTILITY ROOMS, JANITOR ROOMS & PUBLIC RESTROOMS.

PICTOGRAM	MATERIAL AND COLOR	LOCATION	DETAIL
1/32" RAISED TACTILE PICTOGRAM AREA MUST BE 6" MINIMUM HIGH TO BE IN CONFORMANCE WITH IAC 400.310 (11/13).	MATERIAL: PLASTIC COLOR: BLUE BACKGROUND WITH WHITE LETTERS	8" x 8" SIGN	1/32" TAGTILE PLATE
TEXT	5/8" HIGH UPPERCASE HELVETICA MEDIUM (OR SANS SERIF) 1/32" RAISED LETTERS POSITIONED DIRECTLY BELOW PICTOGRAM		1/32" TAGTILE PLATE
SIGN SIZE	8" x 8"		1/32" TAGTILE PLATE

BRAILLE
GRADE 2 BRAILLE POSITIONED DIRECTLY BELOW TEXT KROY RECOMMENDATIONS

PORTER, BERENDZEN & ASSOCIATES, P.C.
ARCHITECTS
MISSOURI ARCH-000588 - EXP. 12-31-19
305 EAST BROADWAY - SUITE A
P.O. BOX 446
ASHLAND, MISSOURI 65010
PHONE: (573) 657-2022
email: pba_info@centurylink.net

STATE OF MISSOURI
JAY D. BERENDZEN
NUMBER 2008034585
ARCHITECT
EXPIRATION DATE 12-31-20
JAY D. BERENDZEN, ARCHITECT
MO# A2008034585

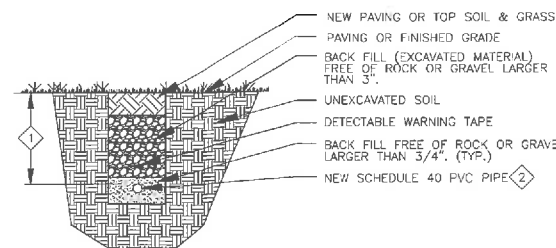
NEW AMBULANCE FACILITY
RANKIN MILL LANE
COOPER COUNTY AMBULANCE DISTRICT
COOPER COUNTY - BOONVILLE, MISSOURI
EXTERIOR ELEVATIONS

NO.	DATE	DESCRIPTION
1		

DATE: **NOV. '18**
PROJECT NO.: **1813**
DRAWING NO.: **A4.1**

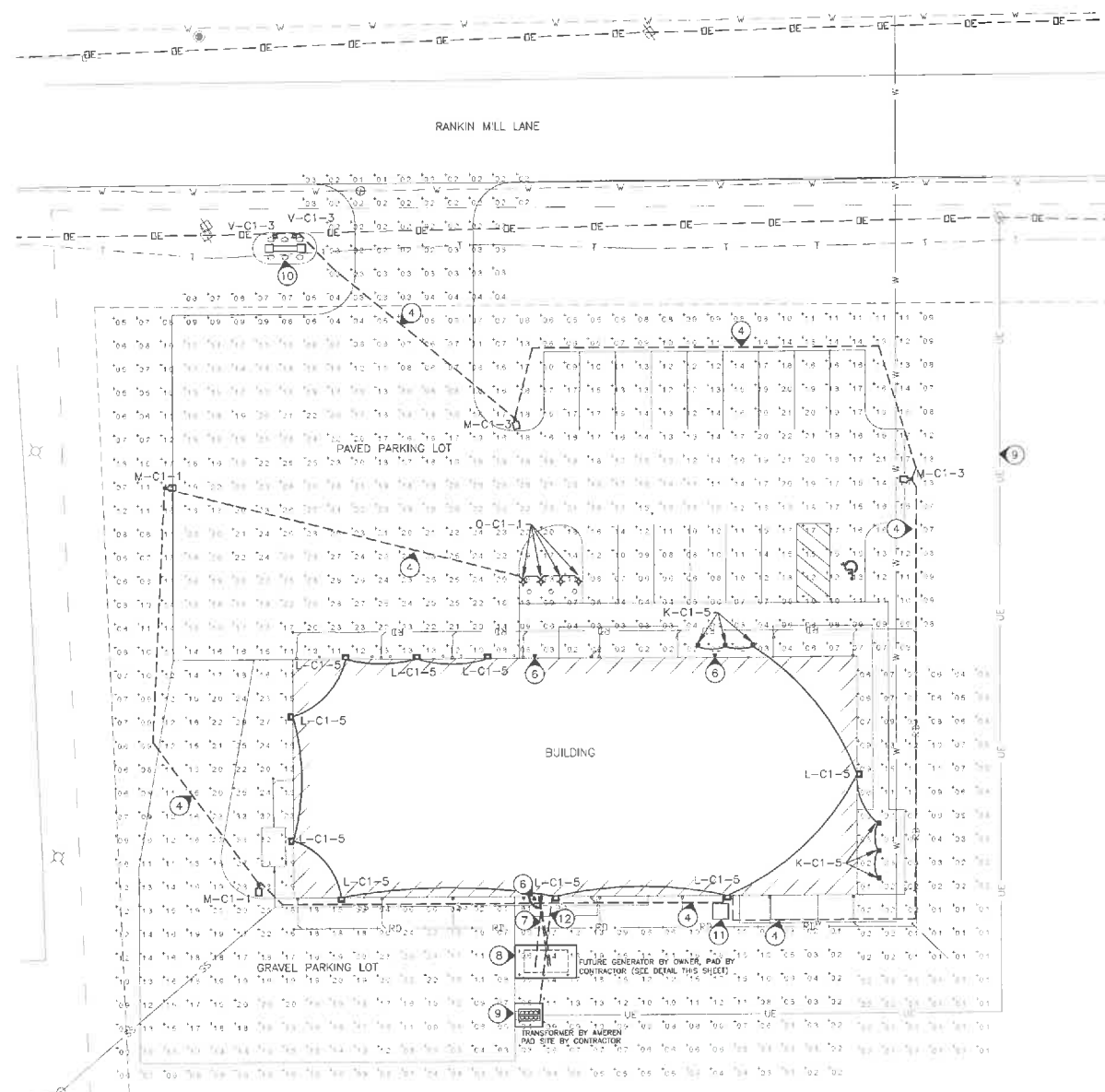
©2018 PORTER, BERENDZEN & ASSOCIATES, P.C.

LIGHTING FIXTURE SCHEDULE									
FIXTURE DATA						LAMP DATA		REMARK	
	TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	MTG ①	VOLTS VA	LAMP QTY		WATTS TYPE ②
■	K	QUAD SERIES LED CANOPY	ALL GREEN LIGHTING	QUAD-20W-BR-100-277V-STANDARD -40K-160"	SC	120 20		20W LED	
■	L	LED SERIES GLASS WALLPACK	HUBBEILL LIGHTING	WCH-110-4K-U-M	w	120 55		55W LED	
■	M	VIPER S-L LIGHT AND POLE	BEACON HUBBEILL	VS-12-N-13-S25	P	120 111	1	111W LED	
◆	Q	GROUND MOUNTED LED FLOODLIGHT	BEGA	84 505 K4 BRZ WITH GLARE SHIELD 7 111	G	120 42		42W LED	
■	V	LED GROUND SIGN LIGHT	BEGA	84 508 K4 BRZ	G	120 12		12W LED	
NOTE: ① MOUNTING STYLE		AC - AIRCRAFT CABLE C - CONE CH - CHAIN HUNG	G - GROUND P - POLE PM - PENDANT MOUNT	R - RECESSED S - SURFACE SC - SURFACE CEILING			ST - STEM W - WALL U - UNIVERSAL		
NOTE: ② LAMP TYPE		CF - COMPACT FLUORESCENT FL - FLUORESCENT H - HALOGEN	PS - PULSE START MH - METAL HALIDE MV - MERCURY VAPOR	HPS - HIGH PRESSURE SODIUM IN - INCANDESCENT LED - LIGHT EMITTING DIODE			- - -		



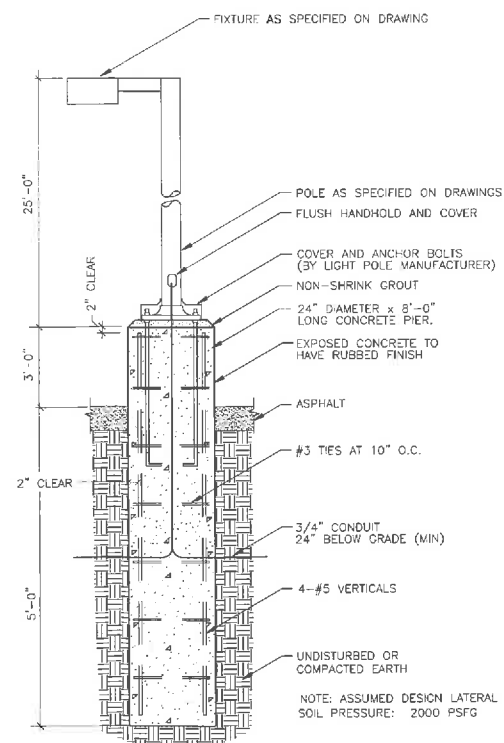
1 24" MINIMUM BENEATH STREETS, ALLEYS, AND PARKING.
2 1" CONDUIT CHASE FOR ELECTRIC PARKING LOT LIGHTS.

1 UTILITY TRENCH DETAIL

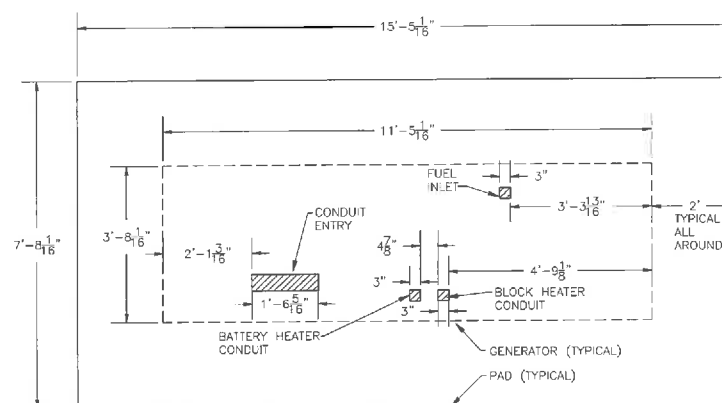


STATISTICS									
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	LLF	LUMENS	MTG. HT.
Calc Zone #1	+	1.3 fc	3.8 fc	0.2 fc	18.0:1	6.5:1	0.95	12000 NOM.	28"

* = 25' POLE WITH 3' PIER - SEE DETAIL 3



3 LIGHT POLE PIER DETAIL FOR TYPE A FIXTURES



ELC TO POUR PAD - 6" THICK MINIMUM. PROVIDE FOOTINGS AS REQUIRED BY SITE CONDITIONS. TOP OF PAD TO BE 2" GRADE.

CONCRETE BY VOLUME IS 1:2:3 OF CEMENT, SAND, AGGREGATE WITH MAX 4" SLUMP AND 28-DAY COMPRESSIVE STRENGTH OF (3000 PSI).

NO. 6 REINFORCING BARS ON 12" CENTERS EACH WAY HORIZONTALLY WITH 3" CLEAR ALL AROUND.

ELC RESPONSIBLE TO COORDINATE EXACT LOCATION OF PENETRATIONS WITH GENERATOR SELECTED BY THE OWNER. THIS PRELIMINARY PAD DESIGN ONLY GOOD FOR KOHLER NATURAL GAS MODEL 80REZD, 120/208V, 3ø, 3W, 60 HZ, 80KW WITH 49RX ALTERNATOR, SOUND ENCLOSURE, REMOTE ANNUNCIATOR PANEL, REMOTE EMERGENCY STOP, BUILT HEATER WITH 5-YEAR COMPREHENSIVE LIMITED WARRANTY. SEE KOHLER CO. DRAWING #ADV-8165 DATED 3-24-11.

4 GENERATOR PAD DETAIL
SCALE: 1/2"=1'-0"

(N) INDICATES KEYED NOTES

- 1 WORK SHALL BE DONE IN STRICT CONFORMANCE WITH THE LOCAL BUILDING CODES AND REGULATIONS AND CURRENT NEC. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ELECTRICAL PERMITTING FEES AND COORDINATION WITH LOCAL AUTHORITY ON INSTALLATION INSPECTIONS.
- 2 GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A MINIMUM OF ONE YEAR FROM FINAL ACCEPTANCE UNLESS OTHERWISE STATED IN CONSTRUCTION SPECIFICATIONS.
- 3 COORDINATE TRENCHING WITH OTHER SITE UTILITIES.
- 4 INSTALL (2) #12 CU THWN & (1) #12 CU THWN GRND IN (1) 1" SCHEDULE 40 PVC CONDUIT.
- 5 EXTERIOR PARKING LOT LIGHTS TO BE CONTROLLED BY TIME CLOCK AND PHOTOCELL. (TORK 2001 SERIES PHOTOCELL 600VA LED 120V STEM & SWIVEL OR EQUAL). (TORK 7200L SERIES 24HR DPST TIME CLOCK OR EQUAL). SEE SHEET E5.1 FOR DETAIL.
- 6 EMERGENCY LIGHT TO BE CIRCUITED WITH INTERIOR LIGHTING. SEE SHEET E1.1.
- 7 (1) 3" CONDUIT TO AUTO TRANSFER SWITCH FOR MAIN EMERGENCY POWER. ALSO PROVIDE 1" CONDUITS FOR BLOCK HEATER & BATTERY HEATER TO SPA. REFERENCE GENERATOR DRAWING. SEE RISER ON E5.1. COORDINATE ALL ELECTRICAL SERVICE REQUIREMENTS WITH DAVID HAGEN AT AMEREN.
- 8 FUTURE GENERATOR LOCATION. CONTRACTOR RESPONSIBLE FOR POURING APPROVED PAD FOR GENERATOR SELECTED. INSTALL ALL IN GROUND CONDUITS WITH PULL STRINGS FOR FUTURE WIRING. LOCATION BY OWNER.
- 9 ELECTRICAL SERVICE: AMEREN TO PROVIDE THE TRANSFORMER, PRIMARY WIRE, PAD FOR THE TRANSFORMER AND THE METER. ELC TO PROVIDE AND INSTALL ALL PRIMARY AND SECONDARY CONDUIT WITH A PULL ROPE THRU THE PRIMARY CONDUIT. ELC TO PROVIDE PAD SITE FOR TRANSFORMER - MAY BE POURED OR AMEREN COULD SUPPLY A COMPOSITE PAD. ELC TO PROVIDE AND INSTALL ALL SECONDARY WIRING AS WELL AS AN AMEREN APPROVED CT AND METER BASE. COORDINATE EXACT LOCATION OF TRANSFORMER PAD AND ALL WORK WITH AMEREN; DAVID HAGEN - (314-554-4930). CONSTRUCTION HOTLINE (866-992-6619). COORDINATE WITH CIVIL PLANS. REFERENCE SHEET E5.1.
- 10 MONUMENT SIGN - COORDINATE PLACEMENT OF GROUND SIGN LIGHTS WITH THE LANDSCAPING AND ARCHITECTURAL SITE PLAN. LIGHTS ARE TO BE SET AT 2.5' AVOID FROM SIGN AND BETWEEN THE SHRUBS. AIM AT LEFT MIDDLE AND RIGHT MIDDLE RESPECTIVELY TO FULLY LIGHT SIGN WITH EVEN LIGHT PATTERN.
- 11 APPROXIMATE LOCATION OF RADIO TOWER AND PAD. ELC TO RUN A 2" CONDUIT FROM TOWER UNDERGROUND TO MECHANICAL ROOM 112 PER MANUFACTURER'S DETAILS. COORDINATE WITH OWNER ON EXACT CONDUIT LOCATION.
- 12 (3) 500 KCMIL CU THWN AND (1) 350 KCMIL CU THWN, IN (1) 4" CONDUIT TO AMEREN APPROVED, ELC PROVIDED AND INSTALLED CT CABINET. SEE RISER ON E5.1. COORDINATE ALL ELECTRICAL SERVICE REQUIREMENTS WITH DAVID HAGEN AT AMEREN.
- 13 LIGHT LEVELS ARE ONLY GOOD FOR LIGHTS AS SHOWN IN THE SCHEDULE ON THIS SHEET. IF ANY OF THE LIGHTS ARE SUBSTITUTED DURING CONSTRUCTION, IT IS THE RESPONSIBILITY OF ELC TO PROVIDE LIGHT LEVELS TO THE CITY OF BOONVILLE FOR APPROVAL.



COOPER COUNTY AMBULANCE DISTRICT
NEW AMBULANCE FACILITY
BOONVILLE, MO

NOT FOR
CONSTRUCTION
2018-11-19

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AND JOB CONDITIONS.

Design By: MDS
Drawn By: MDS
Checked By: JLD

Revision	Date	No.

Scale: VARIES

ELECTRICAL LIGHTING PLAN

Date: 2018.11.19

E1.0

**BOARD OF PUBLIC WORKS
MEETING
November 29, 2018**

The Board of Public Works met at the City Services Building at 1200 Locust, 5:30 p.m. November 29, 2018. The following voting members were present: Ed Scrivner, TC Meller and Van Donley. Susan Meadows, Council Representative and M. L. Cauthon III, Director of Public Works, were also present.

ABSENT or EXCUSED: Judy Stock

MINUTES:

Minutes of the October 25, 2018 Board of Public Works meeting were approved as presented. The motion to accept was made by Mr. Donley, seconded by Mr. Meller. Voting yes: Scrivner, Meller and Donley. Voting no: none.

PUBLIC COMMENTS: None

ACCOUNTS:

Motion was made by Mr. Meller to approve the bills to be paid December 3, 2018. The motion was seconded by Mr. Donley. Voting yes: Scrivner, Meller and Donley. Voting no: none.

OLD BUSINESS: None

NEW BUSINESS: None

MISCELLANEOUS:

Mr. Cauthon briefed the board on the recently completed 2018 sewer main cured-in-place-pipe lining project and the upcoming 2018 manhole lining project. He also discussed the implementation the new automatic meter reading (AMR) software and equipment. The board members present requested the December meeting be canceled to avoid holiday scheduling conflicts.

ADJOURN:

With no further business, the meeting was adjourned at 5:45 p.m. with the motion from Mr. Meller, seconded by Mr. Donley. Voting yes: Scrivner, Meller and Donley. Voting no: none.

Respectfully submitted,

M. L. Cauthon III

Approved by:

Ed Scrivner, Chairman

**City Of Boonville
Police Board Minutes From
December 10, 2018, 2018**

1. Meeting was called to order at 7:00 P.M. by Chairman Michael Drew

A. Members Present: Michael Drew, Tom Halford, Gene Cummins, Ralph Twillman, City Council Representative Henry Hurt, and Chief Bobby Welliver

2. Members Absent: Brett Cooper

3. Guests Present: None

4. Public Comments: None

5. Gene Cummins made the motion to approve the minutes from the October 8, 2018 meeting which was seconded by Tom Halford. Motion was approved by unanimous vote.

Reports

A. Chief Welliver

1. The 2019-2020 budget has been submitted for consideration.

2. The Department has purchased two types of less-lethal weapons to be carried in the patrol vehicles. We have purchased two Pepperball Guns and two Less-Lethal Shotguns. We will train every officer on their use before making them operational. There may a time when a situation arises where other options we have available such as the Taser and Pepper Spray are not feasible for use. The situation where we would use the Pepperball Guns and Less-Lethal Shotguns would be where we are unable to get close to the suspect(s). These types of weapons will only be used when the situation rises to the level where an officer would potentially have to use deadly force.

6. Unfinished Business

A. The Rapid ID grant is still moving forward. We are awaiting on the equipment to arrive and be placed into service.

7. New Business:

A. We received a grant in the amount of \$5,400.00 from the Local Law Enforcement Block Grant. This money will be used to purchase three MOSWIN Portable Radios for use by our Reserve Officers. This will allow our reserve officers to have the same communications equipment as the full-time officers.

8. Miscellaneous: None

9. Tom Halford made the motion to adjourn which was seconded by Ralph Twillman. Motion was approved by unanimous vote.

Meeting Adjourned At 7:33 P.M.

Respectfully Submitted,

A handwritten signature in cursive script, appearing to read "Bobby Welliver".

Chief Bobby Welliver

**CITY OF BOONVILLE
PLANNING AND ZONING COMMISSION MEETING
MINUTES OF December 11, 2018**

VOTING MEMBERS PRESENT

- 1) Dick Casanova
- 2) David Day
- 3) Steve Hage, Building Inspector
- 4) Whitney Venable, City Council
- 5) Ned Beach, Mayor
- 6) Joe Novy
- 7) Matt Billings, Chairman
- 8) Ted Bleil

VOTING MEMBERS ABSENT: None

STAFF/PRESENTERS/GUESTS

Kate Fjell
M.L. Cauthon
Brenda Campbell, Cooper County Ambulance District
Robert Alpers, Cooper County Ambulance District
Dennis Paul, Septagon Construction (Owner's Rep for Cooper County Ambulance District)
Troy Culver, Snyder and Associates (Love's Travel Stop)
Ed Schler, Property Owner

NOTICES AND EXHIBITS: Posted and available on Wednesday, December 5, 2018 at 5:21 p.m. at City Hall.

1. **CALL TO ORDER:** Chairman Billings called the meeting to order at 6:00 p.m. Roll call was taken with eight (8) of eight (8) members present constituting a quorum.
3. **MINUTES:** Mr. Day noted there was a correction needed regarding the number of members present, that it should be six (6) of eight (8) not eight (8) of eight (8). With this correction, Mr. Day moved, and Mr. Venable seconded a motion to approve the minutes of the November 5, 2018 Meeting. The motion passed unanimously by voice vote.
4. **HEARING OF PUBLIC COMMENTS:** None
4. **OLD BUSINESS**
 - a. **None**
5. **NEW BUSINESS:**

- a. **Public Hearing:** Review and approve zoning application 14.29 Acres, 3 Tracts of land off Rankin Mill Lane

Chairman Billings opened the public hearing and asked if anyone wanted to make a public comment related to the zoning application made by Cooper County (Attachment A). There were no public comments offered.

Mr. Novy moved, and Mr. Venable seconded a motion to accept the zoning change from R-A to C-1 and recommend the Council approve the request. Ayes: Day, Novy, Cassanova, Bleil, Venable, Billings, Beach, Hage (8); Nays: None (0); Abstain: None (0)

- b. **Review and approve final site plan for the Cooper County Ambulance District facility**

Chairman Billings asked Building Inspector to open the discussion. Mr. Hage stated that the Cooper County Ambulance District is proposing to build a pre-engineered metal panel building that will serve as their ambulance facility.

Mr. Hage stated that he reviewed the plans ensuring compliance with City's building codes and designs and it met all standards. Ms. Fjell added that City Engineer, Scott Vogler, reported via email that he reviewed the plans and found them to meet all applicable standards.

Mr. Cassanova asked about traffic and access from Rankin Mill Lane for the ambulance. Mr. Cauthon stated that staff had considered this question throughout the project review, he believed the access and visibility at the intersection of Rankin Mill Lane and Route B to be good. Mr. Novy stated that he lived in that area and found the visibility on Rankin Mill to be excellent.

Mr. Novy did ask about the signage proposed for the building and any light pollution that might impact the apartment complex across the street. Mr. Paul, Owner's Rep for Cooper County Ambulance District, stated that the sign as it is currently proposed is a free-standing monument sign that is up-lit and the parking lot lights will shine downward and have a timer on them. Mr. Paul also noted that there is an alternative sign plan in which they would not do a monument sign but rather a sign attached to the building.

Mr. Hage stated that the City does look at the lighting plan to try and ensure minimal disruption to neighbors from new signage, building and parking lights. Mr. Paul also stated that there is some landscaping which will help filter the lights.

Ms. Fjell asked Mr. Hage and Mr. Cauthon if curbs were required around the parking lot per City standards. Mr. Hage stated that curbs were not required so long as the stormwater was appropriately managed without the curbing.

Following this discussion, Mr. Venable moved and Mr. Novy seconded a motion to approve the final site plan presented to the Commission. Ayes: Day, Novy, Cassanova, Bleil, Venable, Billings, Beach, Hage (8); Nays: None (0); Abstain: None (0)

c. Public Hearing: Review and Approve Zoning Application of 3.102 Acres of land adjacent to 2501 W. Ashley Road

Chairman Billings opened the public hearing and asked if anyone had any comments.

Mr. Culver explained that Love's Travel Stop needed some additional land to expand their parking availability and that was the purpose of this request.

Mr. Schler stood up and stated that his mother's property bordered Love's and his brother's property was across the road. He had two concerns, 1) He was worried about the excess lighting and how it would affect his brother and mother and 2) the additional stormwater run off from the parking lot would flow through his mother's farm and could cause damage.

Mr. Hage asked Mr. Schler if they were having stormwater issues currently. Mr. Schler stated that they were not but was primarily worried about the additional water from the new parking lot.

Mr. Hage pointed out that Love's would be expanding their existing detention basin to accommodate the increased stormwater. Mr. Culver went on to explain the design details of the stormwater detention basin.

Mr. Culver also stated that regarding lighting they would be on timers, and due to a power line easement, the lighting in the Southeast corner would be less than normally designed. Landscaping plans included new trees to filter the additional lighting.

Mr. Venable moved, and Mr. Hage seconded a motion to accept the zoning change from R-A to C-1 and recommend the Council approve the request. Ayes: Day, Novy, Cassanova, Bleil, Venable, Billings, Beach, Hage (8); Nays: None (0); Abstain: None (0)

d. Review and approve final site plan for the Love's Travel Stop Parking Addition

Mr. Billings asked Mr. Culver, Mr. Hage, Mr. Cauthon and Ms. Fjell if there were any additional comments to add to the site plan, since considerable discussion was held during the zoning discussion. Ms. Fjell noted that Mr. Vogler had reviewed the plans and found the plans to be complete, except for finalized and full stormwater calculations. Mr. Culver stated that his firm had provided the summary report to Mr. Vogler but would be submitting the full report for his review shortly.

Following this discussion, Mr. Venable moved Mr. Hage seconded a motion to approve the final site plan contingent on the City Engineer reviewing and approving the stormwater calculations. Ayes: Day, Novy, Cassanova, Bleil, Venable, Billings, Beach, Hage (8); Nays: None (0); Abstain: None (0)

5. MISCELLANEOUS: None

6. ADJOURN: Mr. Hage moved and Mr. Venable seconded the motion to adjourn the meeting with all Commissioners voting in favor at 6:27 PM.

NEXT REGULAR MEETING: January 15, 2019

Respectfully submitted,
Kate Fjell
Asst. to City Administrator

VACANT COMMITTEE POSITIONS & COMMITTEE APPOINTMENTS

Airport

Vacant - 4

Board of Adjustments

Vacant-2

BOCA Board of Appeals

Vacant-1

Transportation Development

Vacant-1

Phillip Bechtold

Public Works Monthly Report
November 2018

WWTP:

Total flow processed - 35,500,000 gallons

Average daily flow - 1,183,000 gallons

Sludge disposed - 98.62 tons

Remarks: Upgraded plant monitoring software; DNR conducted part two and completed Pretreatment program inspection. Pump #1 from Industrial Park Lift Station returned after rebuild.

WTP:

Gallons pumped from river - 30,097,000 gallons

Gallons pumped to customer - 33,041,000 gallons

Remarks:

Water Distribution / Sewer Collection:

Installed or renewed water service - 0

Remarks - Changed meters at 1113 3rd Street; Village Gardens Apartments; TV inspected and jetted sewer main at 509 E. Morgan Street; heavy cleaning of sewer main in 1600 block of Stegner Drive; assisted with snow plowing for two snow events; assisted with Animal Shelter construction; jetted sewer lines for Blackwater; routine sewer line jetting and TV inspection.

Street Department:

Continued at animal shelter building construction; continued shoulder replacement on Main Street (Rt. B); fall street sweeping; repaired and serviced equipment; two snow events.

Central Garage:

Vehicles serviced and inspected -6

Vehicle and equipment repairs - 8

Remarks: Supervised street crew in absence of street foreman; Supervised pot hole patching, street sweeping, and street cut repair. Supervised plowing operations for two snow events

Weather (recorded at City Services Bldg.):

Average Temperature - 37.4° F

High Temperature - 62.0° F, Nov 22

Low Temperature - 12.3° F, Nov 14

Total Rain - 2.57"

Maximum Rain - 0.75", Nov 4

Project Status:

1. WWTP Flow Equalization Basin. Contractor; Lehman Construction. Contractor on site.
2. Clarifier #1 Scum Trough Rehab. Contractor; Mid MO Environmental. Contractor on site.
3. Rice / Mueller Stormwater Improvements. Contractor; Earthworks Excavation. Contractor on site.



Missouri Gaming Commission State/Local Allocation of Gaming Revenues

RPT MGC/3

For the Period 11/1/2018 through 11/30/2018

Year beginning 11/1/2018

Gaming Date	Day	Admission Tax Remitted	Gaming Tax Remitted	Total Tax Remitted	State & Local Portion of Adm Tax	State Portion of Gaming Tax	Local Portion of Gaming Tax	Total Local Adm & Gaming Tax
Isle of Capri IB								
11/01/2018	Thursday	\$7,466.00	\$37,277.81	\$44,743.81	\$3,733.00	\$33,550.03	\$3,727.78	\$7,460.75
11/02/2018	Friday	\$10,544.00	\$56,393.61	\$66,937.61	\$5,272.00	\$60,754.25	\$5,639.35	\$10,911.35
11/03/2018	Saturday	\$13,264.00	\$79,099.61	\$92,363.61	\$6,622.00	\$71,189.65	\$7,909.96	\$14,541.96
11/04/2018	Sunday	\$8,854.00	\$46,313.60	\$55,167.60	\$4,427.00	\$50,682.34	\$5,631.36	\$10,058.36
11/05/2018	Monday	\$4,850.00	\$30,681.47	\$35,531.47	\$2,425.00	\$27,613.32	\$3,068.15	\$5,490.15
11/06/2018	Tuesday	\$5,548.00	\$41,781.79	\$47,329.79	\$2,774.00	\$27,602.61	\$4,178.18	\$6,952.18
11/07/2018	Wednesday	\$5,372.00	\$31,393.56	\$36,765.56	\$2,665.00	\$26,264.20	\$3,139.36	\$5,825.36
11/08/2018	Thursday	\$5,286.00	\$24,449.79	\$29,735.79	\$2,642.00	\$22,004.81	\$2,444.98	\$5,037.98
11/09/2018	Friday	\$8,644.00	\$49,762.44	\$58,406.44	\$4,322.00	\$44,786.20	\$4,976.24	\$9,298.24
11/10/2018	Saturday	\$12,362.00	\$70,529.54	\$82,891.54	\$6,181.00	\$63,476.59	\$7,052.95	\$13,233.95
11/11/2018	Sunday	\$8,770.00	\$38,182.90	\$46,952.90	\$4,365.00	\$29,264.61	\$2,918.29	\$7,303.29
11/12/2018	Monday	\$2,898.00	\$11,883.01	\$14,781.01	\$1,443.00	\$10,694.71	\$1,168.30	\$2,637.30
11/13/2018	Tuesday	\$5,390.00	\$18,289.30	\$23,679.30	\$2,695.00	\$16,460.37	\$1,828.93	\$4,523.93
11/14/2018	Wednesday	\$5,508.00	\$31,145.76	\$36,653.76	\$2,753.00	\$26,933.68	\$3,114.82	\$5,867.82
11/15/2018	Thursday	\$6,426.00	\$39,165.94	\$45,591.94	\$3,213.00	\$35,249.35	\$3,916.59	\$7,129.59
11/16/2018	Friday	\$9,168.00	\$51,118.88	\$60,286.88	\$4,584.00	\$46,606.99	\$5,111.89	\$9,695.89
11/17/2018	Saturday	\$9,260.00	\$47,505.76	\$56,765.76	\$4,530.00	\$42,755.18	\$4,750.58	\$9,380.58
11/18/2018	Sunday	\$11,260.00	\$51,876.08	\$63,136.08	\$5,630.00	\$46,688.47	\$5,187.61	\$10,817.61
11/19/2018	Monday	\$3,970.00	\$19,751.87	\$23,721.87	\$1,665.00	\$17,776.63	\$1,975.19	\$3,980.19
11/20/2018	Tuesday	\$6,446.00	\$35,674.49	\$42,120.49	\$3,223.00	\$32,107.04	\$3,567.45	\$6,790.45
11/21/2018	Wednesday	\$5,556.00	\$25,713.54	\$31,269.54	\$2,875.00	\$22,142.19	\$3,571.35	\$6,849.35
11/22/2018	Thursday	\$10,242.00	\$52,803.82	\$63,045.82	\$5,121.00	\$47,523.44	\$5,280.38	\$10,401.38
11/23/2018	Friday	\$10,268.00	\$54,085.47	\$64,353.47	\$5,134.00	\$48,676.92	\$5,408.55	\$10,542.55
11/24/2018	Saturday	\$14,916.00	\$73,080.17	\$87,996.17	\$7,458.00	\$55,745.15	\$7,305.02	\$14,763.02
11/25/2018	Sunday	\$3,136.00	\$17,078.59	\$20,214.59	\$1,668.00	\$15,370.73	\$1,707.86	\$3,273.86
11/26/2018	Monday	\$3,280.00	\$17,650.59	\$20,930.59	\$1,640.00	\$15,354.53	\$1,706.06	\$3,343.06
11/27/2018	Tuesday	\$4,312.00	\$26,451.74	\$30,763.74	\$2,156.00	\$22,806.57	\$2,645.17	\$4,801.17
11/28/2018	Wednesday	\$5,306.00	\$23,806.68	\$29,114.68	\$2,653.00	\$21,427.92	\$2,380.87	\$5,033.87
11/29/2018	Thursday	\$6,556.00	\$32,920.95	\$39,476.95	\$3,270.00	\$29,023.85	\$3,293.09	\$6,570.09
11/30/2018	Friday	\$10,918.00	\$57,101.68	\$78,019.68	\$5,459.00	\$50,391.51	\$6,710.17	\$12,169.17
Casino Report Totals:		\$226,774.00	\$1,213,355.45	\$1,440,129.45	\$113,387.00	\$1,092,019.90	\$121,335.55	\$234,722.55
Casino YTD Totals:		\$226,774.00	\$1,213,355.45	\$1,440,129.45	\$113,387.00	\$1,092,019.91	\$121,335.55	\$234,722.55

