City Of BOONVILLE est. 1839

City of Boonville

September 18, 2023

7:00 PM

City Council Chambers
525 E. Spring Street
Boonville MO 65233

Meeting Live streamed https://www.youtube.com/user/cityofboonvillemo & Channel 3 with Suddenlink Cable TV

I. Call to order – Pledge and Prayer

- **A.** Whitney Venable

II. Roll Call

III. Hearing of Citizens' Comments

- Presentation and discussion with Climavision regarding weather radar installation on Boonville Water Tower

IV. Approval of Minutes

V. Consent Items

- **A.** Consider Change Order No. 3 from Midstate Pipeline Maintenance LLC in the amount of <**$0.00**> for Sanitary Sewer Improvements 2023

VI. Presentation of Accounts and Claims

- **A.** Appropriations

VII. Unfinished Business

VIII. New Business

- **A.** Resolution R2023-15 Supporting Terravest Developments, Inc Village at Kemper Greens Housing Development
- **B.** First Reading of Bill No. 2023-027 Approving a final site plan for QuikTrip located at 1802 West Ashley Road

IX. Reports of Standing Committees

- **A.** Planning and Zoning (Drew Davis)
- **B.** Street, Alley, and Sanitation Board (Susan Meadows)

X. Reports of City Officials

- **A.** City Administrator

B. Mayor

- Committee Appointments

C. City Clerk

XI. Miscellaneous

XII. Adjourn

NOTICE: The City of Boonville will comply with the Americans with Disabilities Act (ADA). Individuals who require an accommodation due to disability to attend this meeting should contact our office at (660) 882-2332 or Relay Missouri, 1-800-735-2966 TTY at least 48 hours in advance.

Date: September 18, 2023
To: Mayor and Council
From: Kate Fjell, City Administrator
Re: Presentation and discussion with Climavision regarding weather radar installation on Boonville Water Tower

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A couple of weeks ago, Jeff and I met with Larry Oerly and representatives from Climavision who specialize in installing Doppler radar for lower level atmospheric surveillance, which allows for improved accuracy in weather forecasting. Climavision representatives Tara Leigh Goode and Emily Pawasat will present their proposal for installing a radar on a water tower in Boonville. This partnership will give local government officials, such as Larry Oerly, Jeff, Tim, Randy, training and then access to weather data once the radar is installed. Cooper County EMA views this partnership as an asset to the community. There is no charge for this or for the construction of the radar. In exchange, Climavision will have access to the weather data for their use. Attached is the standard agreement. If the Council chooses to proceed with this partnership, then we will put an ordinance on a future Council agenda approving the no-cost lease agreement.

401 Main Street | Boonville, MO 65233

City Of BOONVILLE est. 1839
CITY HALL

660-882-2332 | Fax: 660-882-6608

September 14, 2023

To: Mayor and City Council Members

From: Kate Fjell

RE: Climavision Presentation and Discussion

A couple of weeks ago, Jeff and I met with Larry Oerly and representatives from Climavision who specialize in installing Doppler radar for lower-level atmospheric surveillance, which allows for improved accuracy in weather forecasting. Climavision representatives Tara Leigh Goode and Emily Pawasat will present their proposal for installing a radar on a water tower in Boonville. This partnership will give local government officials, such as Larry Oerly, Jeff, Tim, Randy, training and then access to weather data once the radar is installed. Cooper County EMA views this partnership as an asset to the community. There is no charge for this or for the construction of the radar. In exchange, Climavision will have access to the weather data for their use. Attached is the standard agreement. If the Council chooses to proceed with this partnership, then we will put an ordinance on a future Council agenda approving the no-cost lease agreement.

LEASE AGREEMENT

THIS LEASE AGREEMENT ("Lease") is made this _____ day of_____, 2023 ("Today's Date) by and between the _____, a municipal corporation, having an address of _____ ("Landlord") and CLIMAVISION OPERATING, LLC having an address of 552 E. MARKET STREET (SUITE 201) LOUISVILLE, KY 40202 ("Tenant").

1. PREMISES. Landlord hereby leases to Tenant, and Tenant hereby leases from Landlord, space on a water tower structure owned and operated by Landlord and certain land (collectively, the "Premises"), namely said tower being located at _____ (lat/long) (the "Tower"), said demised space on the Tower being that area used to install and attach the radar system as shown on Exhibit "A" attached hereto ("Radar System"), and said demised land being a tract of land upon which a concrete pad, utility meter(s), emergency generator, and control cabinet will be placed thereon, ("Ground Equipment"), as depicted on Exhibit "B" attached hereto, together with non-exclusive easements on property adjacent thereto and improvements thereon for access, parking, utilities, inspection, maintenance, installation, construction, operation, repair, removal, and placement at, from, of, and on the Tower and the tract of land for the Ground Equipment, all as more specifically described in this Lease (including but not limited to the non-exclusive Access Easement and Utility Easement described in Section 6 and on Exhibits "A" and "B").

2. USE. Tenant has the right to use the Premises for the purposes of installing, constructing, maintaining, upgrading, repairing, operating, inspecting, and removing (i) the Radar System, and (ii) the Ground Equipment (together Radar System and Ground Equipment constituting "Site Improvements"), as further described in this Lease. Tenant shall submit construction plans to Landlord and obtain written approval of Landlord before beginning any construction activities on the Premises. With Landlord's prior approval of Tenant's construction plans, Tenant, or its agents or contractors, shall install the Site Improvements and utility lines thereto on the Tower in accordance with good and accepted engineering practices. Tenant has the right to make alterations of the Radar System or Ground Equipment from time to time, so long as such alterations do not adversely affect the structural integrity to the Tower or interfere with its use as a water tower and the alternations are approved in advance by Landlord. Tenant shall have the rights to (i) select the position on the water tank on which the Radar System will be located, and (ii) run electrical and communications lines to and from and to the Radar System and Ground Equipment, provided, however, that installation of the Radar System and Ground Equipment shall not be done so as to cause the water tank to be structurally inadequate or to interfere with Landlord's use of the water tank. Tenant has the right to place logo on radome referenced in Exhibit A. Landlord agrees that Tenant may access, and Landlord shall grant access to, the Premises for regular maintenance and as needed for urgent maintenance, provided that Tenant shall provide notice to Landlord prior to accessing the Premises for such purposes.

Landlord Contact details for notification purposes:
Name:
Title:
Cell number:

Office number:
Email:

Back-up Contact in case of urgent requests:
Name:
Title:
Cell number:
Office number:
Email:

Please notify radarops@climavision.com if this point of contact changes.

Provided that Tenant complies with the terms of this Lease, nothing contained herein shall be deemed to give any third party the right to use or occupy any portion of the ground space occupied by the Ground Equipment or any area of the Tower actually occupied by the equipment of Tenant.

Landlord acknowledges that Tenant's plans as presently submitted for the Premises do not interfere with Landlord's current water tank operations. In the event that Landlord subsequently determines that Tenant's operation of the Radar System interferes materially and unreasonably with Landlord's water tank operations, then Landlord shall so notify Tenant and shall provide specific deficiencies for Tenant to address such interference (Landlord acknowledging that operation of the Radar System on the Tower is essentially feasible and any notice shall not be designed to make operation of the Radar System impractical). Tenant shall have ninety (90) days to cure such deficiencies and remove such unreasonable interference. In the event Tenant does not cure the deficiencies within the aforementioned ninety (90) day period, Landlord may terminate this Lease with written notice to Tenant and Tenant shall completely remove the Radar System and equipment in accordance with Section 7 below.

3. INITIAL TERM; RENT. **INITIAL TERM; RENT.** This Lease shall commence ninety days after Today's Date on _____ ("Lease Commencement Date"), and shall continue for a period of twenty (20) years from such Lease Commencement Date (the "Initial Term"), provided that the Landlord shall have the right to terminate this Lease upon notice to Tenant in the event it is not provided access to the Data twelve (12) months from Lease Commencement Date, provided further that it has not been granted Data access prior to its notification of termination. During the Initial Term, the Tenant shall pay to Landlord rent in kind in the form of access, and a limited license, to the weather data collected from the Radar System (the "Data"). Access to the Data will be provided to county leadership and public safety officials via a link to secure, password protected website. Landlord will be given a password to access the Data and such password may be used by the Landlord and any of its employees, provided that it shall be kept confidential and secure. Landlord shall have a limited, nonexclusive, nontransferable, royalty-free license to use and modify the Data solely for its internal county governmental purposes, including for forecasting, public alerts and emergency preparation activities to improve response and enhance safety. In no event shall Landlord redistribute, publish, transfer, sell or otherwise provide the Data or any parts thereof to any other person. All Data is provided to Landlord '**AS IS**' and without warranty of any kind, express or implied, and Landlord acknowledges and agrees that Tenant shall have no liability whatsoever arising from Landlord's use or distribution of such Data.

4. EXTENSION OF TERM. Tenant shall have the option to extend the term of this Lease for one (1) additional consecutive twenty (20) year period. Said option for the extended term shall be deemed automatically exercised without notice by Tenant to Landlord unless Tenant gives Landlord written notice of its intention not to exercise such option, in which case, the term of this Lease shall expire at the end of the then current term. All references herein to the term of this Lease shall include the term as it is extended as provided in this Lease. The annual rental for the extended term shall be the same as the prior term and shall be payable in the same manner as the annual rental for the initial term.

5. GOVERNMENT APPROVALS. Landlord shall cooperate with Tenant's efforts to obtain and maintain in effect all certificates, permits, licenses and other approvals ("Permits") required by governmental authorities for Tenant's use of the Premises. Tenant will perform all acts and bear all expenses as necessary to obtain and maintain any required Permits. Landlord agrees to execute and deliver any applications, maps, certificates, or other documents and to provide such other information that may be required in connection with Tenant's obtaining the Permits. If at any time during the term of this Lease, Tenant is unable to use the Premises for weather surveillance in the manner intended by Tenant due to imposed zoning conditions or requirements, or in the event that any necessary Permit is finally rejected or any previously issued Permit is canceled, expires, lapses, or is otherwise withdrawn or terminated by the applicable governmental authority, or soil boring tests or radio frequency propagation tests are found to be unsatisfactory so that Tenant will be unable to use the Premises for weather surveillance in the manner intended by Tenant, Tenant shall have the right to terminate this Lease by written notice to Landlord. Upon such termination, this Lease shall become null and void and Landlord and Tenant shall have no other further obligations to each other, other than Tenant's obligation to remove its property as hereinafter provided.

6. ACCESS AND UTILITIES: Subject to the final sentence of this Section, Tenant and its employees, agents, contractors, and utility companies are hereby given and granted a non-exclusive easement for ingress, egress, and regress to and from the Premises and easements over, under, upon, and across the Building and adjoining lands and rights-of-way owned by Landlord on a twenty-four (24) hour daily basis for the purpose of erection, installation, operation, inspection, repair, maintenance, and removal of the Site Improvements and other necessary appurtenances and an easement thereon for telephone lines, power lines, cables, and wires used in connection with the Site Improvements ("Access Easement"). Access Easement for ingress, egress, and regress and such easement for utilities shall be over existing roads, parking lots, and/or roads on the property. Tenant shall have the right but not the obligation to improve the Access Easement by grading, graveling, or paving it; provided, however that Tenant shall be obligated to repair any damage to such easement property caused by Tenant, or its agents or employees. Landlord grants to Tenant and to such power or telephone company ("Utility Company" or "Utility Companies") a non-exclusive easement for such utilities as may be reasonably necessary to serve the Premises over that property (the "Utility Easement"). The Utility Easement shall be for the installation, operation, inspection, maintenance, and repair (whether by Tenant or by Tenant's designated Utility Companies) of necessary utilities from the point of connection with the Utility Companies' distribution networks to the Building and Radar System. The Utility Easement shall be sufficiently wide for providing the applicable utilities to the Premises. It is understood that Tenant and the utility companies providing services to Tenant shall have access to all areas of the Premises and other lands and rights-of-way owned or leased by

Landlord and described on Exhibits A and B as necessary for installation, operation, inspection, upgrade, maintenance, and/or repair of such services. Landlord shall advise Tenant of any utility company requesting an easement under, over, upon and/or across the Premises. Tenant shall be solely responsible for and promptly pay all charges for gas, electricity, telephone service, or any other utility used or consumed by Tenant on the Premises. If necessary, Tenant shall have an electrical current meter and gas meter installed at the Premises for Tenant's electrical usage, and gas usage respectively and the cost of such meter(s) of installation, maintenance, upgrade, and repair thereof shall be paid for by Tenant. Notwithstanding anything to the contrary in the foregoing, prior to it or its contractors accessing the Tower and any secured area on the Premises, Tenant, its contractors and utility companies shall provide notice to Landlord at least three (3) business days in advance of such access (more immediate notice and access obtaining in the case of an emergency).

7. TENANT TERMINATION RIGHT; REMOVAL OR REPLACEMENT OF TOWER. Subject to Section 9, Tenant shall the right terminate this Lease at any time upon six (6) months' notice to Landlord. In the event that Landlord decides to remove or replace the Tower, Landlord shall give Tenant six (6) months' notice of its intent to remove or replace same. If the Tower is not replaced, then at the expiration of said six (6) months' notice period, this Lease shall terminate, and Tenant shall remove all of its Radar System and in accordance with Section 9 below, provided, however, that if Landlord has another water tower suitable, in the reasonable judgement of Tenant, for the placement of the Radar System, it shall offer Tenant space on such water tower for the Radar System and Ground Equipment on the same terms provided herein. If the Tower is replaced either at the Premises or at another location ("Replaced Tower"), then Tenant shall have the right, at its option exercisable upon notice to Landlord prior to the aforementioned six (6) months' notice period, to lease space on the Replaced Tower and Premises (or surrounding land if at different location) for the Site Improvements on the same terms as provided herein.

8. OPERATION.

(a) Tenant shall operate the Radar System in compliance with all present and future rules and regulations imposed by any local, state, or Federal authority having jurisdiction with respect thereto including, without limitation, the rules and regulations of the Federal Communications Commission (hereinafter referred to as the "FCC") and the Federal Aviation Administration (hereinafter referred to as the "FAA"). Prior to the erection, construction, or installation of the Site Improvements, or making any modifications thereto, Tenant shall comply with the following:

(i) All plans and specifications for the Site Improvements and any subsequent modifications thereto shall be submitted to the Landlord for review by Landlord or Landlord's engineers and/or consultants;

(ii) All plans shall comply with all provisions of any approved Permit;

(iii) Tenant shall obtain any required approvals of all Federal, state and local agencies and all Permits. Upon request, Tenant shall promptly deliver to Landlord written proof of compliance with all applicable Federal, state and local laws, rules and regulations.

(b) The Radar System shall be clearly marked to show Tenant's name, address, telephone number and the name of the person to contact in case of emergency, FCC call sign, frequency(s) and location. All coaxial cable shall be identified in the same manner at the bottom and at the top of each transmission line.

(c) If Tenant obtains telephone service, it shall be Tenant's sole expense, and the telephone lines installed for the benefit of Tenant and the location thereof shall be approved by Landlord.

(d) Tenant shall have a separate electric meter if required by Landlord, and Tenant shall pay separately and directly to the electricity supplier for the installation of the meter and for any electricity used by Tenant's Radar System or Site Improvements.

9. MAINTENANCE AND REMOVAL OF EQUIPMENT.

(a) Tenant at its own cost and expense shall be responsible for maintenance and repair of the Site Improvements, in accordance with all applicable laws, rules and regulations and this Lease.

(b) RF Exposure to Maintenance Workers

(i) The Tenant shall furnish the Landlord a certified engineering report that clearly identifies the distance from its antennas in which the maximum RF exposure limits will be exceeded by maintenance workers engaged in painting, repairing or servicing the water tank or tower support structure. The report shall be in accordance with the maximum radio frequency exposure limits adopted by the Federal Communications Commission (FCC) for non-ionizing radiation. Calculations shall be based upon the combined radiation of all co-located cellular, paging and wireless transmitters at the water tank site.

(ii) The Tenant shall provide a 24-hour telephone number for the purpose of contacting someone who can turn off the transmitters when Landlord must do maintenance on the water tank or tower support structure if it is necessary to approach the RF restricted zone around the antennas. Tenant hereby informs Landlord that the minimum amount of time necessary to respond to such a request is three (3) business days.

For water tank maintenance notifications, email radarops@climavision.com.

Alternate contact information is below:

Tara Leigh Goode
552 East Market Street, Suite 201
Louisville, KY 40202
Tara.goode@climavision.com
859.473.4433

Other than emergency maintenance, Landlord shall use best efforts to minimize maintenance on the Tower that affects the operation of the Radar System. Subject to the foregoing, Landlord agrees to furnish Tenant with a schedule of any routine or planned maintenance of the water tank or tower support structure that may require workers to be within any maximum RF exposure area when such schedule is developed.

(c) Upon the expiration or earlier termination of this Lease, Tenant shall remove all of Tenant's Radar System and the generator on the Ground Equipment from the Premises. Any and all removal of Tenant's Radar System and generator shall be performed in a workmanlike manner without any interference, damage or destruction to any other equipment structures or operations at the Premises or any other equipment of other licensees thereon. Any and all interference or damage caused to the Premises or equipment of other licensees by such removal shall be promptly eliminated or repaired by Tenant.

11. LIABILITY AND INDEMNITY. Tenant agrees to indemnify and save the Landlord harmless from all third party claims (including costs and expenses of defending against such claims) arising or alleged to arise from any negligent act, negligent omission, or intentional tort of Tenant or Tenant's agents, employees, or contractors occurring during the term of this Lease in or about the Premises. Tenant agrees to use and occupy the Premises at Tenant's own risk and hereby releases Landlord from all claims for any damage or injury to persons or property to the full extent permitted by law. It is understood and agreed, however, that this hold harmless and indemnification does not apply to damage or injury to persons or property caused by the negligence of Landlord. The provisions of this Section 11 shall survive the termination of this Lease. Landlord shall be liable for any damage to the Radar System or Tenant equipment caused by it, its contractors or its invitees to the Premises.

12. DAMAGE OR DESTRUCTION OF THE SITE. If Tenant's Radar System is placed upon a structure of Landlord's which is destroyed in whole or in part by fire, storm, or other causes to the extent that Tenant's Radar System cannot function, then Tenant, in its sole discretion, may elect to terminate this Lease by giving written notice thereof to Landlord within thirty (30) days of the date said destruction (in whole or in part) occurred. If this Lease is canceled, the payments required herein shall terminate as of the date of such casualty. Landlord shall not be responsible or liable to Tenant for any loss, damage or expense that may be occasioned by any structural or power failure or by the destruction of or damage to the Tower.

13. INSURANCE. Tenant shall keep in full force and effect during the Initial Term and any renewal period of this Lease a comprehensive general liability insurance policy, including blanket contractual and completed operations coverage with limits of liability of at least $2,000,000.00 in respect to bodily injury, including death, arising from any one occurrence, and $2,000,000.00 in respect of damage to property arising from any one occurrence. Said insurance policy shall be endorsed to include Landlord as an additional insured. Tenant shall, prior to the installation of the Radar System, furnish to Landlord a certificate of insurance confirming that the insurance coverage as specified herein is in full force and effect. All of Tenant's insurance requirements may be satisfied through any combination of excess liability and/or umbrella policies.

14. END OF AGREEMENT – EQUIPMENT. The Radar System, Ground Equipment, with the exception of the concrete pad, and site improvements of every kind and nature constructed,

erected, installed or placed by Tenant on the Tower, shall be and remain the property of Tenant and none shall be treated as fixtures or become part of the property of Landlord.

15. NOTICES. All notices required to be given hereunder shall be given in writing, certified or registered mail, or by overnight courier at the respective addresses of the parties set forth herein or at such other address as may be designated in writing by either party. Notice by overnight courier shall be deemed give the next business day after sent and if given by mail shall be deemed given three days after the date of mailing thereof as follows:

Tenant's address for notice purposes is:
CLIMAVISION
ATTN: TARA GOODE or EMILY PAWSAT
552 E. MARKET STREET (SUITE 201) LOUISVILLE, KY 40202
PARTNERSHIPS@CLIMAVISION.COM

Landlord's address for notice purposes is CITY/COUNTY, ADDRESS, CITY/STATE, ZIP P.O. ATTN: CITY/COUNTY REP with a copy to TITLE, CITY/COUNTY, ADDRESS, CITY/STATE, ZIP, and a copy to TITLE, CITY/COUNTY, ADDRESS, CITY/STATE, ZIP.

16. DEFAULT. Subject to Paragraph 2 with respect to interference with water tower operations, this Lease may be terminated upon the failure of a party to comply with the terms of the Lease and such party fails to cure the default within thirty (30) days of receipt of notice from the non-defaulting party, provided that no default shall occur if the nature of the cure is such that it cannot reasonably be cured within said thirty (30) day period and the defaulting party has commenced the cure within said period and diligently pursues the cure to completion. The following, which shall not be exclusive, shall constitute a default by Tenant hereunder: (i) abandonment of either the Radar System or Ground Equipment; (ii) the filing of any case, proceeding or other action under any existing or future law of any jurisdiction, domestic or foreign, relating to bankruptcy, insolvency, reorganization or relief of debtors, seeking to have an order of relief entered with respect to Tenant; or seeking reorganization, arrangement, adjustment, winding-up, liquidation, dissolution, composition or other relief with respect to Tenant or its debts; or (iii) the making by Tenant of an assignment or any other arrangement for the general benefit of creditors under any state statute, In the case of an uncured Tenant default, Landlord shall be entitled at Landlord's option to terminate this Agreement and to remove Tenant Radar System, site improvements, or other personal property on the Premises at Tenant's cost and expense. The rights and remedies stated in this Lease are not exclusive and the parties, in the event of a breach hereof or a dispute, are entitled to pursue any of the remedies provided herein, by law or in equity.

17. SUBLETTING AND ASSIGNMENT BY TENANT. Tenant may, with Landlord's written consent (which shall not be unreasonably withheld), assign or sublet any or all of Tenant's interest in this Lease, any part thereof, the leaseholder's interest of Tenant created hereby and/or any or all of Tenant's right, title, and interest in and to any or all of the Radar System and Ground Equipment, except that Tenant may assign or pledge this Lease without the consent of Landlord to any bank or financial institution in connection with a financing. Any said assignee or sublessee of this Lease shall be bound by the terms of this Lease.

18. **DEBT SECURITY**. Tenant may, without Landlord's consent, pledge, mortgage, convey by deed of trust, assign, create a security interest in, or otherwise execute and deliver any and all instruments for the purpose of securing any bona fide indebtedness or evidence thereof any or all of Tenant's interest in this Lease, any part thereof, the leaseholder's interest of Tenant created hereby, and any and all of Tenant's right, title, and interest in and to any and all of the Radar System and Ground Equipment. Promptly on Tenant's or Tenant's lender's request, Landlord shall execute and deliver, and shall assist in facilitating the execution and delivery of, all documents requested by any of the Tenant's lenders which are consistent with the terms of this Agreement including but not limited to waivers of Landlord's right to levy or distrain upon for rent any of Tenant's property given as security for a debt, consents that none of the shall become fixtures, consents as to procedure for any of Tenant's lenders' sale of the Radar System and Ground Equipment, consents to Tenant's assignment to any lender(s) of any and all of Tenant's interest in or to this Lease and the Radar System and Ground Equipment. Failure of Landlord and all other persons and entities to execute and deliver to any of Tenant's lender(s) all document requested by said lender(s) in conformance with this agreement shall entitle Tenant to terminate this Lease immediately without any further obligation to Landlord.

19. **TITLE.** Landlord represents and warrants to Tenant that Landlord has good and marketable title to the Premises, Access Easement, and Utility Easement, free and clear of all liens, encumbrances, and exceptions. Landlord shall warrant and defend the same to Tenant against the claims and demands of all persons and entities.

20. **INSPECTIONS**. Landlord shall permit Tenant during the term of this Lease and any extension thereof, free ingress and egress to the Premises by Tenant and its employees, agents and contractors to conduct strength analyses, subsurface boring tests, radio frequency tests and such other tests, investigations and similar activities as Tenant may deem necessary, at the sole cost of Tenant. Tenant and its employees, agents, and contractors shall have the right to bring the necessary vehicles and equipment onto the Premises and the surrounding property ("Landlord's Surrounding Property") to conduct such test, investigations and similar activities. Tenant shall indemnify and hold Landlord harmless against any loss or damage for personal injury and physical damage to the Premises, Landlord's Surrounding Property or the property of third parties resulting from any such tests, investigations and similar activities.

21. **SURVEYS**. Landlord also hereby grants to Tenant the right to survey the Premises and Landlord's Surrounding Property or portion thereof, and the legal description of the Premises.

22. **TOWER ANALYSIS.** Landlord agrees to furnish Tenant, promptly on Tenant's request, with true copies of all structural or other analyses performed on the Tower within the two (2) years preceding Tenant's possession of space on the Tower. In the absence of said Tower analyses or if the most recent analyses are insufficient for Tenant's needs, Landlord, at Tenant's request, agrees to cooperate with Tenant in acquiring new analyses of the Tower. If Tenant requests any new analyses of the Tower, Tenant shall be responsible for coordinating the said new analyses, and the cost of the new analyses shall be paid solely by Tenant. Notwithstanding the foregoing, in the event Tenant determines after reviewing any Tower analyses that the Tower is not structurally appropriate for Tenant's needs, Tenant may, at Tenant's option, either terminate this Lease or with the written consent of the Landlord pay the additional cost of reinforcing or otherwise making the Tower structurally appropriate for Tenant's use, provided all local, State, and Federal laws, rules, and regulations are adhered to at Tenant's expense in the construction process.

23. **OTHER CONDITIONS AND PROVISIONS**. (a) Notwithstanding the provisions of Section 22, except if Landlord in its reasonable discretion based on sound engineering principles determines that the Tower has become structurally unsound should be withdrawn from use as a water storage facility or has become hazardous or dangerous to persons or property for any reason or except if the Leased Premises, Access Easement, or Utility Easement are damaged due to Tenant's negligence or Tenant's agents' or contractors' negligence, Landlord, at Landlord's expense, shall maintain in good condition and repair the Tower, Landlord's land surrounding the Tower, the Access Easement, and the Utility Easement. Landlord has the responsibility of observing Tower lights requirements and keeping applicable records (including records of notification to Federal Aviation Administration of any failure or repairs of the Tower and any corrections of same). If Landlord has the duty to maintain and repair the Tower, Premises, Access Easement and/or Utility Easement and if Landlord fails to maintain and repair as required hereunder so as to render all or any part of the Leased Premises, Access Easement, or Utility Easement materially unusable for Tenant's intended use, rent shall abate while Landlord, at Landlord's expense, promptly restores the Leased Premises, Access Easement, and Utility Easement to its condition prior to such damage; provided, however, in the event Landlord fails to so repair the Leased Premises. Access Easement or Utility Easement, as the case may be, within thirty (30) days of said damage, Tenant shall have the right to; (i) terminate this Lease without further obligations from Tenant to Landlord hereunder and without affecting Tenant's remedies permitted by law, equity, and/or this Lease for Landlord's breach of this Lease; (ii) hold Landlord in default pursuant to Section 11, or (iii) to the extent feasible, repair or have qualified contractor repair the Leased Premises. Access Easement or Utility Easement, as the case may be, and charge Landlord for the repairs with the right to withhold access to the Data until such reimbursement has been made by the Landlord,

(b) During the term of this Lease and its extensions, Landlord will not give, grant, or convey any future interest in or lease, license, or permission to use the Leased Premises, Access Easement, or Utility Easement if such transfer or use in any way adversely affects or interferes with Tenant's use of its Radar System and the Premises, Access Easement, or Utility Easement. In the event of any adverse effect or interference, Landlord shall take all steps necessary to correct and eliminate the adverse effect or interference within a reasonable time, including but not limited to Landlord taking prompt action to terminate or revoke the said other use, interest, lease, license, or permission, or otherwise remove the grantee and any interfering antenna(s) or other equipment from the Leased Premises, Access Easement, or Utility Easement.

(c) Landlord shall comply with all local, State, and Federal laws, rules, and regulations required by it to be performed as Landlord hereunder and owner of the Tower. (e) Tenant shall comply with all local, State, and Federal laws, rules, regulations required by it to be performed as Tenant hereunder.

24. **QUIET ENJOYMENT.** Landlord covenants that Tenant shall peaceably and quietly hold and enjoy the right to use the Leased Premises, Access Easement, and Utility Easement on the terms and conditions and for the purposes stated herein during the term of this Lease, as it may be extended, without hindrance, ejection, or molestation by Landlord or any person or persons claiming under Landlord. .

25. **BINDING ON SUCCESSORS.** The covenants and conditions contained herein shall

apply to and bind the heirs, successors, executors, administrators and assigns of the parties.

26. GOVERNING LAW. The parties intend that this Lease and the relationship of the parties shall be governed by the laws of the state of the address of the landlord first stated above.

27. ENTIRE AGREEMENT. All of the representations and obligations of the parties are contained herein, and no modification, waiver or amendment of this Lease or of any of its conditions or provisions shall be binding upon a party unless agreed to in writing by the other party.

28. SEVERABILITY. If any section, subsection, term or provision of this Lease or the application thereof to any party or circumstance shall, to any extent, be invalid or unenforceable, the remainder of said section, subsection, term or provision of this Lease or the application of same to parties or circumstances other than those to which it was held invalid or unenforceable, shall not be affected thereby and each remaining section, subsection, term or provision of this Lease shall be valid or enforceable to the fullest extent permitted by law.

29. FURTHER ASSURANCES. Each of the parties agree to do such further acts and things and to execute and deliver such additional agreements and instruments as the other may reasonably require to consummate, evidence or confirm this Lease.

30. WAIVER OF LANDLORD'S LIENS. Landlord hereby waives any and all lien rights it may have, statutory or otherwise concerning the Tenant's Facilities or any portion thereof which shall be deemed personal property for the purposes of this Lease, whether or not the same is deemed real or personal property under applicable laws, and Landlord gives Tenant and its mortgagees the right to remove all or any portion of the same from time to time, whether before or after a default under this Lease, in Tenant's and/or its mortgagee's sole discretion and without Landlord's consent.

31. HAZARDOUS MATERIALS. As of the Lease Commencement Date of this Lease: (1) Tenant hereby represents and warrants that it shall not use, generate, handle, store or dispose of any Hazardous Material in, on, under, upon or affecting the Property in violation of any applicable law or regulation, and (2) Landlord hereby represents and warrants that (i) it has no knowledge of the presence of any Hazardous Material located in, on, under, upon or affecting the Property in violation of any applicable law or regulation; (ii) no notice has been received by or on behalf of Landlord from any governmental entity or any person or entity claiming any violation of any applicable environmental law or regulation in, on, under, upon or affecting the Property; and (iii) it will not permit itself or any third party to use, generate, handle, store or dispose of any Hazardous Material in, on, under, upon, or affecting the Property in violation of any applicable law or regulation. Landlord and Tenant shall each indemnify, defend and hold the other harmless from and against all Losses (specifically including, without limitation, attorneys', engineers', consultants' and experts' fees, costs and expenses) arising from (i) any breach of any representation or warranty made in this Paragraph by such party; and/or (ii) environmental conditions or noncompliance with any applicable law or regulation that result, in the case of Tenant, from operations in or about the Property by Tenant or Tenant's agents, employees or contractors, and in the case of Landlord, from the ownership or control of, or operations in or about, the Property by Landlord or Landlord's predecessors in interest, and their respective agents, employees, contractors, tenants, guests or other parties. The provisions of this Paragraph shall

apply as of the Lease Commencement Date of this Lease and survive termination of this Lease. "**Hazardous Material**" means any solid, gaseous or liquid wastes (including hazardous wastes), regulated substances, pollutants or contaminants or terms of similar import, as such terms are defined in any applicable environmental law or regulation, and shall include, without limitation, any petroleum or petroleum products or by-products, flammable explosives, radioactive materials, asbestos in any form, polychlorinated biphenyls and any other substance or material which constitutes a threat to health, safety, property or the environment or which has been or is in the future determined by any governmental entity to be prohibited, limited or regulated by any applicable environmental law or regulation.

IN WITNESS WHEREOF, the undersigned have executed this Lease as of the date (Today's Date) first above written .

LANDLORD:

COMPANY NAME

SIGNATURE: _____

NAME: _____

TITLE:_____

ATTEST:

SIGNATURE: _____

NAME: _____

TITLE:_____

TENANT:

CLIMAVISION

SIGNATURE: _____

NAME: _____

TITLE:_____

ATTEST:

SIGNATURE: _____

NAME: _____

TITLE:_____

City Of BOONVILLE est. 1839

City of Boonville

September 5, 2023

7:00 PM

City Council Chambers
525 E. Spring Street
Boonville MO 65233

I. Call to order – Pledge and Prayer

A. Barry Elbert

Call to order – Pledge and Prayer The Boonville City Council met in Regular Session on September 5, 2023, at 7:00 p.m. in the Council Chambers located at 525 East Spring Street, Boonville, Missouri. The following officers were present; Ned Beach Mayor, Kate Fjell, City Administrator, Amber Davis, City Clerk; Randy Ayers, Sergeant at Arms. Interim City Counselor, Doug Abele was absent. The meeting was called to order. Mayor Ned Beach led the prayer, after the pledge of allegiance.

II. Roll Call

The following Council representatives were present: Whitney Venable, Drew Davis, Steve Young, Susan Meadows, Andrew Cowherd, and Sy Harvell Council representatives Barry Elbert and Brad Atkinson were absent.

III. Hearing of Citizens' Comments

- Craig Meyer, Affordable Equity Partners, Village at Kemper Greens Presentation

Craig Meyer with Affordable Equity Partners came before the council to present his village at Kemper Greens housing proposal. The development is a 48-unit affordable housing project located on Kemper Drive. There will be 3- 2-story buildings with 16 units with 2,3 and 4-bedroom apartments. Most units will be rent-restricted with 5 units being unrestricted. Ms. Meadows asked if some of these units would be compliant for disabled people. Mr. Meyer stated yes. Mr. Cowherd asked what the timeline is looking like for this project. Mr. Meyer stated if we get selected for funding, we will know by mid-December and should start moving dirt in late spring or early summer of 2024. Mr. Meyer is asking the council for a resolution of support. Application to apply is due by September 22, 2023.

IV. Approval of Minutes

A. August 21 council minutes

The minutes stand as submitted

V. Consent Items

A. Consider Pay Request No. 1 from Midstate Pipeline Maintenance LLC in the amount of **$173,673.00.** for Sanitary Sewer System Improvements 2023.

Mr. Venable moved and Ms. Meadows seconded the motion to approve the consent items. Roll call was taken. Ayes: Venable, Davis, Young, Meadows, Cowherd, and Harvell. Total (6) Opposed: None (0). Absent: Barry Elbert and Brad Atkinson (2).

B. Consider Change Order No. 2 from Midstate Pipeline Maintenance LLC in the amount of **<$0.00>** for Sanitary Sewer Improvements 2023

Mr. Venable moved and Ms. Meadows seconded the motion to approve the consent items. Roll call was taken. Ayes: Venable, Davis, Young, Meadows, Cowherd, and Harvell. Total (6) Opposed: None (0). Absent: Barry Elbert and Brad Atkinson (2).

VI. Presentation of Accounts and Claims

A. Appropriations

Ms. Davis read the ordinance appropriating money, in its entirety, and a second time, by title only, since a copy of the ordinance had been made available prior to the meeting.
Ms. Meadows moved and Mr. Davis seconded the motion to approve the consent items. Roll call was taken. Ayes: Venable, Davis, Young, Meadows, Cowherd, and Harvell. Total (6) Opposed: None (0). Absent: Barry Elbert and Brad Atkinson (2).

VII. Unfinished Business

A. Second Reading of Bill No. 2023-026 Authorizing execution of a State Block Grant Agreement with the Missouri Highways and Transportation Commission (MHTC) to Secure Funding for Airport Improvements

Mr. Venable moved and Ms. Meadows seconded the motion to approve the consent items. Roll call was taken. Ayes: Venable, Davis, Young, Meadows, Cowherd, and Harvell. Total (6) Opposed: None (0). Absent: Barry Elbert and Brad Atkinson (2).

VIII. New Business

A. Consider Resolution No. R2023-14 Authorizing an Agreement with C&S Companies INC. for Highway Waterline Extension

Ms. Meadows moved and Mr. Venable seconded the motion to approve the Resolution. Roll call was taken. Ayes: Venable, Davis, Young, Meadows, Cowherd, and Harvell. Total (6) Opposed: None (0). Absent: Barry Elbert and Brad Atkinson (2).

B. Homecoming Parade Event

Mr. Cowherd moved and Mr. Venable seconded the motion to approve the Homecoming Parade Event. Roll call was taken. Ayes: Venable, Davis, Young, Meadows, Cowherd, and Harvell. Total (6) Opposed: None (0). Absent: Barry Elbert and Brad Atkinson (2).

IX. Reports of Standing Committees

None

X. Reports of City Officials

Ms. Fjell stated there will be a resolution on the next Agenda for support of Craig Meyers Housing Development,

XI. Miscellaneous

XII. Adjourn

With no further discussion, Mr. Young moved, and Mr. Venable seconded the motion to Adjourn at 7:28 p.m. and the voice vote was unanimous.

CONTRACT CHANGE ORDER
SECTION 00941

Change Order No. 3
Project No. 454-298

Sheet of
Original 1 of 6

Recommended: MECO Engineering Co., Inc. (Engineer)
To: Midstate Pipeline Maintenance LLC (Contractor)
From: City of Boonville (Owner)

You are hereby directed to make the following changes:

I. Reason for change and effect on completion time (if any):

The bid unit price for "Re-Establishing Service Line" on Change Order #2 was incorrect. It was recorded at $100 when the correct bid unit price is $288.

II. Cost of work affected by this Change Order:

		Bid Amount			Previous Change Orders		This Change Order		Revised Contract
Item No.	Item Description	Quantity/Units	Unit Price	Value	C.O. #	Quantity Changed	Increase Qty. Decrease Qty.	Amount Added or Deducted	Quantity/Unit
7	Re-Establishing the Service Line	13 EA	288.00	$3,744.00	2	-3 EA	$100 to $288 Unit Price Increase Equals $188	-$564.00	10 EA
11	Contingency	1 LS	20,000.00	$20,000.00	1, 2	-$15,127.23	Increase Qty.	$564.00	$5,436.77
Total This Sheet:								$0.00	

1. Original Contract Amount: $277,360.00
2. Add or Deduct This Order Totals: $0.00
3. Add or Deduct Previous: $0.00
   (Line 4 of previous order)
4. Total Add or Deduct to Date (2+3): $0.00
5. Revised Contract Amount (1+4): $277,360.00

Recommended: Engineer - MECO Engineering Company — Date 9/12/23

Ordered: Owner — Date

Accepted: Contractor — Date 9/12/23

Change Order is subject to all provisions of the Contract Documents and is not in effect unless signed by all parties.

ORDINANCE APPROPRIATING MONEY

Be it Ordained by the Council of the City of Boonville as follows:

Section 1: For the purpose of paying salaries and various accounts against the City of Boonville, which have been allowed by the Council, at the regular meeting thereof on **September 18, 2023** the sum of **$285,501.85**

General Fund	$144,462.25
Sanitation	$23,178.28
CIP Tax	$30,010.24
Water Works	$33,855.55
Capital Projects	$0.00
Waste Water	$28,758.82
Tourism	$6,254.59
Gaming	$18,307.78
Parks/Water	$674.34
Kemper Sales Tax	$0.00
Economic Development Projects	$0.00

Section 2: The Accountant is hereby authorized and instructed to draw checks on the respective City bank accounts, in favor of the persons whose salaries and accounts have been allowed as above, amounting to **$285,501.85** being the total amount of money above appropriated.

Section 3: This ordinance shall take effect and be in force from and after its passage. First reading on **September 18, 2023** read for the second time this **September 18, 2023** since a copy was made available prior to the meeting.

Approved **September 18, 2023** _____

Mayor

Endorsed **September 18, 2023** : I hereby certify that a sufficient sum of money stands to the credit of the City, unappropriated, in the various funds to meet the requirements of this ordinance.

_____

Accountant

RESOLUTION NO. R2023-15

A RESOLUTION OF THE CITY OF BOONVILLE, MISSOURI SUPPORTING THE CONSTRUCTION OF "VILLAGE AT KEMPER GREENS" A FAMILY RESIDENTIAL COMMUNITY

WHEREAS, TerraVest Development, Corp. has proposed to develop up to 48 units of family affordable housing known as Village at Kemper Greens located off the west side of Kemper Drive just north of Ashley Road, in the city of Boonville, Missouri; and

WHEREAS, the City of Boonville, Missouri recognizes the need for safe, quality built, affordable housing for family citizens as a priority; and

WHEREAS, the construction of said residential apartment community will provide affordable housing for families and will be in the best interest of the residents of Boonville, Missouri; and

NOW THEREFORE BE IT RESOLVED, be it resolved by the City Council of the City of Boonville, Missouri, that support is hereby granted to TerraVest Developments, LLC fot the application to the Missouri Housing Development Commission for tax credits and financing to assist in the aforementioned project.

BE IT FURTHER RESOLVED, that the City Clerk is hereby instructed to forward a copy of this resolution to the Missouri Housing Development Commission and TerraVest Developments, LLC.

Passed this 18th day of September 2023, by the City Council of Boonville, Missouri

_____

Ned Beach, Mayor

ATTEST:

_____

Amber Davis, City Clerk

BILL NO: 2023-027 **ORDINANCE NO. _____**

AN ORDINANCE OF THE CITY OF BOONVILLE, MISSOURI APPROVING THE FINAL SITE PLAN FOR QUIKTRIP AT 1802 WEST ASHLEY ROAD, BOONVILLE, COOPER COUNTY, MISSOURI; PROVIDING AN EFFECTIVE DATE THEREFORE AND REPEALING ALL ORDINANCES IN CONFLICT WITH THIS ORDINANCE.

WHEREAS, QuikTrip is proposing to improve the property at 1802 West Ashley Road; and

WHEREAS, City staff met and communicated with property owner's engineer to work out the details of construction and site planning and to ensure the plans are in compliance with the City's zoning ordinances and planning standards; and

WHEREAS, final plans were presented to the Planning and Zoning Commission, which voted on September 12, 2023, to approve the final site plans. The plans include **Exhibit A**, herein incorporated, and attached hereto this ordinance. The Commission has recommended their approval by the Council.

WHEREAS, the City Council has evaluated the site plans for compatibility with the use of abutting sites, the safety and convenience of vehicle and pedestrian traffic and in view of the potential economic benefit to the City of Boonville and finds them to be appropriate to further economic development of the City.

NOW THEREFOR, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BOONVILLE, MISSOURI AS FOLLOWS:

SECTION 1: That the final site plan as shown and indicated in **Exhibit A**, attached hereto and made a part hereof, at 1802 West Ashley Road in the City of Boonville, Cooper County, Missouri should be and is hereby approved.

SECTION 2: This ordinance shall take effect and be in full force from and after its passage; and be approval granted herein shall be valid for a period not to exceed 12 months thereafter.

READ FOR THE FIRST TIME 18th DAY OF SEPTEMBER 2023

READ FOR THE SECOND TIME AND PASSED THIS 2ND DAY OF OCTOBER 2023, AFTER A COPY OF THIS ORDINANCE AND REFERENCED PLANS HAVE BEEN MADE AVAILABLE FOR PUBLIC INSPECTION PRIOR TO ITS READING.

_____

PRESIDENT OF THE COUNCIL

APPROVED THIS 2ND DAY OF OCTOBER 2023

Ned Beach, Mayor

ATTEST:

Amber Davis, City Clerk

SITE DEVELOPMENT PLANS FOR
QUIKTRIP STORE #0681
1802 West Ashley Road
Boonville, Cooper County, Missouri

SW 1/4, SW 1/4, S10 - T48N - R17W

ODS QUANTITIES:	
LOT SIZE	714,185 SF
DEVELOPED SITE (LOD)	344,000 SF
QT SPEC CONCRETE	138,412 SF
ALTERNATE:	
QT SPEC ASPHALT/CONCRETE	60,595 SF/ 77,817SF
UG DETENTION	N/A
SOD/SEED	35,550 SF/128,650 SF
ALL OTHER NON-QT SPEC PAVING	28,965 SF
MASONRY CANOPY	NO
WATER QUALITY UNIT	YES
-UNIT TYPE:	e.g. SNOUT

THE QUANTITIES ABOVE ARE INTENDED FOR INTERNAL TRACKING PURPOSES ONLY.
THEY ARE NOT REPRESENTATIVE OF THE QUANTITIES FOR BIDDING PURPOSES.
THE CONTRACTOR IS RESPONSIBLE FOR CALCULATING THEIR OWN QUANTITIES.

GENERAL NOTES:

1. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
2. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
3. ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE RELEVANT UTILITY COMPANIES, REGULATORY AGENCIES, AND THE CONTRACT DOCUMENTS AND SPECIFICATIONS. ALL WORK WITHIN PUBLIC RIGHT OF WAY SHALL BE IN ACCORDANCE WITH GOVERNING AGENCY STANDARDS AND SPECIFICATIONS.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED FROM THE GOVERNING AGENCIES AND COORDINATING ALL GOVERNING AGENCY INSPECTIONS REQUIRED THROUGHOUT THE DURATION OF THE PROJECT.
5. THE EXISTING FEATURES SHOWN ON THESE PLANS ARE THOSE NOTED IN THE FIELD AND THOSE TAKEN FROM RECORD DRAWINGS. THERE IS NO GUARANTEE THAT ALL FEATURES (ABOVE OR BELOW GROUND) ARE SHOWN ON THE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING FEATURES PRIOR TO BIDDING THE PROJECT. THE CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION BY CONTACTING THE LOCAL UTILITY COMPANIES AND/OR UTILIZING THE LOCAL ONE-CALL SYSTEM. ANY DAMAGE DONE TO EXISTING UTILITIES (THAT ARE TO REMAIN IN PLACE) DURING CONSTRUCTION OPERATIONS WILL BE THE CONTRACTOR'S RESPONSIBILITY AND REPAIRED AT HIS EXPENSE.
6. ANY QUANTITIES PROVIDED ON THESE PLANS ARE FOR GENERAL REFERENCE PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE QUANTITIES REQUIRED FOR CONSTRUCTION.
7. THE CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION BY CONTACTING THE LOCAL UTILITY COMPANIES AND/OR UTILIZING THE LOCAL ONE-CALL SYSTEM. ANY DAMAGE DONE TO EXISTING UTILITIES (THAT ARE TO REMAIN IN PLACE) DURING CONSTRUCTION OPERATIONS WILL BE THE CONTRACTOR'S RESPONSIBILITY AND REPAIRED AT HIS EXPENSE.
8. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL FOR ANY WORK WITHIN STREET RIGHT OF WAY. TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION AND GOVERNING AGENCY SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER TRAFFIC CONTROL IS IN PLACE FOR EACH PHASE OF CONSTRUCTION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROPERLY MAINTAINING TRAFFIC CONTROL DEVICES THROUGHOUT THE DURATION OF THE WORK. REFER TO PUBLIC IMPROVEMENT PLANS FOR TRAFFIC CONTROL DETAILS.
9. MISSOURI STANDARD SPECIFICATIONS AND STANDARD PLANS FOR HIGHWAY CONSTRUCTION CAN BE FOUND FROM THIS LINK:
   https://www.modot.org/missouri-standard-specifications-highway-construction

WETLANDS NOTICE:

ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/ DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.

NOTICE TO BIDDERS:

ALL QUESTIONS REGARDING BID PREPARATION AND CONSTRUCTION RELATED QUESTIONS SHALL BE DIRECTED TO THE OWNER'S CONSTRUCTION DEPARTMENT AT 913-905-2038. SUBCONTRACTORS MUST DIRECT THEIR QUESTIONS THROUGH THE GENERAL CONTRACTOR. THE CONSULTING ARCHITECT AND/OR THE CONSULTING ENGINEER SHALL NOT BE CONTACTED DIRECTLY WITHOUT PRIOR AUTHORIZATION FROM THE OWNER/DEVELOPER.

WARRANTY/DISCLAIMER:

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION AT THE SITE.

FLOOD CERTIFICATION:

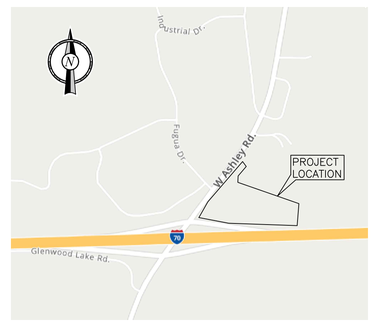
THIS PROPERTY LIES WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN AS ILLUSTRATED BY FLOOD INSURANCE RATE MAP (FIRM), COOPER COUNTY, MISSOURI. MAP NUMBER: 29053C0135C, EFFECTIVE DATE: 5/3/2011, COMMUNITY NUMBER: 290110, AND FLOOD INSURANCE RATE MAP (FIRM), COOPER COUNTY, MISSOURI. MAP NUMBER: 29053C0150C, EFFECTIVE DATE: 5/3/2011, COMMUNITY NUMBER: 290110.

BENCHMARK:

SITE BENCHMARK:
PK NAIL IN THE CONCRETE CURB BY THE GRAVEL ENTRNCE IN THE NORTHERN SECTION OF THE PROJECT AREA.

N: 1130857.3952538
E: 1562774.6580010
ELEVATION=786.34

NOTE: CONSTRUCTION STAKING SURVEYOR SHALL VERIFY HORIZONTAL & VERTICAL CONTROLS PRIOR TO COMMENCING PROJECT STAKING ACTIVITIES.



VICINITY MAP
N.T.S.

TITLE POLICY LEGAL DESCRIPTION:

BEGINNING AT AN IRON PIN ON THE NORTH RIGHT-OF-WAY LINE OF IS 70 SAID PIN BEING LOCATED 834.0 FEET WEST OF THEINTERSECTION OF THE QUARTER SECTION LINE IN SECTION 10, TOWNSHIP 48, RANGE 17 AND THE NORTH LINE OF SAID IS 70 AND SAID PIN ALSO BEING THE SOUTHWEST CORNER OF PROPERTY NOW OWNED BY REORGANIZED SCHOOL DISTRICT NO. 1, BOONVILLE, COOPER COUNTY, MISSOURI, N 00°56'33" E, 311.0 FEET TO AN IRON PIN, THENCE N 74°25'45" W, 971.0 FEET TO AN IRON PIN, THENCE N 1°12'53" W, 100.0 FEET TO AN IRON PIN, SAID PIN BEING 90.0 FEET EAST OF THE EAST RIGHT-OF-WAY LINE OF MO. STATE HIGHWAY #5, THENCE N 37°13'20" E PARALLEL WITH MO. STATE HIGHWAY #5, A DISTANCE OF 187.5 FEET SAID PIN BEING JUST 90.0 FEET EAST OF SAID EAST LINE OF MISSOURI STATE HIGHWAY #5, THENCE N 40°23'20" W, 92.0 FEET TO AN IRON PIN LOCATED ON THE EAST RIGHT-OF-WAY LINE OF MO. HIGHWAY #5, SAID PIN BEING 60.0 FEET EAST OF CENTER LINE OF MO. STATE HIGHWAY #5 STATION NUMBER 46163.95, THENCE SOUTHERLY ALONG SAID RIGHT-OF-WAY LINE 1069.5 FEET TO THE NORTH RIGHT-OF-WAY LINE OF IS 70, THENCE EASTERLY ALONG SAID RIGHT-OF-WAY LINE 1488.0 FEET TO THE POINT OF BEGINNING, COOPER COUNTY, MISSOURI.

MUNICIPAL/UTILITY CONTACT LIST:

CITY
BOONVILLE CITY HALL
401 MAIN STREET
BOONVILLE, MO 65233
660-882-2332

CITY ADMINISTRATOR
KATE FJELL
660-882-2332
kate.fjell@boonville-mo.org

PLANNING & ZONING
660-882-5124

POLICE DEPARTMENT
CHIEF RANDY AYERS
660-882-2727
randy.ayers@boonville-mo.org

FIRE DEPARTMENT
CHIEF TIM CARMICHAEL
660-882-7004
tjc101@boonville-mo.org

DIRECTOR OF PUBLIC WORKS
JEFF DITTO
660-882-5257
CELL:660-621-0294
jeff.ditto@boonville-mo.org

BUILDING INSPECTOR
STEVE HAGE
660-882-5124
bldginspector@boonville-mo.org

TELECOM
CENTURYLINK
833-515-3020

WATER AND SEWER
CITY OF BOONVILLE
CITY HALL
401 MAIN STREET
BOONVILLE, MO. 65233
660-882-5479

ELECTRICITY AND GAS
AMEREN MISSOURI
2001 MAGUIRE BOLEVARD,
COLUMBIA, MO. 65201
800-552-7583

MoDOT
TRENT BROOKS
Trent.Brooks@modot.mo.gov

KARL DAVENPORT
Karl.Davenport@modot.mo.gov

PROJECT CONTACT LIST:

SURVEYOR OF RECORD
KEVIN SCHWEIKERT, PLS
BRUSH & ASSOCIATES, INC.
506 NICHOLS STREET
COLUMBIA, MO 65201
TEL: (573) 442-3110
kevins@brushengsurv.com

ENGINEER OF RECORD
CONNOR S HOLMAN, P.E.
MIDWEST DESIGN GROUP
P.O. BOX 860015
SHAWNEE, KS 66286-0015
CELL: (913) 787-0183
connor@mdg-kc.com

QT RE PROJECT MANAGER
CAITLYNN HELSPER
QUIKTRIP CORPORATION
5725 FOXRIDGE DRIVE
MISSION, KS 66202
TEL: (913) 905-2054
CELL: (816) 807-1514
chelsper@quiktrip.com

QT CIVIL PROJECT MANAGER
ASHLEY GOODRICH
QUIKTRIP CORPORATION
CORPORATE OFFICE
4705 SOUTH 129TH E AVE
TULSA, OK 74134-7008
TEL: (918) 615-7273
agoodric@quiktrip.com

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C030	DEMOLITION PLAN
C100	SITE PLAN
C101	SIGNAGE PLAN
C102	STATE HIGHWAY 5 LANE WIDENING PLAN
C103	STATE HIGHWAY 5 LANE WIDENING TYPICAL SECTIONS
C104	NORTH OUTER ROAD EXTENSION PLAN
C110	OVERALL GRADING PLAN
C111	GRADING PLAN
C112	BUILDING & DETAILED GRADING PLAN
C113	TRUCK & AUTO CANOPY & TRUCK SCALE DETAILED GRADING PLAN
C114	STATE HWY 5 DRIVE APPROACH & TURN LANE DETAILED GRADING PLANS
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C116	NORTH OUTER ROAD PLAN & PROFILE
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C503	EROSION CONTROL DETAILS
C510	ADA DETAILS
C520	PAVING DETAILS
C521	PAVING DETAILS
C522	PAVING DETAILS
C523	PAVING DETAILS
C524	PAVING DETAILS
C525	TRAVEL CENTER PAVING DETAILS
C526	TRAVEL CENTER PAVING DETAILS
C527	TRAVEL CENTER PAVING DETAILS
C530	COMPREHENSIVE TRENCHING DETAILS
C531	COMPREHENSIVE TRENCHING DETAILS
C540	DRAINAGE DETAILS
C541	DRAINAGE DETAILS
C542	DRAINAGE DETAILS
C543	DRAINAGE DETAILS
C544	DRAINAGE DETAILS
C550	MoDOT STANDARD DETAILS
C551	MoDOT STANDARD DETAILS
C552	MoDOT STANDARD DETAILS
C553	MoDOT STANDARD DETAILS
L100	OVERALL LANDSCAPE PLAN
L101	LANDSCAPE PLAN
L110	IRRIGATION PLAN SHEET 1
L111	IRRIGATION PLAN SHEET 2
L112	IRRIGATION PLAN SHEET 3
L500	LANDSCAPE DETAILS
L510	IRRIGATION DETAILS SHEET 1
L511	IRRIGATION DETAILS SHEET 2

ASSOCIATED CIVIL PLANS

SANITARY SEWER MAIN EXTENSION PLANS - MDG
WATER MAIN EXTENSION PLANS - MDG

LEGEND:

DESCRIPTION	PROPOSED	EXISTING
STORM 12" & UP		
STORM <12"	ST	st
UNDER CURB/PAVEMENT DRAIN	UCP	
STORM SEWER CLEANOUT	CO	CO
CURB INLET	CI	CI
JUNCTION BOX	JB	JB
GRATE INLET	GI	GI
WATER	WTR	wtr
FIRE HYDRANT	FH	FH
WATER METER	M	M
WATER VALVE		
OVERHEAD ELECTRICAL	OHE	ohe
UNDERGROUND ELECTRICAL	UGE	uge
POWER POLE	PP	PP
PUBLIC STREET LIGHT POLE	LP	LP
OVERHEAD TELEPHONE	OHT	oht
UNDERGROUND TELEPHONE	UGT	ugt
TELEPHONE MANHOLE	TELE MH	TELE MH
FIBER OPTIC CABLE	UFOC	ufoc

DESCRIPTION	PROPOSED	EXISTING
QT SINGLE LIGHT FIXTURE		
QT DOUBLE LIGHT FIXTURE		
SANITARY SEWER	SS	ss
SANITARY SEWER MANHOLE	SSMH	SSMH
SANITARY SEWER CLEANOUT	CO	CO
GAS	GAS	gas
BENCHMARK		
FENCE		
PROPERTY LINE		
CONCRETE CURB AND GUTTER		
MOUNTABLE CURB W/ RADIUS PROTECTOR		
PARKING SPACE INDICATOR		
MULTIPLE PRODUCT AUTO DISPENSER WITH CANOPY COLUMN & BOLLARDS		
LANDSCAPE BED	LS	
ELECTRICAL TRANSFORMER	TFR	
FUEL SYSTEM TRANSITION SUMP		

STATE OF MISSOURI
CONNOR S. HOLMAN
NUMBER PE-2021004771
PROFESSIONAL ENGINEER
9/7/23

PROJECT NO.:06-0681

MDG
Midwest Design Group
Kansas City

PO Box 860015
Shawnee, KS 66286-0015
P 913.248.9385

QuikTrip No. 0681
1802 WEST ASHLEY ROAD
BOONVILLE, COOPER COUNTY, MO 65223

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VERSION: 001
DESIGNED BY: CSH
DRAWN BY: CSH
REVIEWED BY: AMG

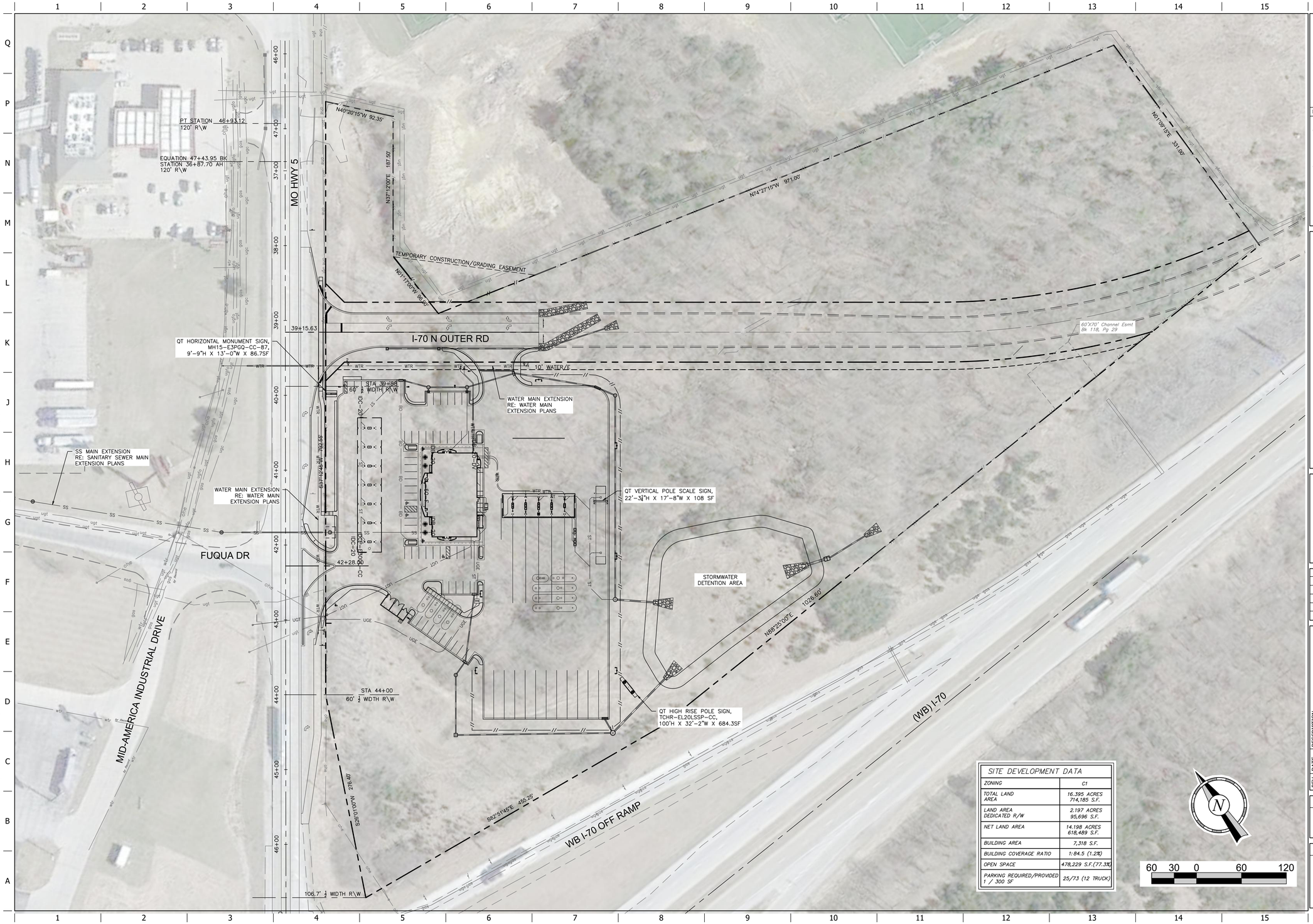
REV	DATE	DESCRIPTION

ORIGINAL ISSUE DATE: 09/07/2023

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C001

FILE LOCATION:\\desktop-himc8gp\civil 3d projects\qt0681tc boonville, mo\06-0681 Civil.dwg TAB NAME:Cover USER:Connor SAVED:9/7/2023 4:55 PM PLOTTED:9/7/2023 4:56 PM



SITE DEVELOPMENT DATA	
ZONING	C1
TOTAL LAND AREA	16.395 ACRES 714,185 S.F.
LAND AREA DEDICATED R/W	2.197 ACRES 95,696 S.F.
NET LAND AREA	14.198 ACRES 618,489 S.F.
BUILDING AREA	7,318 S.F.
BUILDING COVERAGE RATIO	1:84.5 (1.2%)
OPEN SPACE	478,229 S.F.(77.3%)
PARKING REQUIRED/PROVIDED 1 / 300 SF	25/73 (12 TRUCK)

STATE OF MISSOURI
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REV	DATE	DESCRIPTION

ORIGINAL ISSUE DATE: 09/07/2023

SHEET TITLE:
OVERALL SITE PLAN

SHEET NUMBER:
C010

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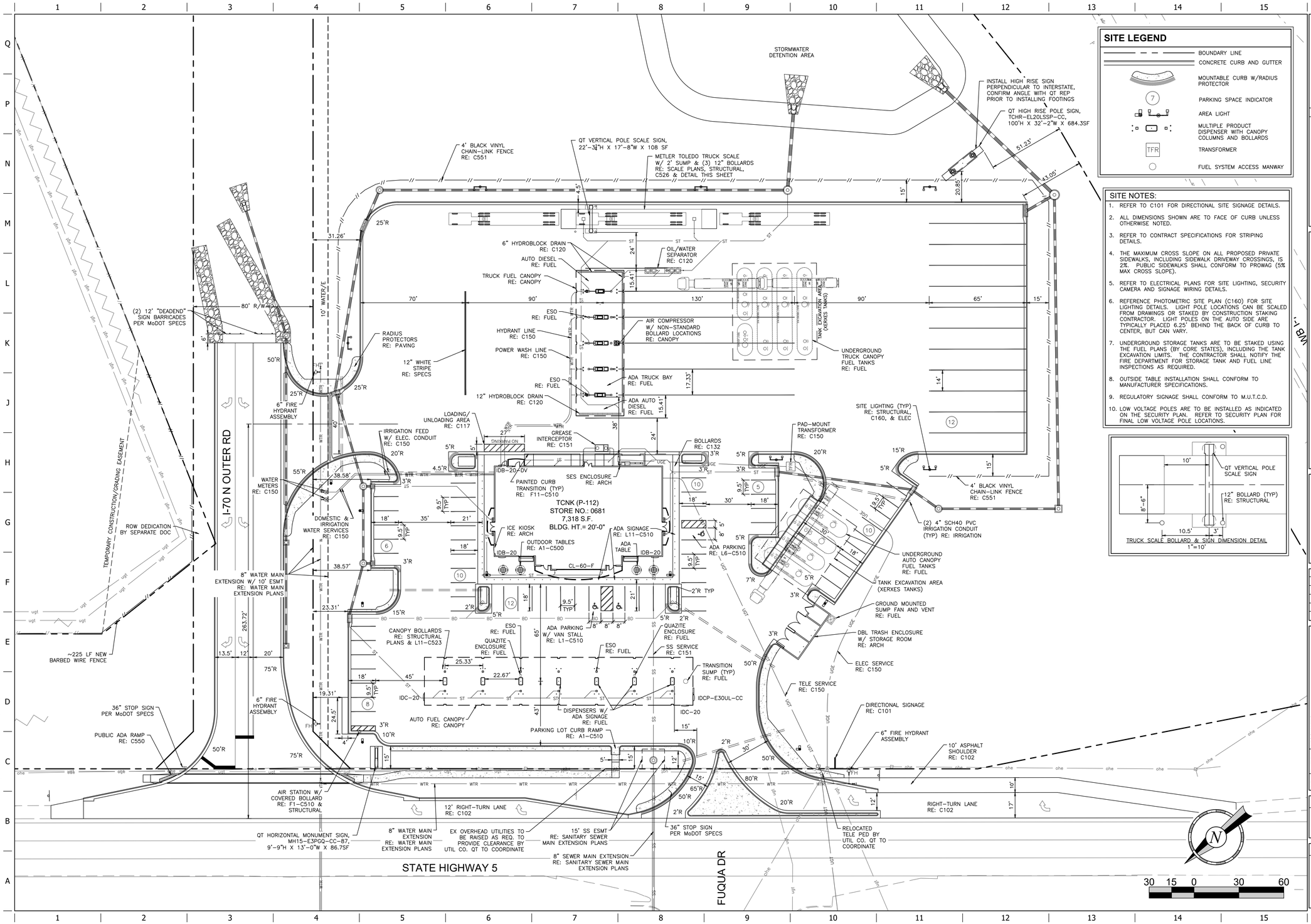

SITE LEGEND

- BOUNDARY LINE
- CONCRETE CURB AND GUTTER
- MOUNTABLE CURB W/RADIUS PROTECTOR
- PARKING SPACE INDICATOR
- AREA LIGHT
- MULTIPLE PRODUCT DISPENSER WITH CANOPY COLUMNS AND BOLLARDS
- TRANSFORMER
- FUEL SYSTEM ACCESS MANWAY

SITE NOTES:

1. REFER TO C101 FOR DIRECTIONAL SITE SIGNAGE DETAILS.
2. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. REFER TO CONTRACT SPECIFICATIONS FOR STRIPING DETAILS.
4. THE MAXIMUM CROSS SLOPE ON ALL PROPOSED PRIVATE SIDEWALKS, INCLUDING SIDEWALK DRIVEWAY CROSSINGS, IS 2%. PUBLIC SIDEWALKS SHALL CONFORM TO PROWAG (5% MAX CROSS SLOPE).
5. REFER TO ELECTRICAL PLANS FOR SITE LIGHTING, SECURITY CAMERA AND SIGNAGE WIRING DETAILS.
6. REFERENCE PHOTOMETRIC SITE PLAN (C160) FOR SITE LIGHTING DETAILS. LIGHT POLE LOCATIONS CAN BE SCALED FROM DRAWINGS OR STAKED BY CONSTRUCTION STAKING CONTRACTOR. LIGHT POLES ON THE AUTO SIDE ARE TYPICALLY PLACED 6.25' BEHIND THE BACK OF CURB TO CENTER, BUT CAN VARY.
7. UNDERGROUND STORAGE TANKS ARE TO BE STAKED USING THE FUEL PLANS (BY CORE STATES), INCLUDING THE TANK EXCAVATION LIMITS. THE CONTRACTOR SHALL NOTIFY THE FIRE DEPARTMENT FOR STORAGE TANK AND FUEL LINE INSPECTIONS AS REQUIRED.
8. OUTSIDE TABLE INSTALLATION SHALL CONFORM TO MANUFACTURER SPECIFICATIONS.
9. REGULATORY SIGNAGE SHALL CONFORM TO M.U.T.C.D.
10. LOW VOLTAGE POLES ARE TO BE INSTALLED AS INDICATED ON THE SECURITY PLAN. REFER TO SECURITY PLAN FOR FINAL LOW VOLTAGE POLE LOCATIONS.

TRUCK SCALE BOLLARD & SIGN DIMENSION DETAIL
1"=10'

STATE OF MISSOURI CONNOR HOLMAN NUMBER PE-2021004771 PROFESSIONAL ENGINEER

9/7/23

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Kansas City

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P 913.248.9385

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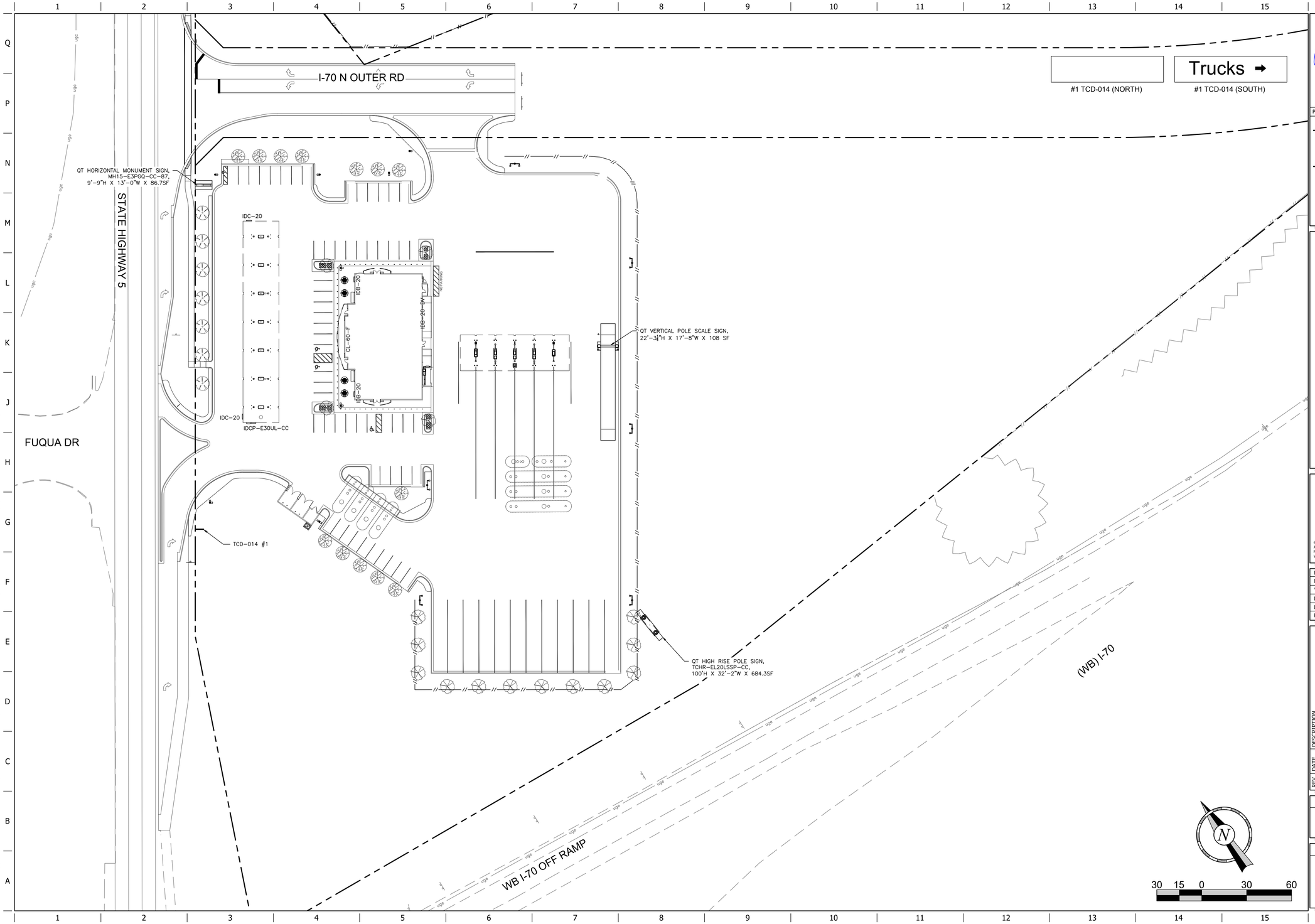
REV	DATE	DESCRIPTION

ORIGINAL ISSUE DATE: 09/07/2023

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C100

FILE LOCATION:\\desktop-hrmc8gh\civil 3d projects\qt681tc boonville, mo\06-0681 Civil.dwg TAB NAME:Site USER:Connor SAVED:9/7/2023 4:55 PM PLOTTED:9/7/2023 4:56 PM



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STATE OF MISSOURI
CONNOR HOLMAN
NUMBER
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PROFESSIONAL ENGINEER
9/7/23

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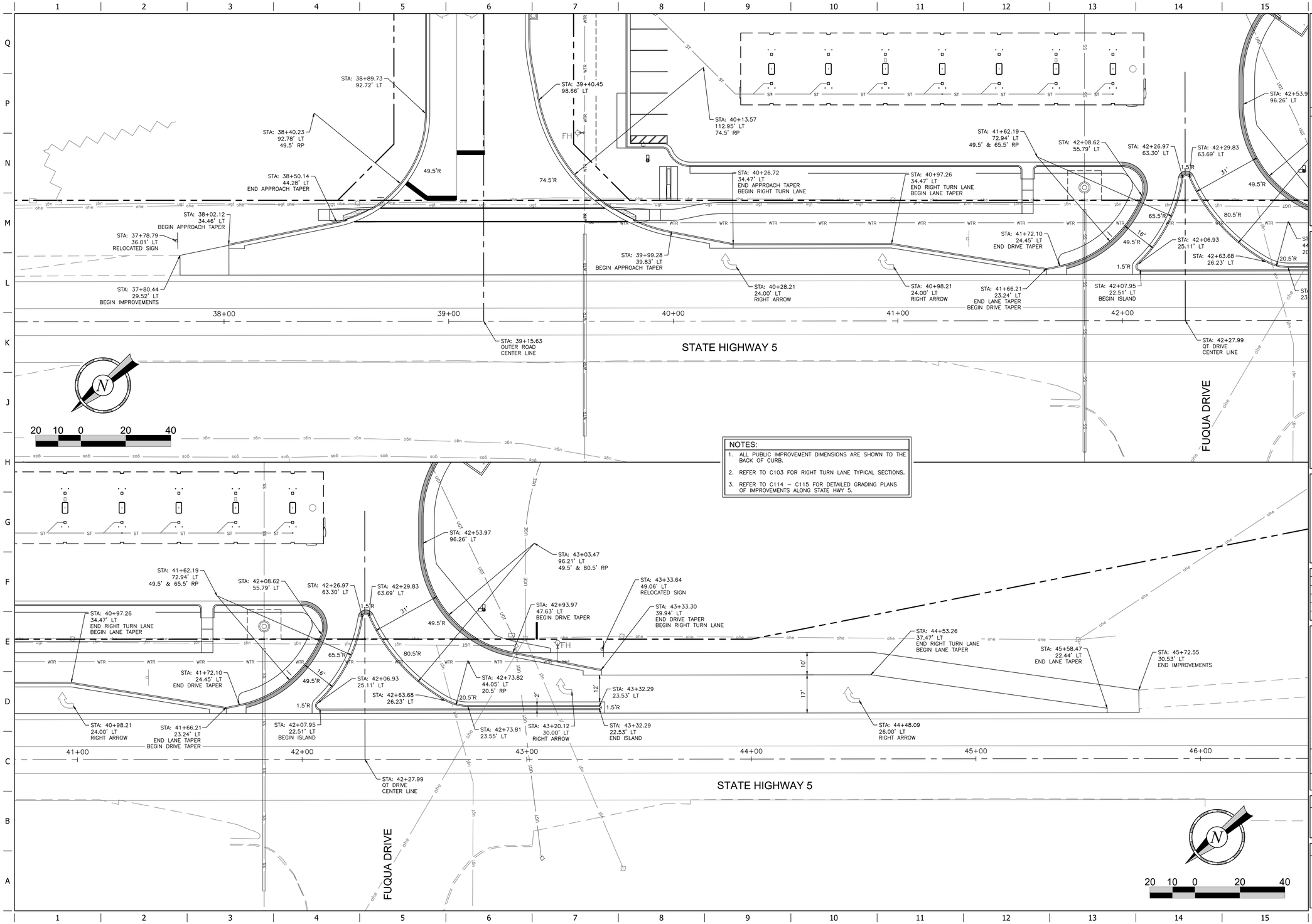
ORIGINAL ISSUE DATE: 09/07/2023

SHEET TITLE:
SIGNAGE PLAN

SHEET NUMBER:
C101



NOTES:

1. ALL PUBLIC IMPROVEMENT DIMENSIONS ARE SHOWN TO THE BACK OF CURB.
2. REFER TO C103 FOR RIGHT TURN LANE TYPICAL SECTIONS.
3. REFER TO C114 – C115 FOR DETAILED GRADING PLANS OF IMPROVEMENTS ALONG STATE HWY 5.

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Kansas City
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Shawnee, KS 66286-0015
P 913.248.9385

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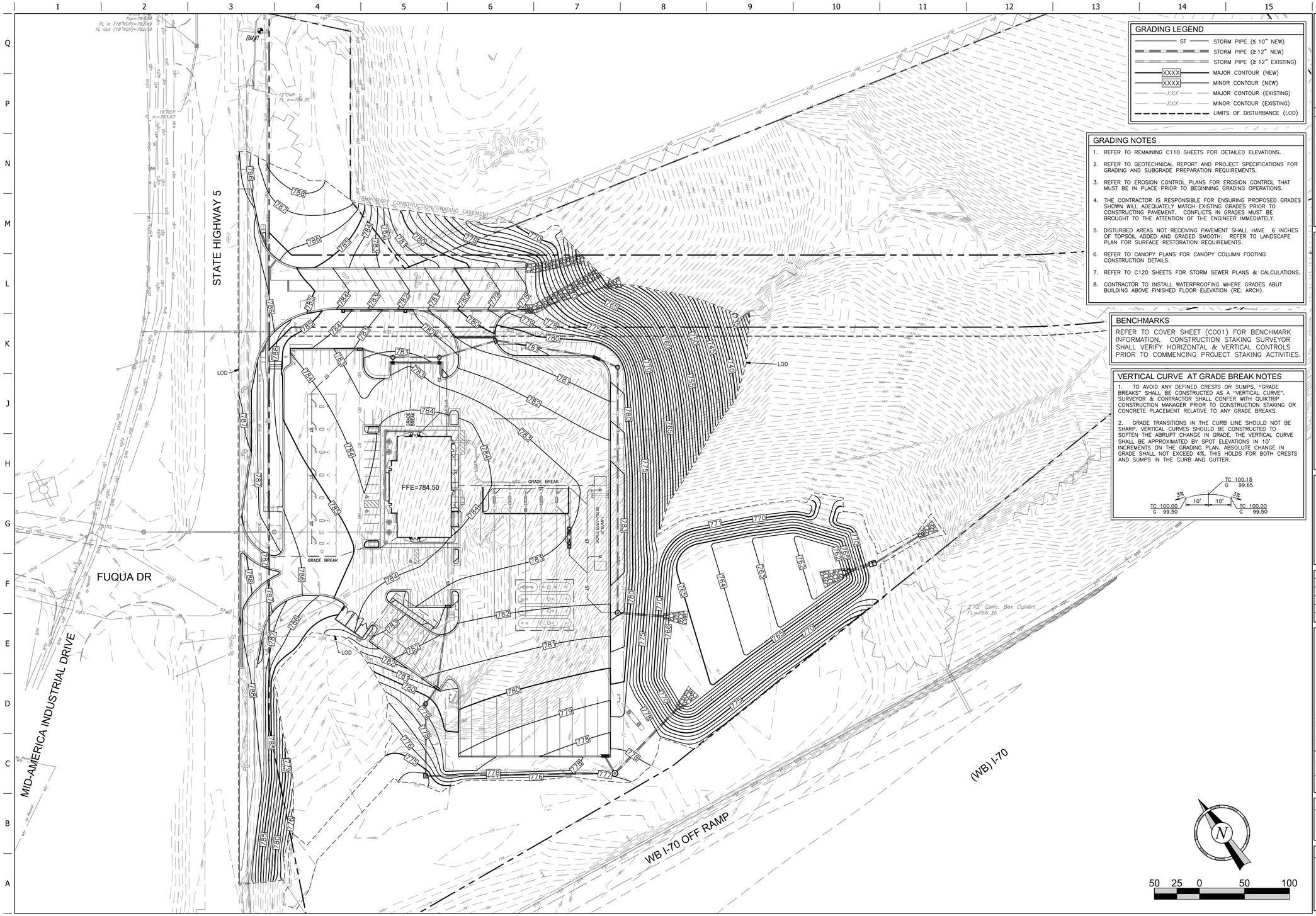
REV	DATE	DESCRIPTION

ORIGINAL ISSUE DATE: 09/07/2023

SHEET TITLE:
STATE HIGHWAY 5
LANE WIDENING PLAN

SHEET NUMBER:
C102

FILE LOCATION:\\desktop-hrmc8gh\civil 3d projects\qt681c boonville, mo\06-0681 Civil.dwg TAB NAME:HWY 5 Site USER:Connor SAVED:9/7/2023 4:55 PM PLOTTED:9/7/2023 4:57 PM



GRADING LEGEND

- ST — STORM PIPE (≤ 10" NEW)
- STORM PIPE (≥ 12" NEW)
- STORM PIPE (≥ 12" EXISTING)
- XXXX — MAJOR CONTOUR (NEW)
- XXXX — MINOR CONTOUR (NEW)
- XXX — MAJOR CONTOUR (EXISTING)
- XXX — MINOR CONTOUR (EXISTING)
- LIMITS OF DISTURBANCE (LOD)

GRADING NOTES

1. REFER TO REMAINING C110 SHEETS FOR DETAILED ELEVATIONS.
2. REFER TO GEOTECHNICAL REPORT AND PROJECT SPECIFICATIONS FOR GRADING AND SUBGRADE PREPARATION REQUIREMENTS.
3. REFER TO EROSION CONTROL PLANS FOR EROSION CONTROL THAT MUST BE IN PLACE PRIOR TO BEGINNING GRADING OPERATIONS.
4. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING PROPOSED GRADES SHOWN WILL ADEQUATELY MATCH EXISTING GRADES PRIOR TO CONSTRUCTING PAVEMENT. CONFLICTS IN GRADES MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
5. DISTURBED AREAS NOT RECEIVING PAVEMENT SHALL HAVE 6 INCHES OF TOPSOIL ADDED AND GRADED SMOOTH. REFER TO LANDSCAPE PLAN FOR SURFACE RESTORATION REQUIREMENTS.
6. REFER TO CANOPY PLANS FOR CANOPY COLUMN FOOTING CONSTRUCTION DETAILS.
7. REFER TO C120 SHEETS FOR STORM SEWER PLANS & CALCULATIONS.
8. CONTRACTOR TO INSTALL WATERPROOFING WHERE GRADES ABUT BUILDING ABOVE FINISHED FLOOR ELEVATION (RE: ARCH).

BENCHMARKS

REFER TO COVER SHEET (C001) FOR BENCHMARK INFORMATION. CONSTRUCTION STAKING SURVEYOR SHALL VERIFY HORIZONTAL & VERTICAL CONTROLS PRIOR TO COMMENCING PROJECT STAKING ACTIVITIES.

VERTICAL CURVE AT GRADE BREAK NOTES

1. TO AVOID ANY DEFINED CRESTS OR SUMPS, "GRADE BREAKS" SHALL BE CONSTRUCTED AS A "VERTICAL CURVE". SURVEYOR & CONTRACTOR SHALL CONFER WITH QUIKTRIP CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION STAKING OR CONCRETE PLACEMENT RELATIVE TO ANY GRADE BREAKS.

2. GRADE TRANSITIONS IN THE CURB LINE SHOULD NOT BE SHARP. VERTICAL CURVES SHOULD BE CONSTRUCTED TO SOFTEN THE ABRUPT CHANGE IN GRADE. THE VERTICAL CURVE SHALL BE APPROXIMATED BY SPOT ELEVATIONS IN 10' INCREMENTS ON THE GRADING PLAN. ABSOLUTE CHANGE IN GRADE SHALL NOT EXCEED 4%, THIS HOLDS FOR BOTH CRESTS AND SUMPS IN THE CURB AND GUTTER.

STATE OF MISSOURI
CONNOR HOLMAN
NUMBER PE-2021004771
PROFESSIONAL ENGINEER

9/7/23

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MDG
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Kansas City

PO Box 860015
Shawnee, KS 66286-0015
P 913.248.9385

QuikTrip No. 0681

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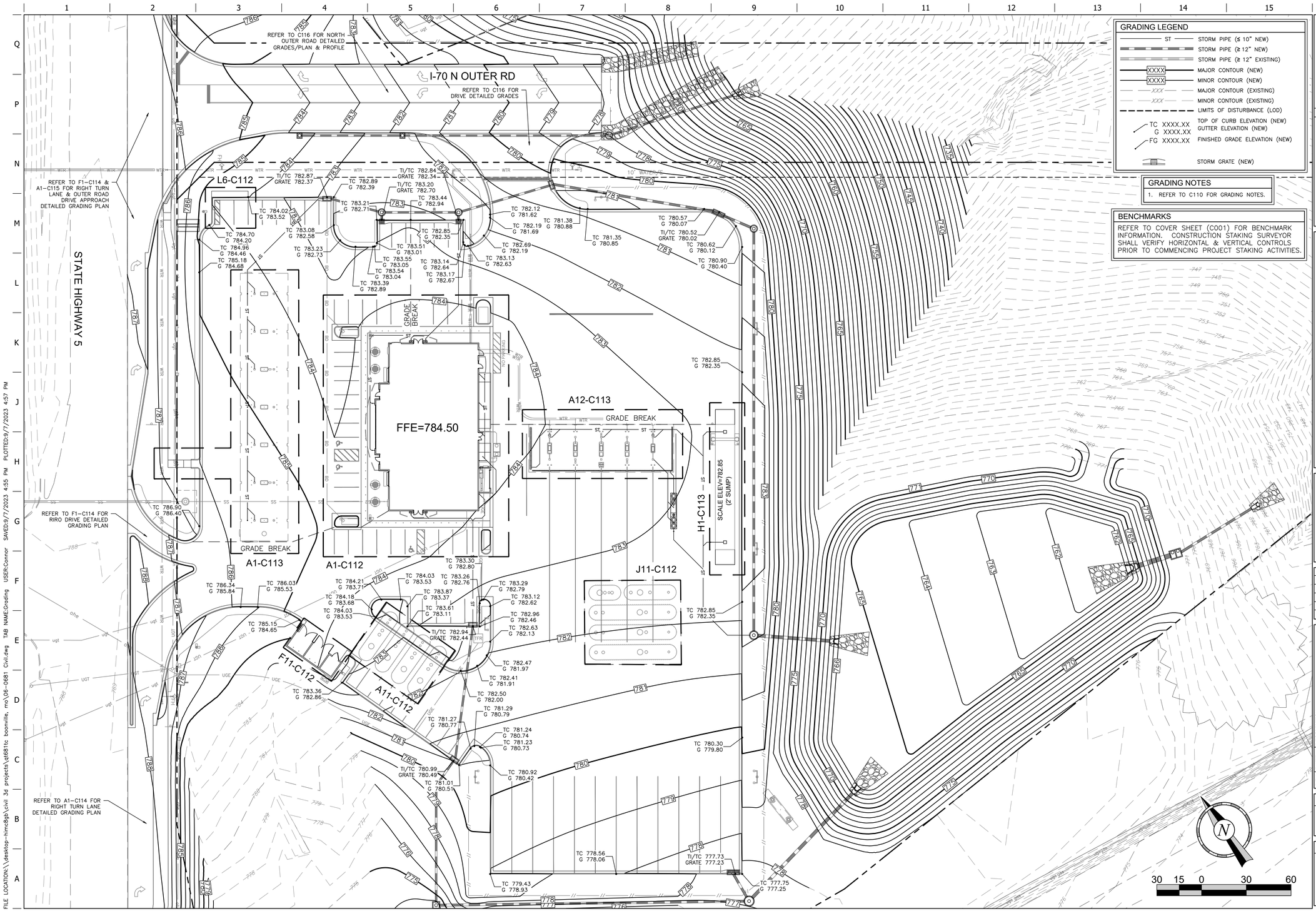
SHEET TITLE:
OVERALL GRADING PLAN

SHEET NUMBER:
C110

FILE LOCATION:\\desktop-himc8gb\civil 3d projects\qt681tc boonville, mo\06-0681 Civil.dwg TAB NAME:Overall Grading USER:Connor SAVED:9/7/2023 4:55 PM PLOTTED:9/7/2023 4:57 PM



GRADING LEGEND

- ST — STORM PIPE (≤ 10" NEW)
- STORM PIPE (≥ 12" NEW)
- STORM PIPE (≥ 12" EXISTING)
- XXXX — MAJOR CONTOUR (NEW)
- XXXX — MINOR CONTOUR (NEW)
- XXX — MAJOR CONTOUR (EXISTING)
- XXX — MINOR CONTOUR (EXISTING)
- LIMITS OF DISTURBANCE (LOD)
- TC XXXX.XX / G XXXX.XX — TOP OF CURB ELEVATION (NEW) / GUTTER ELEVATION (NEW)
- FG XXXX.XX — FINISHED GRADE ELEVATION (NEW)
- STORM GRATE (NEW)

GRADING NOTES

1. REFER TO C110 FOR GRADING NOTES.

BENCHMARKS

REFER TO COVER SHEET (C001) FOR BENCHMARK INFORMATION. CONSTRUCTION STAKING SURVEYOR SHALL VERIFY HORIZONTAL & VERTICAL CONTROLS PRIOR TO COMMENCING PROJECT STAKING ACTIVITIES.

STATE OF MISSOURI — CONNOR SHOLMAN — NUMBER PE-2021004771 — PROFESSIONAL ENGINEER

9/7/23

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Midwest Design Group
Kansas City

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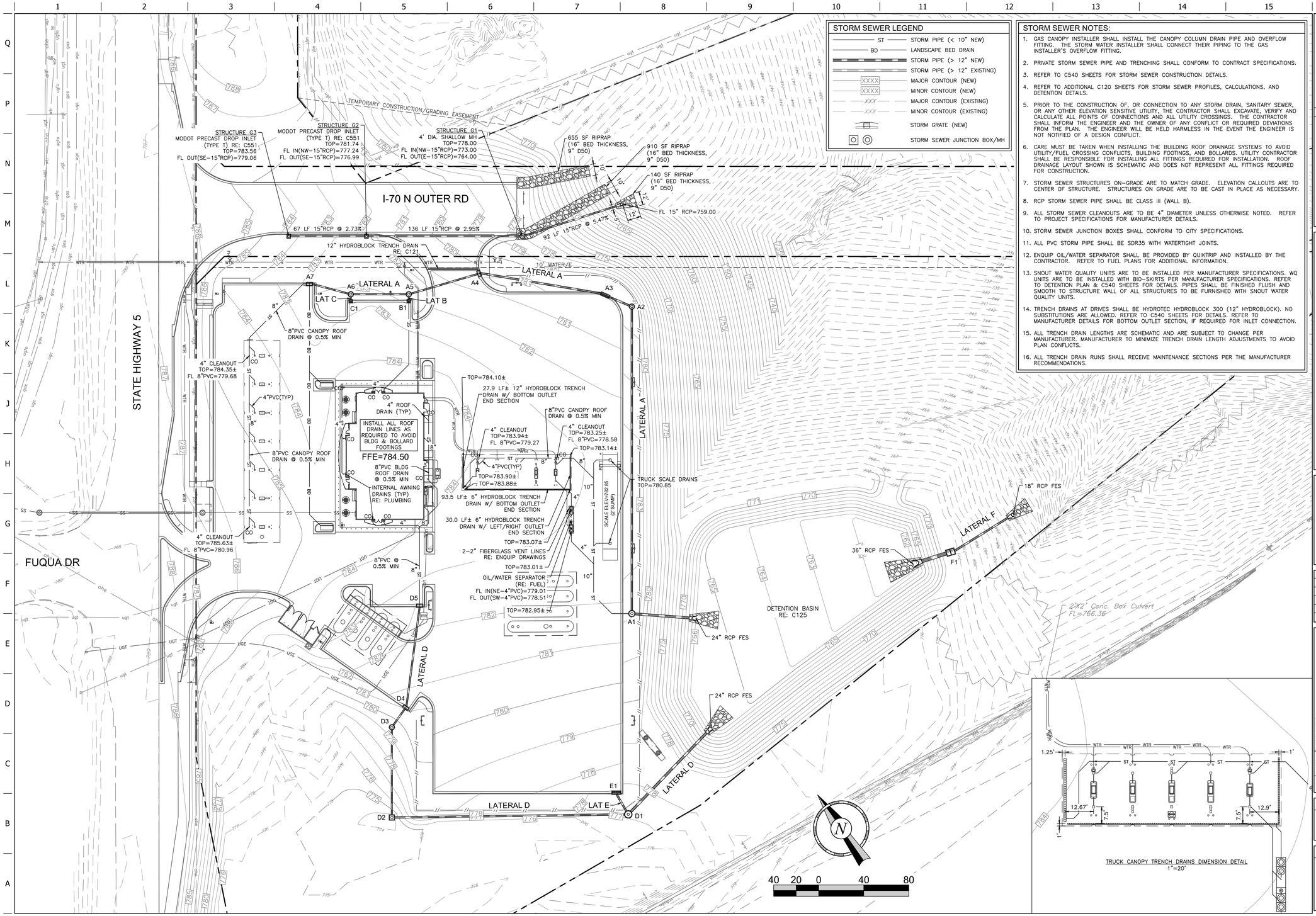
SHEET TITLE:

GRADING PLAN

SHEET NUMBER:

C111

FILE LOCATION:\\desktop-hlmc8gb\civil 3d projects\qt6811c boonville, mo\06-0681 Civil.dwg TAB NAME:Grading USER:Connor SAVED:9/7/2023 4:55 PM PLOTTED:9/7/2023 4:57 PM



STORM SEWER LEGEND

ST	STORM PIPE (< 10" NEW)
BD	LANDSCAPE BED DRAIN
	STORM PIPE (> 12" NEW)
	STORM PIPE (> 12" EXISTING)
XXXX	MAJOR CONTOUR (NEW)
XXXX	MINOR CONTOUR (NEW)
XXX	MAJOR CONTOUR (EXISTING)
XXX	MINOR CONTOUR (EXISTING)
	STORM GRATE (NEW)
	STORM SEWER JUNCTION BOX/MH

STORM SEWER NOTES:

1. GAS CANOPY INSTALLER SHALL INSTALL THE CANOPY COLUMN DRAIN PIPE AND OVERFLOW FITTING. THE STORM WATER INSTALLER SHALL CONNECT THEIR PIPING TO THE GAS INSTALLER'S OVERFLOW FITTING.
2. PRIVATE STORM SEWER PIPE AND TRENCHING SHALL CONFORM TO CONTRACT SPECIFICATIONS.
3. REFER TO C540 SHEETS FOR STORM SEWER CONSTRUCTION DETAILS.
4. REFER TO ADDITIONAL C120 SHEETS FOR STORM SEWER PROFILES, CALCULATIONS, AND DETENTION DETAILS.
5. PRIOR TO THE CONSTRUCTION OF, OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, OR ANY OTHER ELEVATION SENSITIVE UTILITY, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTIONS AND ALL UTILITY CROSSINGS. THE CONTRACTOR SHALL INFORM THE ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF A DESIGN CONFLICT.
6. CARE MUST BE TAKEN WHEN INSTALLING THE BUILDING ROOF DRAINAGE SYSTEMS TO AVOID UTILITY/FUEL CROSSING CONFLICTS, BUILDING FOOTINGS, AND BOLLARDS. UTILITY CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL FITTINGS REQUIRED FOR INSTALLATION. ROOF DRAINAGE LAYOUT SHOWN IS SCHEMATIC AND DOES NOT REPRESENT ALL FITTINGS REQUIRED FOR CONSTRUCTION.
7. STORM SEWER STRUCTURES ON-GRADE ARE TO MATCH GRADE. ELEVATION CALLOUTS ARE TO CENTER OF STRUCTURE. STRUCTURES ON GRADE ARE TO BE CAST IN PLACE AS NECESSARY.
8. RCP STORM SEWER PIPE SHALL BE CLASS III (WALL B).
9. ALL STORM SEWER CLEANOUTS ARE TO BE 4" DIAMETER UNLESS OTHERWISE NOTED. REFER TO PROJECT SPECIFICATIONS FOR MANUFACTURER DETAILS.
10. STORM SEWER JUNCTION BOXES SHALL CONFORM TO CITY SPECIFICATIONS.
11. ALL PVC STORM PIPE SHALL BE SDR35 WITH WATERTIGHT JOINTS.
12. ENQUIP OIL/WATER SEPARATOR SHALL BE PROVIDED BY QUIKTRIP AND INSTALLED BY THE CONTRACTOR. REFER TO FUEL PLANS FOR ADDITIONAL INFORMATION.
13. SNOUT WATER QUALITY UNITS ARE TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS. WQ UNITS ARE TO BE INSTALLED WITH BIO-SKIRTS PER MANUFACTURER SPECIFICATIONS. REFER TO DETENTION PLAN & C540 SHEETS FOR DETAILS. PIPES SHALL BE FINISHED FLUSH AND SMOOTH TO STRUCTURE WALL OF ALL STRUCTURES TO BE FURNISHED WITH SNOUT WATER QUALITY UNITS.
14. TRENCH DRAINS AT DRIVES SHALL BE HYDROTEC HYDROBLOCK 300 (12" HYDROBLOCK). NO SUBSTITUTIONS ARE ALLOWED. REFER TO C540 SHEETS FOR DETAILS. REFER TO MANUFACTURER DETAILS FOR BOTTOM OUTLET SECTION, IF REQUIRED FOR INLET CONNECTION.
15. ALL TRENCH DRAIN LENGTHS ARE SCHEMATIC AND ARE SUBJECT TO CHANGE PER MANUFACTURER. MANUFACTURER TO MINIMIZE TRENCH DRAIN LENGTH ADJUSTMENTS TO AVOID PLAN CONFLICTS.
16. ALL TRENCH DRAIN RUNS SHALL RECEIVE MAINTENANCE SECTIONS PER THE MANUFACTURER RECOMMENDATIONS.

STATE OF MISSOURI
CONNOR J. HOLMAN
NUMBER PE-2021004771
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Midwest Design Group
Kansas City
PO Box 860015
Shawnee, KS 66286-0015
P 913.248.9385

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REV	DATE	DESCRIPTION

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SHEET TITLE:
OVERALL STORM SEWER PLAN

SHEET NUMBER:
C120

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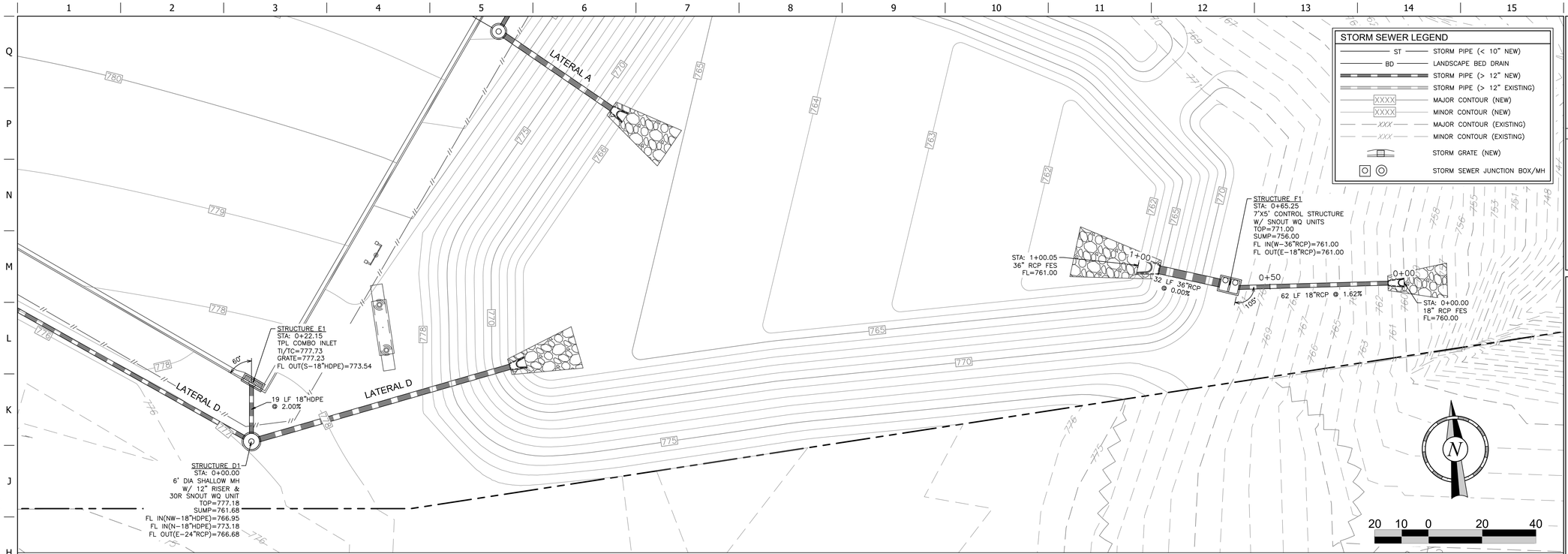
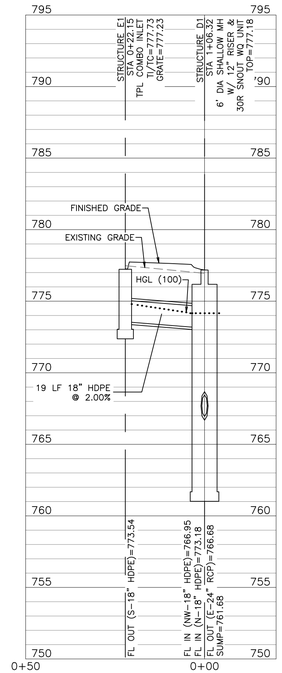
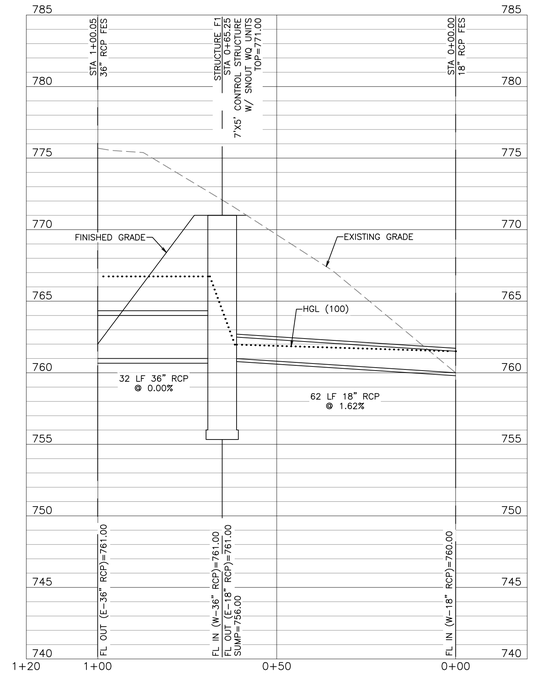


STORM SEWER LEGEND

ST	STORM PIPE (< 10" NEW)
BD	LANDSCAPE BED DRAIN
	STORM PIPE (> 12" NEW)
	STORM PIPE (> 12" EXISTING)
XXXX	MAJOR CONTOUR (NEW)
XXXX	MINOR CONTOUR (NEW)
XXX	MAJOR CONTOUR (EXISTING)
XXX	MINOR CONTOUR (EXISTING)
	STORM GRATE (NEW)
	STORM SEWER JUNCTION BOX/MH



STORM LATERAL E PROFILE



STORM LATERAL F PROFILE

1"=20' HORZ
1"=5' VERT

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Kansas City

PO Box 860015
Shawnee, KS 66286-0015
P 913.248.9385

QuikTrip No. 0681

1802 WEST ASHLEY ROAD
BOONVILLE, COOPER COUNTY, MO 65223

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PROTOTYPE:	P-112
DIVISION:	06
VERSION:	001
DESIGNED BY:	CSH
DRAWN BY:	CSH
REVIEWED BY:	AMG

REV	DATE	DESCRIPTION

ORIGINAL ISSUE DATE: 09/07/2023

SHEET TITLE:
STORM LATERAL E & F
PLAN & PROFILE

SHEET NUMBER:
C124

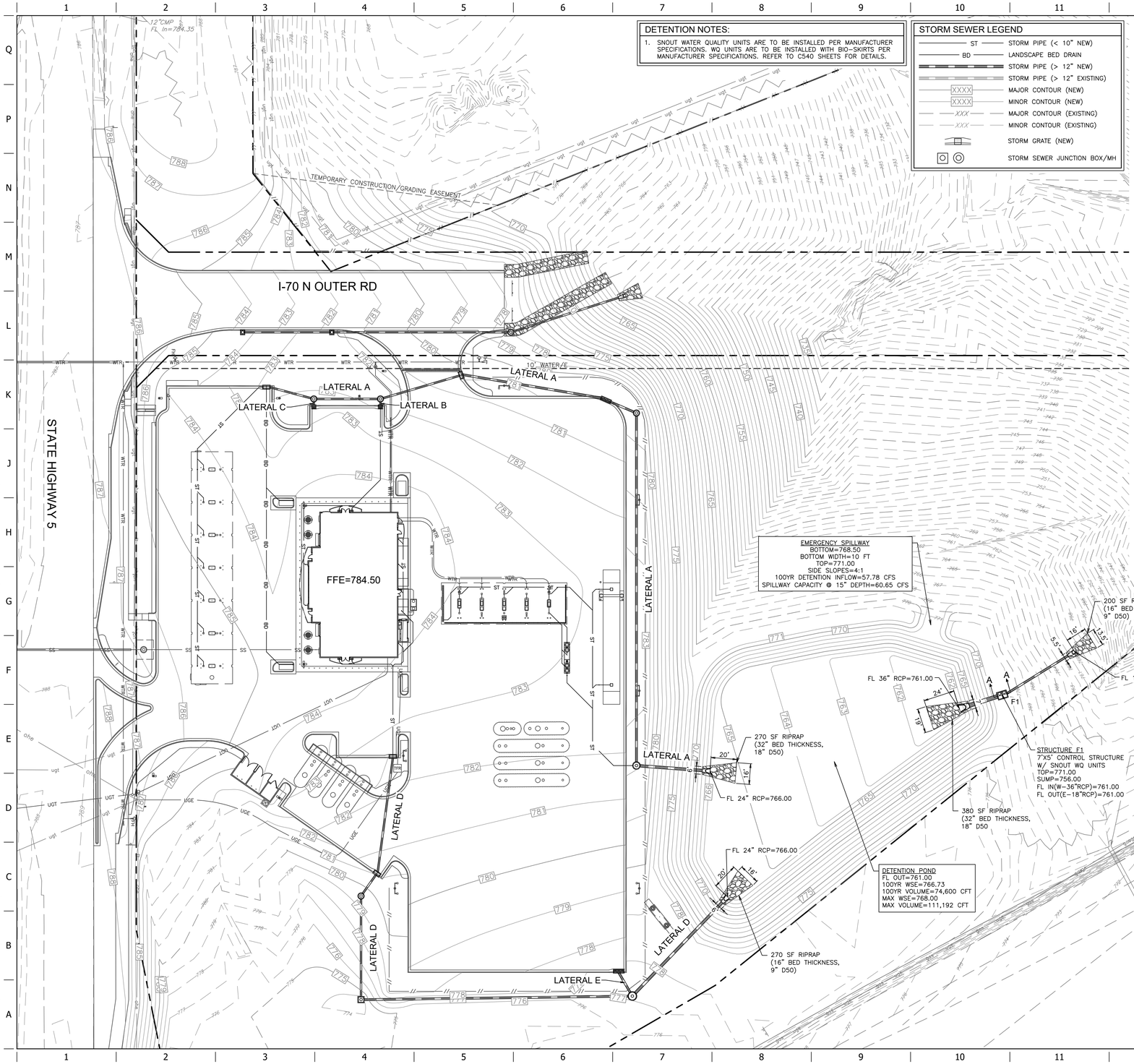
FILE LOCATION:\\desktop-hjmc8gb\civil 3d projects\qt6811c boonville, mo\06-0681 Civil.dwg TAB NAME:Storm (5) USER:Connor SAVED:9/7/2023 4:55 PM PLOTTED:9/7/2023 4:59 PM

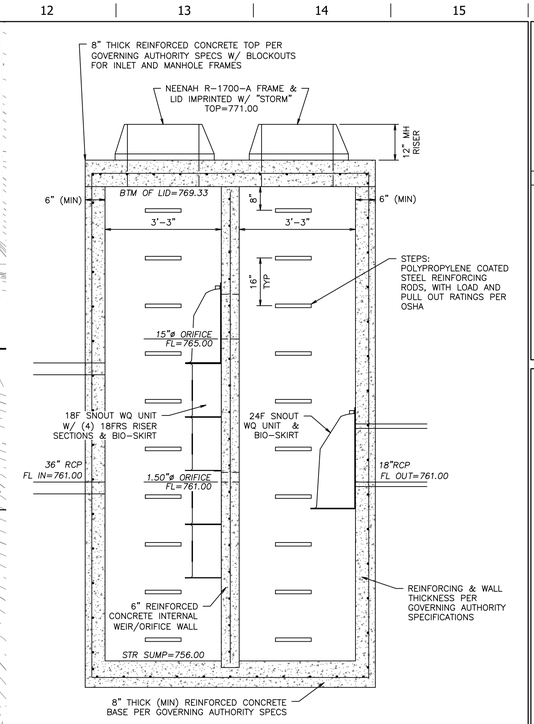
DETENTION NOTES:

1. SNOUT WATER QUALITY UNITS ARE TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS. WQ UNITS ARE TO BE INSTALLED WITH BIO-SKIRTS PER MANUFACTURER SPECIFICATIONS. REFER TO C540 SHEETS FOR DETAILS.

STORM SEWER LEGEND

ST	STORM PIPE (< 10" NEW)
BD	LANDSCAPE BED DRAIN
	STORM PIPE (> 12" NEW)
	STORM PIPE (> 12" EXISTING)
XXXX	MAJOR CONTOUR (NEW)
XXXX	MINOR CONTOUR (NEW)
XXX	MAJOR CONTOUR (EXISTING)
XXX	MINOR CONTOUR (EXISTING)
	STORM GRATE (NEW)
	STORM SEWER JUNCTION BOX/MH





SECTION A-A
7'X5' CONTROL STRUCTURE F1 DETAIL

N.T.S.

STATE OF MISSOURI
CONNOR HOLMAN
NUMBER PE-2021004771
PROFESSIONAL ENGINEER

9/7/23

PROJECT NO.:06-0681

MDG
Midwest Design Group
Kansas City

PO Box 860015
Shawnee, KS 66286-0015
P 913.248.9385

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REVIEWED BY: AMG

REV	DATE	DESCRIPTION

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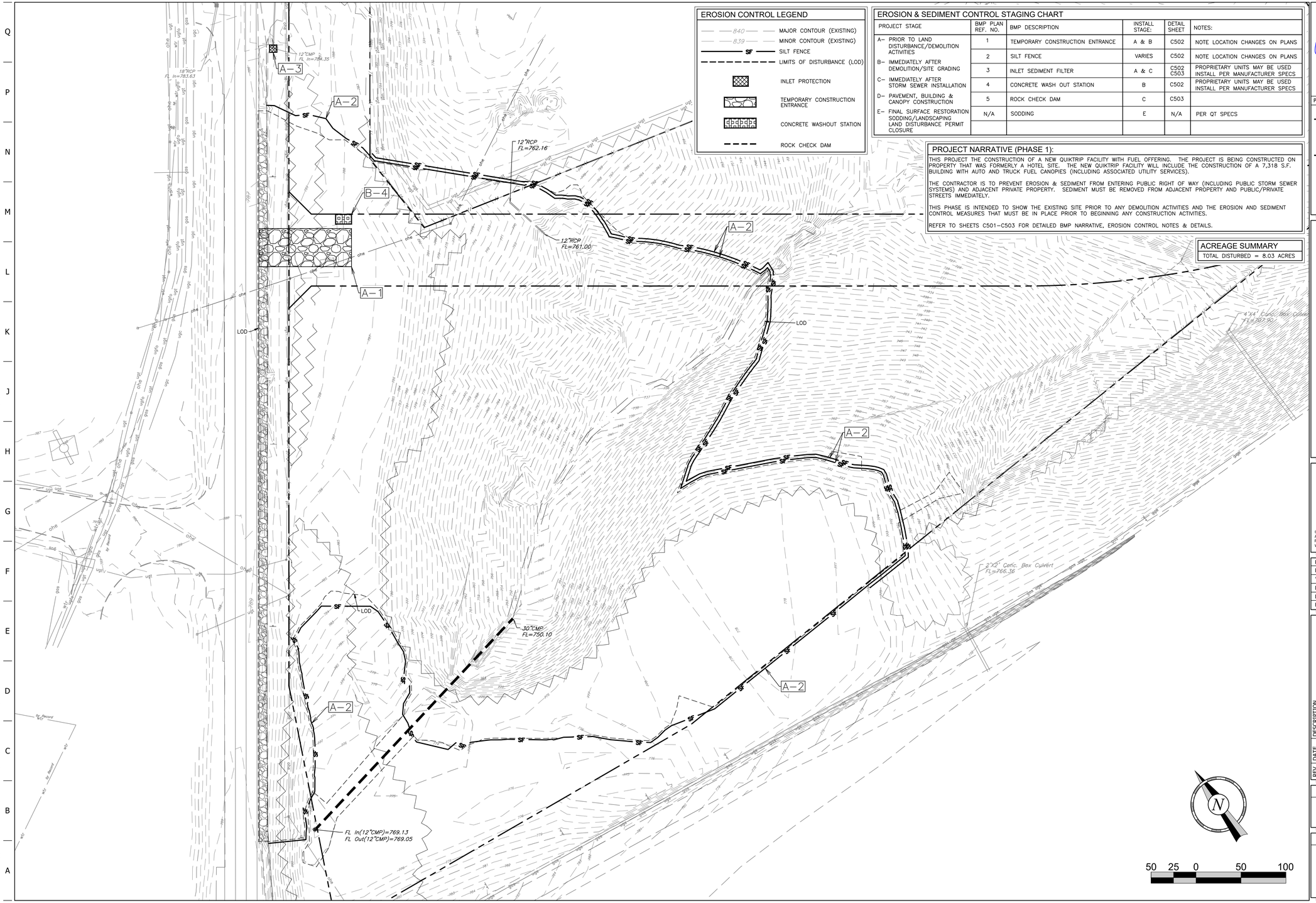
SHEET TITLE:
STORMWATER DETENTION PLAN

SHEET NUMBER:
C126

FILE LOCATION:\\desktop-hmc8gb\civil 3d projects\qt0681c boonville, mo\06-0681 Civil.dwg TAB NAME:Detention USER:Connor SAVED:9/7/2023 4:55 PM PLOTTED:9/7/2023 4:59 PM



EROSION CONTROL LEGEND

- 840 — MAJOR CONTOUR (EXISTING)
- 839 — MINOR CONTOUR (EXISTING)
- SF — SILT FENCE
- LIMITS OF DISTURBANCE (LOD)
- INLET PROTECTION
- TEMPORARY CONSTRUCTION ENTRANCE
- CONCRETE WASHOUT STATION
- ROCK CHECK DAM

EROSION & SEDIMENT CONTROL STAGING CHART

PROJECT STAGE	BMP PLAN REF. NO.	BMP DESCRIPTION	INSTALL STAGE:	DETAIL SHEET	NOTES:
A– PRIOR TO LAND DISTURBANCE/DEMOLITION ACTIVITIES	1	TEMPORARY CONSTRUCTION ENTRANCE	A & B	C502	NOTE LOCATION CHANGES ON PLANS
	2	SILT FENCE	VARIES	C502	NOTE LOCATION CHANGES ON PLANS
B– IMMEDIATELY AFTER DEMOLITION/SITE GRADING	3	INLET SEDIMENT FILTER	A & C	C502 C503	PROPRIETARY UNITS MAY BE USED INSTALL PER MANUFACTURER SPECS
C– IMMEDIATELY AFTER STORM SEWER INSTALLATION	4	CONCRETE WASH OUT STATION	B	C502	PROPRIETARY UNITS MAY BE USED INSTALL PER MANUFACTURER SPECS
D– PAVEMENT, BUILDING & CANOPY CONSTRUCTION	5	ROCK CHECK DAM	C	C503	
E– FINAL SURFACE RESTORATION SODDING/LANDSCAPING LAND DISTURBANCE PERMIT CLOSURE	N/A	SODDING	E	N/A	PER QT SPECS

PROJECT NARRATIVE (PHASE 1):

THIS PROJECT THE CONSTRUCTION OF A NEW QUIKTRIP FACILITY WITH FUEL OFFERING. THE PROJECT IS BEING CONSTRUCTED ON PROPERTY THAT WAS FORMERLY A HOTEL SITE. THE NEW QUIKTRIP FACILITY WILL INCLUDE THE CONSTRUCTION OF A 7,318 S.F. BUILDING WITH AUTO AND TRUCK FUEL CANOPIES (INCLUDING ASSOCIATED UTILITY SERVICES).

THE CONTRACTOR IS TO PREVENT EROSION & SEDIMENT FROM ENTERING PUBLIC RIGHT OF WAY (INCLUDING PUBLIC STORM SEWER SYSTEMS) AND ADJACENT PRIVATE PROPERTY. SEDIMENT MUST BE REMOVED FROM ADJACENT PROPERTY AND PUBLIC/PRIVATE STREETS IMMEDIATELY.

THIS PHASE IS INTENDED TO SHOW THE EXISTING SITE PRIOR TO ANY DEMOLITION ACTIVITIES AND THE EROSION AND SEDIMENT CONTROL MEASURES THAT MUST BE IN PLACE PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES.

REFER TO SHEETS C501–C503 FOR DETAILED BMP NARRATIVE, EROSION CONTROL NOTES & DETAILS.

ACREAGE SUMMARY

TOTAL DISTURBED = 8.03 ACRES

STATE OF MISSOURI
CONNOR HOLMAN
NUMBER PE-2021004771
PROFESSIONAL ENGINEER
9/7/23

PROJECT NO.:06-0681

MDG
Midwest Design Group
Kansas City

PO Box 860015
Shawnee, KS 66286-0015
P 913.248.9385

QuikTrip No. 0681

1802 WEST ASHLEY ROAD
BOONVILLE, COOPER COUNTY, MO 65223

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PROTOTYPE: P-112
DIVISION: 06
VERSION: 001
DESIGNED BY: CSH
DRAWN BY: CSH
REVIEWED BY: AMG

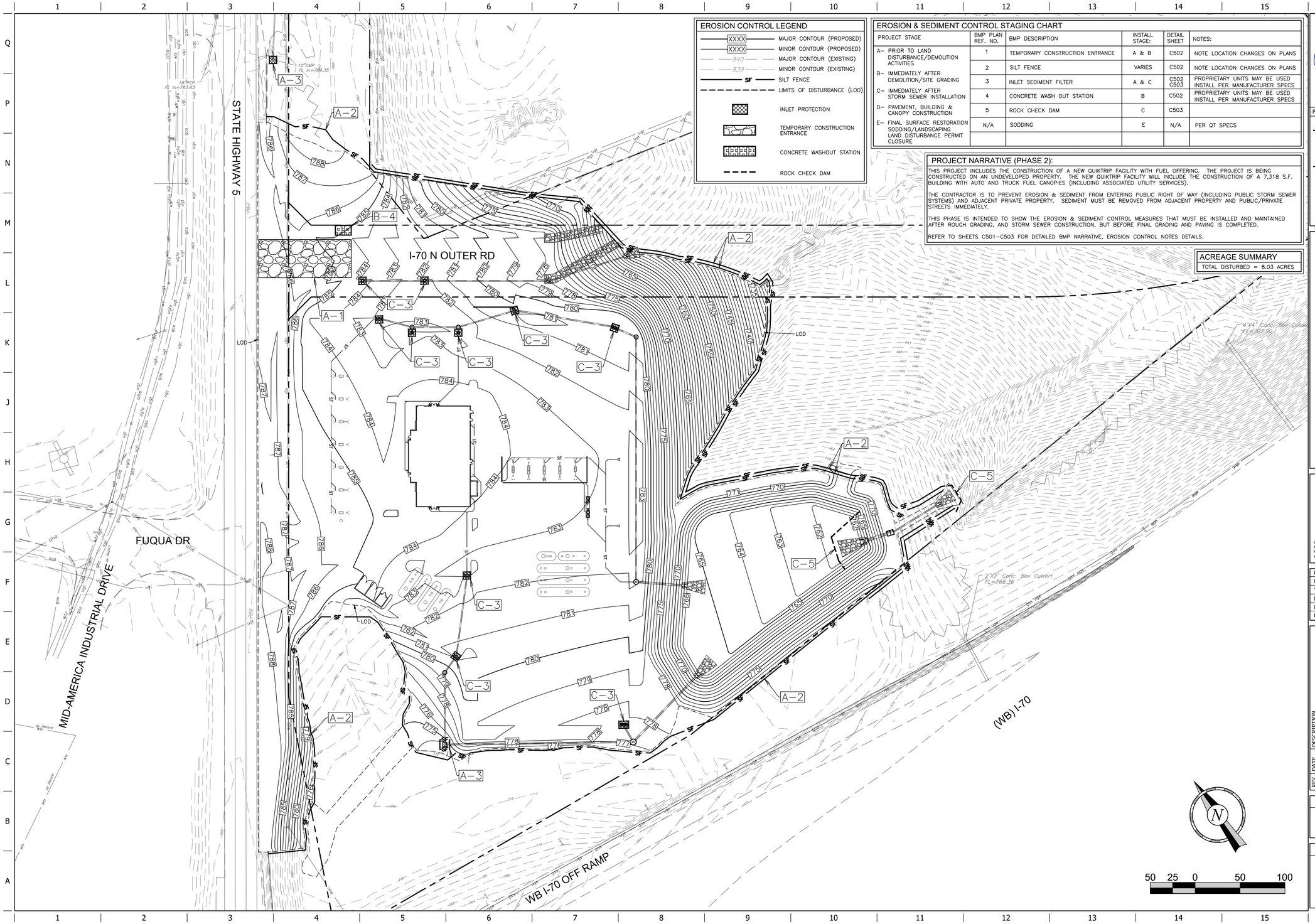
REV	DATE	DESCRIPTION

ORIGINAL ISSUE DATE: 09/07/2023

SHEET TITLE:
EROSION CONTROL PLAN - PHASE 1

SHEET NUMBER:
C140

FILE LOCATION:\\desktop-himc8gb\civil 3d projects\qt681tc boonville, mo\06-0681 Civil.dwg TAB NAME:Erosion PH 1 USER:Connor SAVED:9/7/2023 4:55 PM PLOTTED:9/7/2023 4:59 PM



EROSION CONTROL LEGEND

- MAJOR CONTOUR (PROPOSED)
- MINOR CONTOUR (PROPOSED)
- MAJOR CONTOUR (EXISTING)
- MINOR CONTOUR (EXISTING)
- SILT FENCE
- LIMITS OF DISTURBANCE (LOD)
- INLET PROTECTION
- TEMPORARY CONSTRUCTION ENTRANCE
- CONCRETE WASHOUT STATION
- ROCK CHECK DAM

EROSION & SEDIMENT CONTROL STAGING CHART

PROJECT STAGE	BMP PLAN REF. NO.	BMP DESCRIPTION	INSTALL STAGE:	DETAIL SHEET	NOTES:
A– PRIOR TO LAND DISTURBANCE/DEMOLITION ACTIVITIES	1	TEMPORARY CONSTRUCTION ENTRANCE	A & B	C502	NOTE LOCATION CHANGES ON PLANS
B– IMMEDIATELY AFTER DEMOLITION/SITE GRADING	2	SILT FENCE	VARIES	C502	NOTE LOCATION CHANGES ON PLANS
	3	INLET SEDIMENT FILTER	A & C	C502 C503	PROPRIETARY UNITS MAY BE USED INSTALL PER MANUFACTURER SPECS
C– IMMEDIATELY AFTER STORM SEWER INSTALLATION	4	CONCRETE WASH OUT STATION	B	C502	PROPRIETARY UNITS MAY BE USED INSTALL PER MANUFACTURER SPECS
D– PAVEMENT, BUILDING & CANOPY CONSTRUCTION	5	ROCK CHECK DAM	C	C503	
E– FINAL SURFACE RESTORATION SODDING/LANDSCAPING LAND DISTURBANCE PERMIT CLOSURE	N/A	SODDING	E	N/A	PER QT SPECS

PROJECT NARRATIVE (PHASE 2):

THIS PROJECT INCLUDES THE CONSTRUCTION OF A NEW QUIKTRIP FACILITY WITH FUEL OFFERING. THE PROJECT IS BEING CONSTRUCTED ON AN UNDEVELOPED PROPERTY. THE NEW QUIKTRIP FACILITY WILL INCLUDE THE CONSTRUCTION OF A 7,318 S.F. BUILDING WITH AUTO AND TRUCK FUEL CANOPIES (INCLUDING ASSOCIATED UTILITY SERVICES).

THE CONTRACTOR IS TO PREVENT EROSION & SEDIMENT FROM ENTERING PUBLIC RIGHT OF WAY (INCLUDING PUBLIC STORM SEWER SYSTEMS) AND ADJACENT PRIVATE PROPERTY. SEDIMENT MUST BE REMOVED FROM ADJACENT PROPERTY AND PUBLIC/PRIVATE STREETS IMMEDIATELY.

THIS PHASE IS INTENDED TO SHOW THE EROSION & SEDIMENT CONTROL MEASURES THAT MUST BE INSTALLED AND MAINTAINED AFTER ROUGH GRADING, AND STORM SEWER CONSTRUCTION, BUT BEFORE FINAL GRADING AND PAVING IS COMPLETED.

REFER TO SHEETS C501–C503 FOR DETAILED BMP NARRATIVE, EROSION CONTROL NOTES DETAILS.

ACREAGE SUMMARY

TOTAL DISTURBED = 8.03 ACRES

STATE OF MISSOURI
CONNOR J. HOLMAN
NUMBER PE-2021004771
PROFESSIONAL ENGINEER

9/7/23

PROJECT NO.:06-0681

MDG
Midwest Design Group
Kansas City

PO Box 860015
Shawnee, KS 66286-0015
P 913.248.9385

QuikTrip No. 0681

1802 WEST ASHLEY ROAD
BOONVILLE, COOPER COUNTY, MO 65223

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VERSION: 001
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REVIEWED BY: AMG

REV	DATE	DESCRIPTION

ORIGINAL ISSUE DATE: 09/07/2023

SHEET TITLE:
EROSION CONTROL PLAN - PHASE 2

SHEET NUMBER:
C141

FILE LOCATION:\\desktop-hirnc8gb\civil 3d projects\qt6811c boonville, mo\06-0681 Civil.dwg TAB NAME:Erosion PH 2 USER:Connor SAVED:9/7/2023 4:55 PM PLOTTED:9/7/2023 4:59 PM

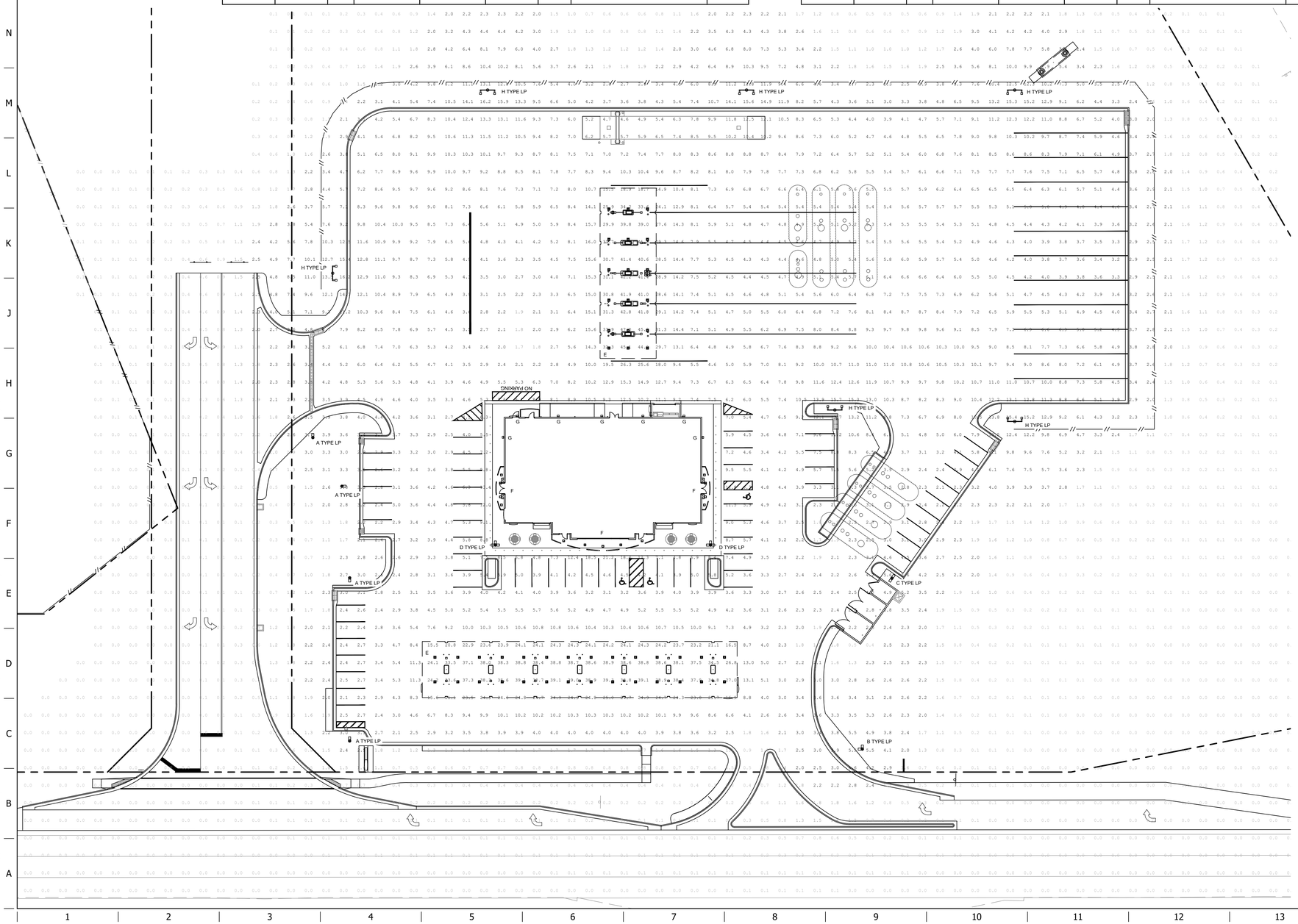
LUMINAIRE SCHEDULE

SYMBOL	LABEL	QTY	ARRANGEMENT	MOUNTING HEIGHT	LUMENS PER LAMP	LLF	DESCRIPTION	TOTAL WATTS
	A	04	SINGLE	22'	12,591	0.90	SLM-LED-12L-SIL-FT-40-70-CRI	93.1
	B	01	2 @ 90°	22'	12,591	0.90	SLM-LED-12L-SIL-FT-40-70-CRI	93.1
	C	01	2 @ 180°	22'	12,591	0.90	SLM-LED-12L-SIL-FT-40-70-CRI	93.1
	D	02	3 @ 90°	22'	12,591	0.90	SLM-LED-12L-SIL-FT-40-70-CRI	93.1

LUMINAIRE SCHEDULE

SYMBOL	LABEL	QTY	ARRANGEMENT	MOUNTING HEIGHT	LUMENS PER LAMP	LLF	DESCRIPTION	TOTAL WATTS
	E	46	SINGLE	15' TO 19'	12,793	0.90	SCV-LED-13L-SC-40	83.6
	F	13	SINGLE	10' TO 12'	6,041	0.90	XSPS-S-LED-VHO-NW-DFL	48.7
	G	07	SINGLE	12'	6,275	0.90	XWM-3-LED-06-40	54.0
	H	06	DOUBLE	35'	67,023	0.90	MRL-LED-65L-SIL-FT-40-70CRI	592

LOW VOLTAGE POLES - 0



QUIKTRIP SPECIFIED DRAWING

PROJECT NO.:06-0681

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P 913.248.9385

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VERSION: 001
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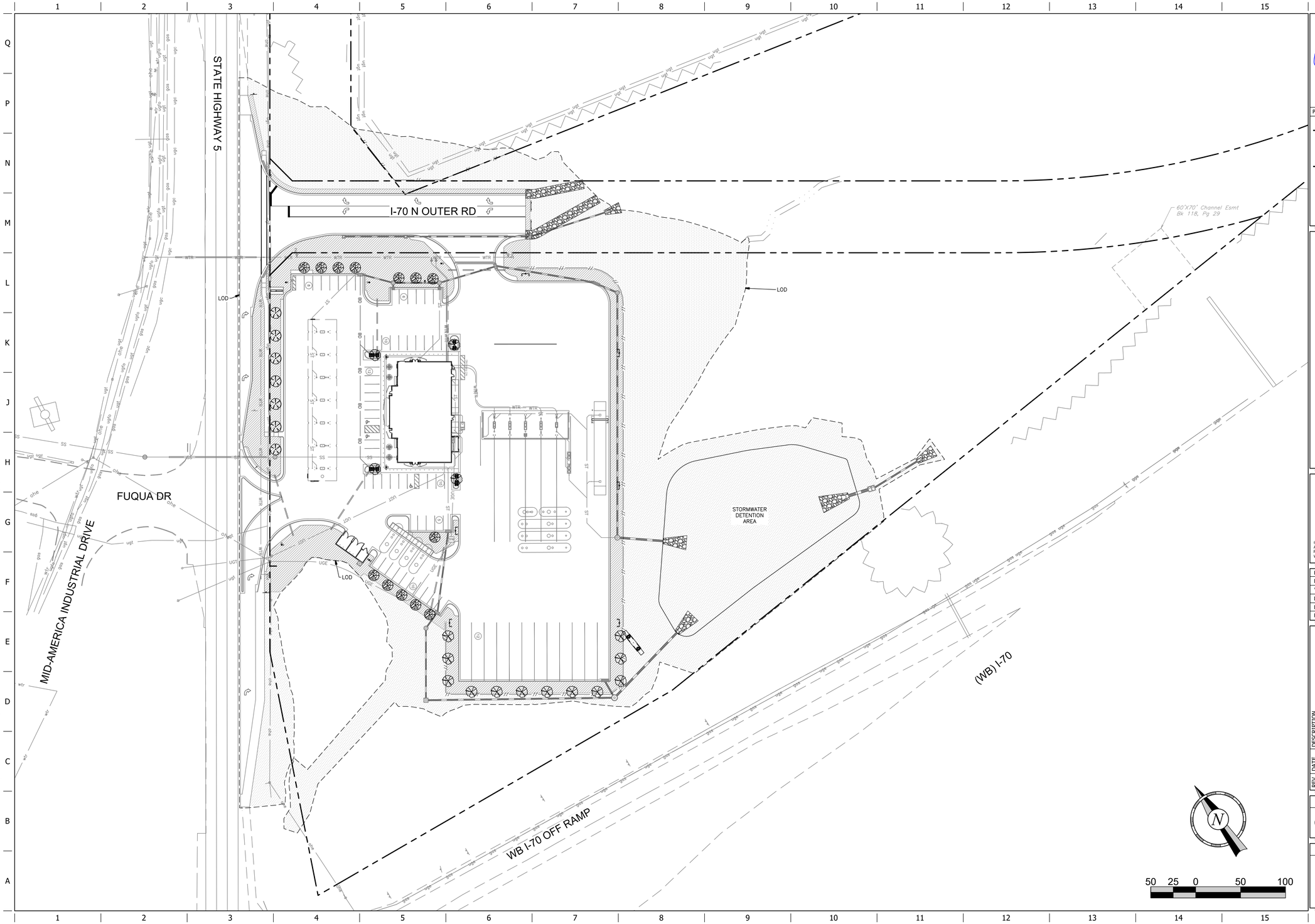
REV	DATE	DESCRIPTION

ORIGINAL ISSUE DATE: 09/07/2023

SHEET TITLE:
PHOTOMETRIC PLAN

SHEET NUMBER:
C160

FILE LOCATION:\\desktop-hrmc8gb\civil 3d projects\qt681tc boonville, mo\06-0681 Photometric.dwg TAB NAME:Photometric USER:Connor SAVED:8/4/2023 2:33 PM PLOTTED:9/7/2023 5:00 PM



FILE LOCATION:\\desktop-himc8gb\civil 3d projects\qt681tc boonville, mo\06-0681 Civil.dwg TAB NAME:Overall Landscape USER:Connor SAVED:9/7/2023 4:55 PM PLOTTED:9/7/2023 5:03 PM

STATE OF MISSOURI
CONNOR HOLMAN
NUMBER PE-2021004771
PROFESSIONAL ENGINEER

9/7/23

PROJECT NO.:06-0681

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Shawnee, KS 66286-0015
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DIVISION: 06
VERSION: 001
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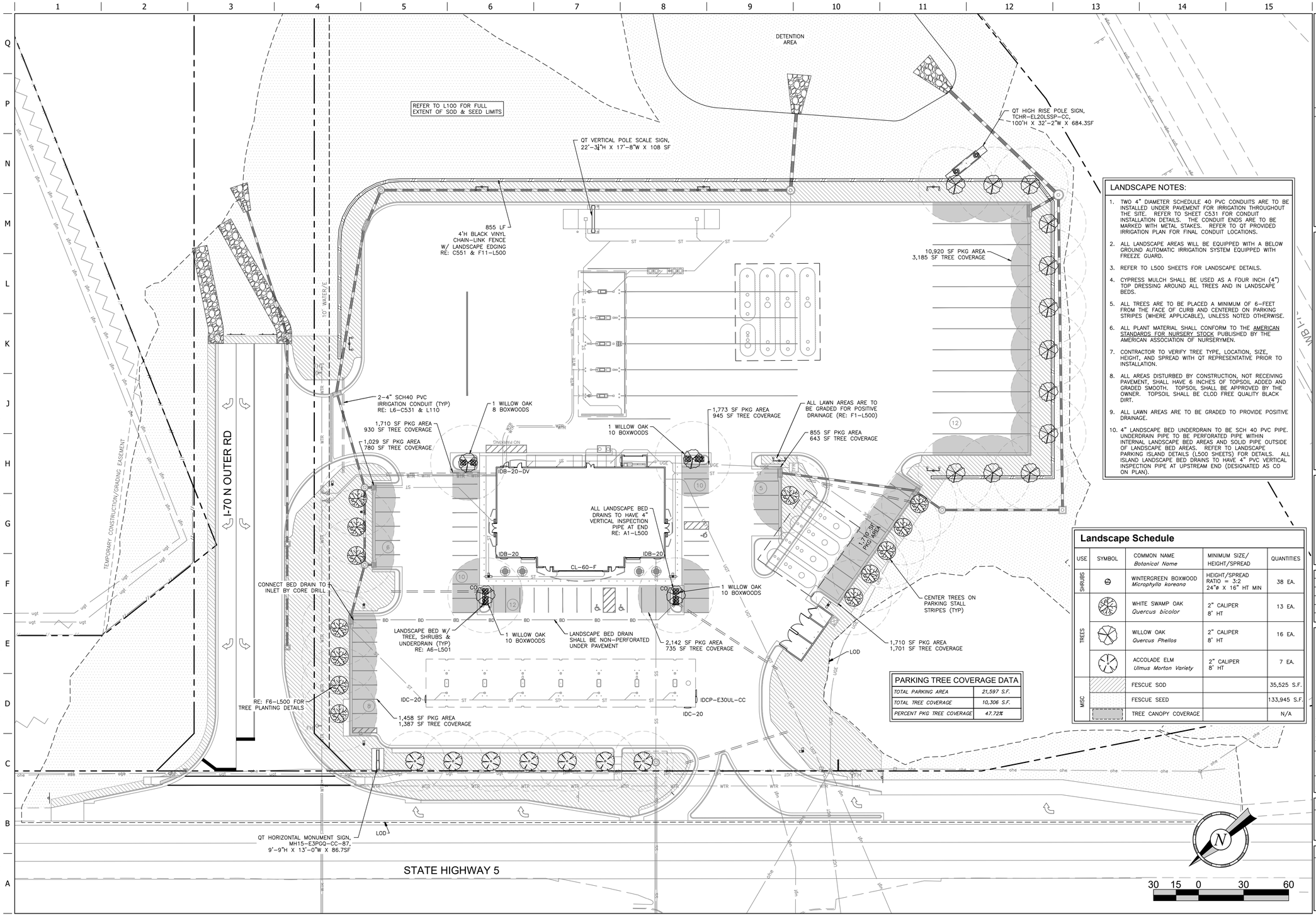
REVIEWED BY: AMG

REV	DATE	DESCRIPTION

ORIGINAL ISSUE DATE: 09/07/2023

SHEET TITLE:
OVERALL LANDSCAPE PLAN

SHEET NUMBER:
L100



PARKING TREE COVERAGE DATA	
TOTAL PARKING AREA	21,597 S.F.
TOTAL TREE COVERAGE	10,306 S.F.
PERCENT PKG TREE COVERAGE	47.72%

Landscape Schedule

USE	SYMBOL	COMMON NAME *Botanical Name*	MINIMUM SIZE/ HEIGHT/SPREAD	QUANTITIES
SHRUBS		WINTERGREEN BOXWOOD *Microphylla koreana*	HEIGHT/SPREAD RATIO = 3:2 24"ø X 16" HT MIN	38 EA.
TREES		WHITE SWAMP OAK *Quercus bicolor*	2" CALIPER 8' HT	13 EA.
		WILLOW OAK *Quercus Phellos*	2" CALIPER 8' HT	16 EA.
		ACCOLADE ELM *Ulmus Morton Variety*	2" CALIPER 8' HT	7 EA.
MISC		FESCUE SOD		35,525 S.F.
		FESCUE SEED		133,945 S.F.
		TREE CANOPY COVERAGE		N/A

LANDSCAPE NOTES:

1. TWO 4" DIAMETER SCHEDULE 40 PVC CONDUITS ARE TO BE INSTALLED UNDER PAVEMENT FOR IRRIGATION THROUGHOUT THE SITE. REFER TO SHEET C531 FOR CONDUIT INSTALLATION DETAILS. THE CONDUIT ENDS ARE TO BE MARKED WITH METAL STAKES. REFER TO QT PROVIDED IRRIGATION PLAN FOR FINAL CONDUIT LOCATIONS.
2. ALL LANDSCAPE AREAS WILL BE EQUIPPED WITH A BELOW GROUND AUTOMATIC IRRIGATION SYSTEM EQUIPPED WITH FREEZE GUARD.
3. REFER TO L500 SHEETS FOR LANDSCAPE DETAILS.
4. CYPRESS MULCH SHALL BE USED AS A FOUR INCH (4") TOP DRESSING AROUND ALL TREES AND IN LANDSCAPE BEDS.
5. ALL TREES ARE TO BE PLACED A MINIMUM OF 6-FEET FROM THE FACE OF CURB AND CENTERED ON PARKING STRIPES (WHERE APPLICABLE), UNLESS NOTED OTHERWISE.
6. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
7. CONTRACTOR TO VERIFY TREE TYPE, LOCATION, SIZE, HEIGHT, AND SPREAD WITH QT REPRESENTATIVE PRIOR TO INSTALLATION.
8. ALL AREAS DISTURBED BY CONSTRUCTION, NOT RECEIVING PAVEMENT, SHALL HAVE 6 INCHES OF TOPSOIL ADDED AND GRADED SMOOTH. TOPSOIL SHALL BE APPROVED BY THE OWNER. TOPSOIL SHALL BE CLOD FREE QUALITY BLACK DIRT.
9. ALL LAWN AREAS ARE TO BE GRADED TO PROVIDE POSITIVE DRAINAGE.
10. 4" LANDSCAPE BED UNDERDRAIN TO BE SCH 40 PVC PIPE. UNDERDRAIN PIPE TO BE PERFORATED PIPE WITHIN INTERNAL LANDSCAPE BED AREAS AND SOLID PIPE OUTSIDE OF LANDSCAPE BED AREAS. REFER TO LANDSCAPE PARKING ISLAND DETAILS (L500 SHEETS) FOR DETAILS. ALL ISLAND LANDSCAPE BED DRAINS TO HAVE 4" PVC VERTICAL INSPECTION PIPE AT UPSTREAM END (DESIGNATED AS CO ON PLAN).

STATE OF MISSOURI CONNOR HOLMAN NUMBER PE-2021004777 PROFESSIONAL ENGINEER

9/7/23

PROJECT NO.:06-0681

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Kansas City
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Shawnee, KS 66286-0015
P 913.248.9385

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VERSION: 001
DESIGNED BY: CSH
DRAWN BY: CSH
REVIEWED BY: AMG

REV	DATE	DESCRIPTION

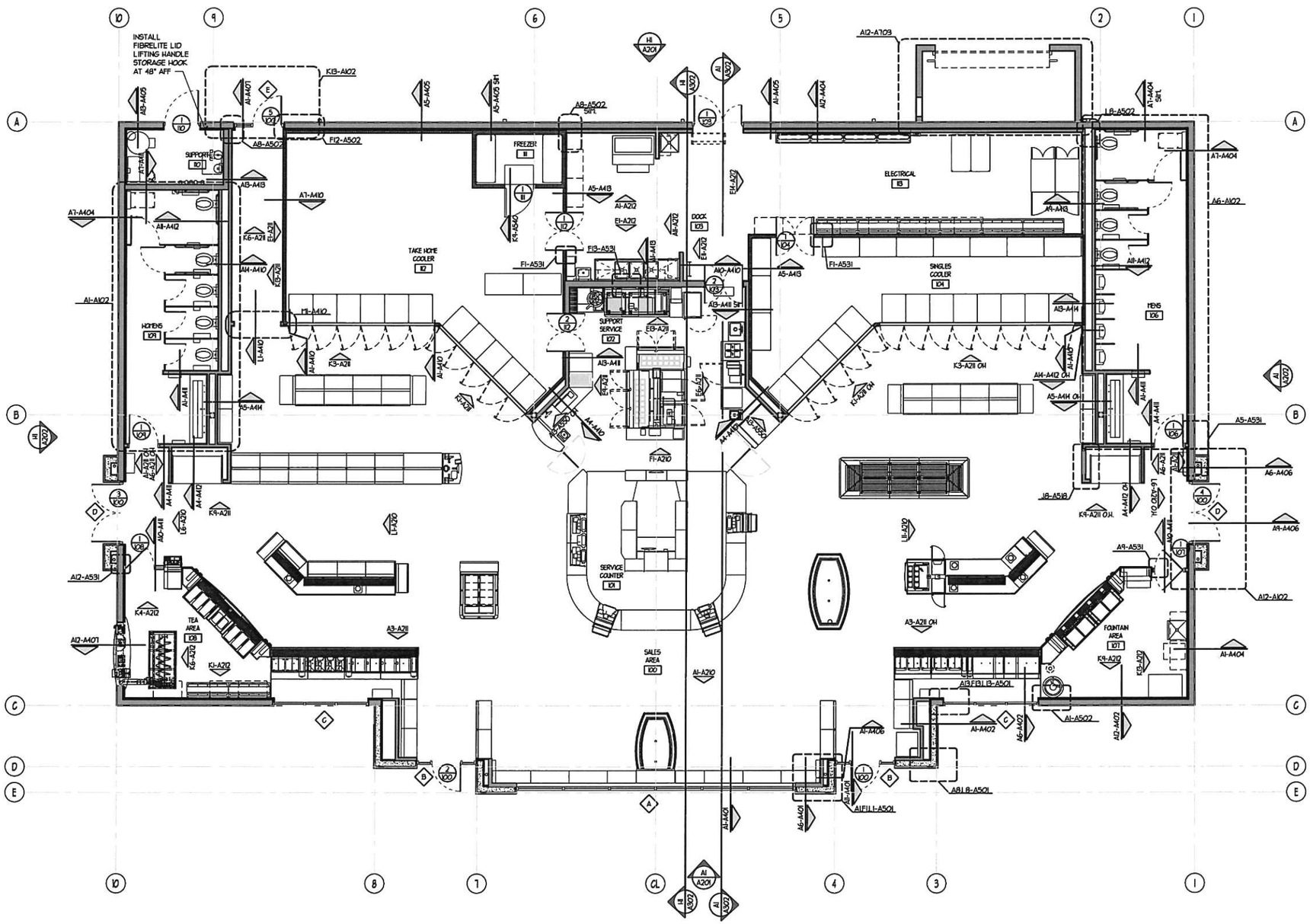
ORIGINAL ISSUE DATE: 09/07/2023

SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L101

FILE LOCATION:\\desktop-himc8gp\civil 3d projects\qt0681tc boonville, mo\06-0681 Civil.dwg TAB NAME:Landscape USER:Connor SAVED:9/7/2023 4:55 PM PLOTTED:9/7/2023 5:03 PM

REFER TO SHEETS: A101/A102 FOR TRASH ENCLOSURE INFORMATION



A1 REFERENCE FLOOR PLAN

1/8" = 1'-0"

NORTH

STATE OF MISSOURI DANIEL J. LICKEL NUMBER A-2002035511 REGISTERED ARCHITECT

SIGNATURE DATE: 08/02/2023

LICKEL ARCHITECTURE

10200 Midland Drive
Shawnee, KS 66217
(P) 913.397.7888
(F) 913.397.7948

QuikTrip No. 0681

I-70 & HIGHWAY 5
BOONVILLE, MISSOURI

PROTOTYPE	P-314.00
DIVISION	ST. LOUIS
VERSION	TCHK
DATE	6.30.2023

REV	DATE	DESCRIPTION

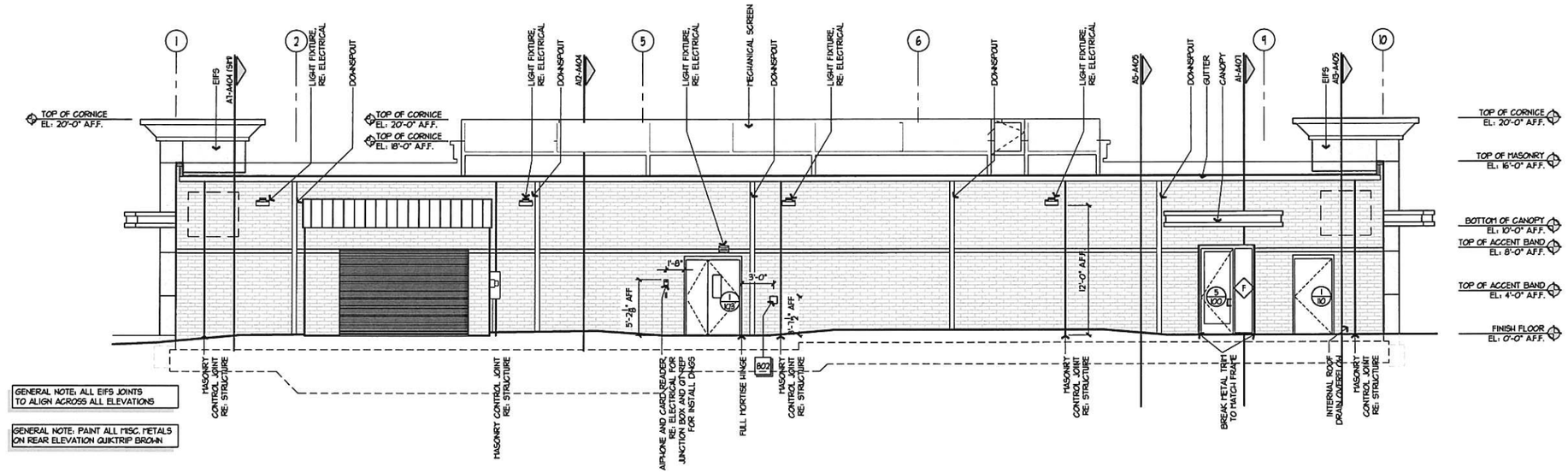
ORIGINAL ISSUE DATE: 08/02/2023

SHEET TITLE:

REFERENCE FLOOR PLAN

SHEET NUMBER:

A101

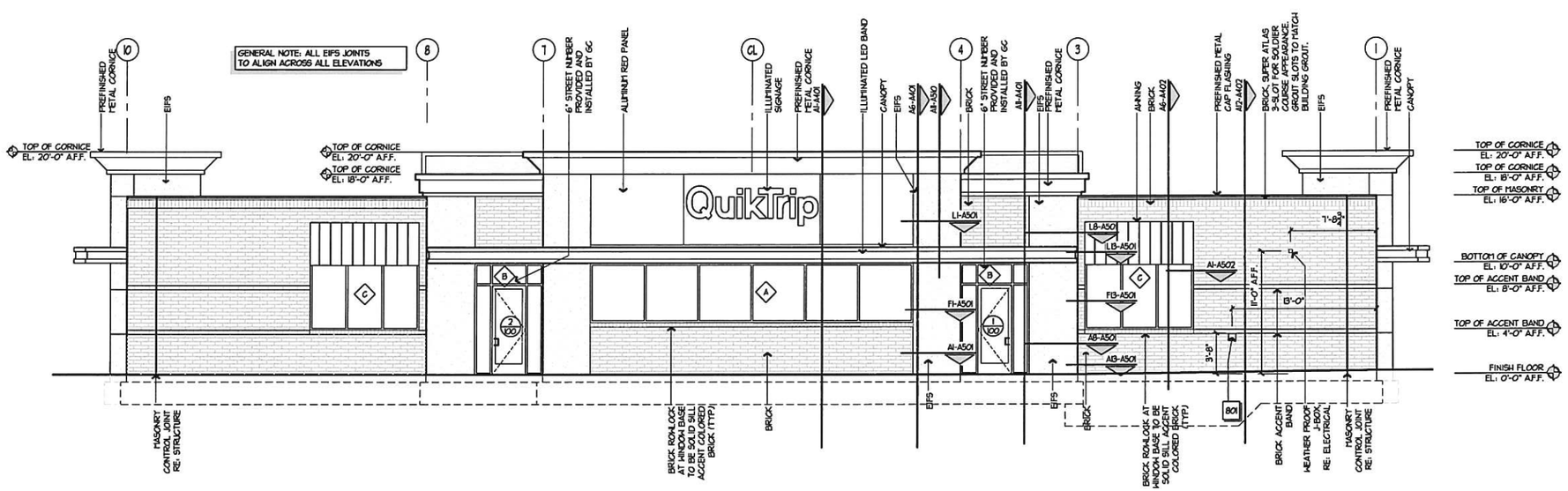


GENERAL NOTE: ALL EIFS JOINTS TO ALIGN ACROSS ALL ELEVATIONS

GENERAL NOTE: PAINT ALL MISC. METALS ON REAR ELEVATION QUIKTRIP BROWN

H1 REAR ELEVATION

1/8" = 1'-0" | A1-A101



GENERAL NOTE: ALL EIFS JOINTS TO ALIGN ACROSS ALL ELEVATIONS

A1 FRONT ELEVATION

1/8" = 1'-0" | A1-A101

STATE OF MISSOURI DANIEL J. LICKEL NUMBER A-2001038511 REGISTERED ARCHITECT

SIGNATURE DATE: 08/02/2023

LICKEL ARCHITECTURE

16200 Midland Drive
Shawnee, KS 66217
(P) 913.399.7998
(F) 913.399.7948

QuikTrip No. 0681

I-70 & HIGHWAY 5
BOONVILLE, MISSOURI

PROTOTYPE	P-114.00
DIVISION	ST. LOUIS
VERSION	TCHK
DATE	6.30.2023

REV	DATE	DESCRIPTION

ORIGINAL ISSUE DATE: 08/02/2023

SHEET TITLE:

EXTERIOR ELEVATIONS

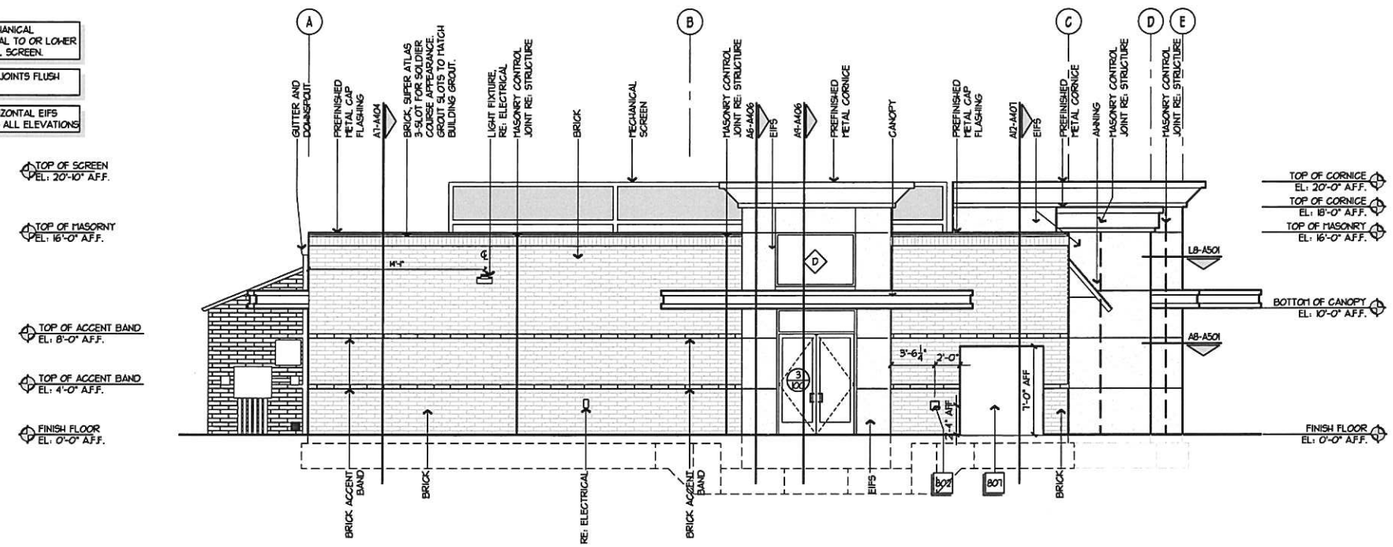
SHEET NUMBER:

A201

GENERAL NOTE: ALL MECHANICAL EQUIPMENT SHALL BE EQUAL TO OR LOWER THAN TOP OF MECHANICAL SCREEN.

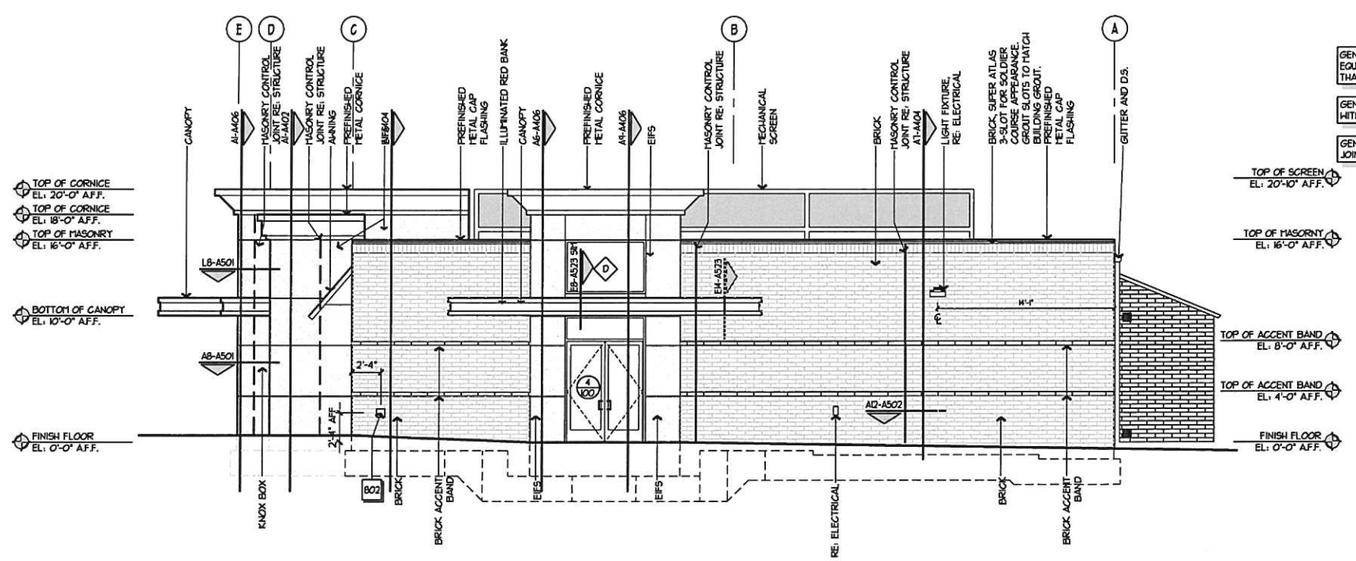
GENERAL NOTE: ALL CMU JOINTS FLUSH WITH SMOOTH FINISH

GENERAL NOTE: ALL HORIZONTAL EIFS JOINTS TO ALIGN ACROSS ALL ELEVATIONS



H1 SIDE ELEVATION

¼" = 1'-0" A1-A101



GENERAL NOTE: ALL MECHANICAL EQUIPMENT SHALL BE EQUAL TO OR LOWER THAN TOP OF MECHANICAL SCREEN.

GENERAL NOTE: ALL CMU JOINTS FLUSH WITH SMOOTH FINISH

GENERAL NOTE: ALL HORIZONTAL EIFS JOINTS TO ALIGN ACROSS ALL ELEVATIONS

A1 SIDE ELEVATION

¼" = 1'-0" A1-A101

STATE OF MISSOURI
DANIEL J. LICKEL
NUMBER A-0011531
REGISTERED ARCHITECT

SIGNATURE DATE: 08/02/2023

LICKEL ARCHITECTURE

15200 Midland Drive
Shawnee, KS 66217
(P) 913.399.7998
(F) 913.399.7949

QuikTrip No. 0681

I-70 & HIGHWAY 5
BOONVILLE, MISSOURI

PROTOTYPE	P-114.00
DIVISION	ST. LOUIS
VERSION	TCHK
DATE	6.30.2023

REV	DATE	DESCRIPTION

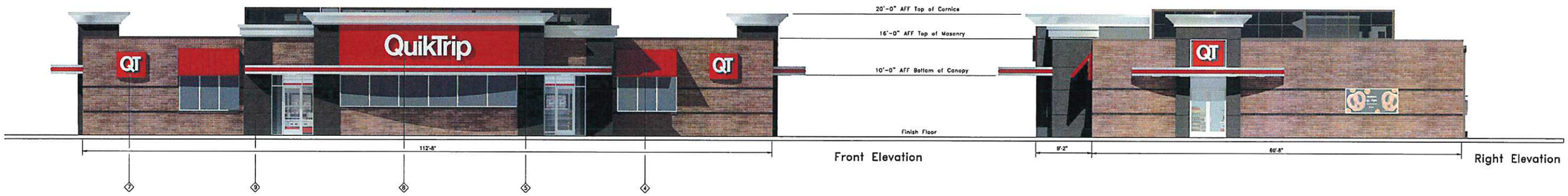
ORIGINAL ISSUE DATE: 08/02/2023

SHEET TITLE:

EXTERIOR ELEVATIONS

SHEET NUMBER:

A202



Front Elevation

Right Elevation

Rear Elevation

Left Elevation

QuikTrip

4705 South 129th East Ave.
Tulsa, OK 74134-7008
P.O. Box 3475
Tulsa, OK 74101-3475
(918) 615-7700

Store #		Address:	City, State:
0681	TCNK-L Building Elevations	I-70 & MO Hwy 5	Boonville, MO

Serial #	Scale:	Issue Date:	Drawn By:	Rev/Notes:
06-0681-TCNK	1/8"=1'-0"	04.14.23	JK	

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#	FINISH	MANUFACTURER	SPECIFICATION
1	BRONZESTONE	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK
2	MIDNIGHT	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK
3	BRUSHED ALUMINUM	REYNOBOND	FASCIA
4	QT RED	SHERWIN - WILLIAMS	STANDING SEAM AWNING
5	RED POLYCARBONATE	ALLEN INDUSTRIES	ILLUMINATED BAND
6	QT BROWN	SHERWIN - WILLIAMS	METAL/PAINT
7	IDB-20	ALLEN INDUSTRIES	ILLUMINATED SIGNAGE
8	CL-60R	ALLEN INDUSTRIES	SIGNAGE
9	GRANITE	STO	A1000 EIFS
10	BLACK	ALL COURT FABRICS	POLYPRO 95 MESH
11	IDB-DV	ALLEN INDUSTRIES	ILLUMINATED SIGNAGE

CITY OF BOONVILLE
PLANNING AND ZONING COMMISSION MEETING
MINUTES OF SEPTEMBER 12, 2023

VOTING MEMBERS PRESENT
1) Matt Billings
2) Steve Hage, Building Inspector
3) Ned Beach
4) Heather Overstreet
5) Drew Davis
6) Clark Greis
7) Josh Snoddy

VOTING MEMBERS ABSENT: None

STAFF/PRESENTERS/GUESTS
1) Jeff Ditto
2) Caitlynn Helsper

NOTICES AND EXHIBITS: Posted and available on September 7, 2023, at 3:21p.m. at City Hall.

1. CALL TO ORDER: Mr. Billings called the meeting to order at 6:00 p.m. Roll call was taken with seven (7) of seven (7) members present constituting a quorum.

2. MINUTES: The Minutes stand as presented

3. HEARING OF PUBLIC COMMENTS: None

4. OLD BUSINESS:
   None

5. NEW BUSINESS:
   a. QuikTrip Final Site Plan- 1802 W Ashley Road
      i. A representative with QuikTrip presented the final site plan for the new QuikTrip. She stated they are closing on the property on Friday September 16th, 2023 and will then finish all necessary paperwork with MODOT. She stated construction is estimated to start in November 2023 but that tree clearing could occur before that. With no further discussion, Steve Hage motioned to approve the site plan as presented and Ned Beach seconded the motion. Roll Call was taken, and the vote was unanimous.

b. Roadway Easement along Tisdale discussion

   i. Amber Weber and Cody Martin bought 30 acres of the northwest corner of the Oswald property. They sold 3 acres of that on the north end of that, and the owners are requesting an Easement to access that piece of property off from Tisdale via a current gravel drive. It will remain perpetually a gravel drive until such a time Amber Weber & Cody Martin subdivide another lot off their property. At that point, that will trigger them to do a permanent road. We want to ensure that we protect that right away in itself, just in case that piece of property ever developed into subdivision. Everything is well described and written out in the easement documents put together by Phillip Wooldridge. With no further discussion, Steve Hage motioned to approve the site plan as presented and Clark Gries seconded the motion. Roll Call was taken, and the vote was unanimous.

6. MISCELLANEOUS: Mr. Gries put forth a concern regarding the traffic issues out near the Boonville High School. A discussion on options and steps needed to move forward to address this issue was held and it was determined that the issue would continue to be investigated by all parties.

7. ADJOURN: A motion was made to adjourn the meeting by Steve Hage and seconded by Ned Beach at 6:30pm.

Respectfully submitted,

_____

Kate Fjell, City Administrator

Approved by:

_____

Matt Billings, Chairman

Date: September 18, 2023
To: Mayor and Council
From: Jeff Ditto, Director
Re: Street, Alley, and Sanitation Board (Susan Meadows)

STREET, ALLEY, and SANITATION BOARD
City of Boonville
Street, Alley, and Sanitation Meeting Minutes
August 16, 2023

The Street, Alley and Sanitation Board met at the City Services Building, 1200 Locust Street. at 5:00pm on August 16, 2023. The following voting members were present: Lewis Miller, Rex Myers, Wayne Jones, and David Smith. Jeff Ditto, Director of Public Works was also present.

ABSENT OR EXCUSED: Susan Meadows/Council Representative

MINUTES: David Smith moved that the minutes of the July 19, 2023, meeting be approved as presented. That motion was seconded by Wayne Jones and the vote was unanimous.

PUBLIC COMMENTS: None

OLD BUSINESS:
1. Discuss parking on Wingate Drive.

- A motion was made by Rex Myers and seconded by David Smith that the parking is fine on Wingate Drive and the vote was unanimous.

2. Request for a one-way on dead end alley at the end of Shamrock Avenue.

- After much discussion of pros and cons, Lewis Miller moved that the city should not make the alley a one-way street. The motion was seconded by David Smith and the vote was unanimous.

3.Parking at Village Garden

- Lewis Miller moved to table the discussion one more month regarding parking at Village Garden. The motion was seconded by David Smith and the vote was unanimous.

NEW BUSINESS: None

MISCELLANEOUS: None

ADJOURN: With no further business, Rex Myers moved the meeting to be adjourned at 5:55p.m., seconded by Wayne Jones. The vote was unanimous.

Respectfully Submitted,

_____

Jeff Ditto, Director of Public Works

Date: September 18, 2023
To: Mayor and Council
From:
Re: City Administrator

September 18, 2023

VACANT COMMITTEE POSITIONS
& COMMITTEE APPOINTMENTS

Architectural Review Committee – 5 seats
Vacant – 1
Needs Renewed if they Choose – 0
Heather Overstreet

Board of Adjustments – 5 Seats
Vacant – 0
Needs Renewed if they Choose – 0

Board of Public Works – 4 Seats
Vacant – 0

BOCA Board of Appeals—7 Seats – TOTAL NEEDED 7
Vacant – 1
Needs Renewed if they Choose – 6

Boonville Housing Authority Board – 6 Seats –
Vacant – 0
Needs Renewed if they Choose – 1
Marilyn Adkins

Fire Board – 5 Seats
Vacant – 0
Needs Renewed if they Choose – 1
Chris Howard

Historic Preservation Commission – 7 Seats – TOTAL NEEDED 4
Vacant –1
Needs Renewed if they Choose – 3

Industrial Development Authority – 8 Seats
Vacant – 0
Needs Renewed if they Choose – 0

Local Agency Funding – 5 Seats
Vacant – 0

Parks and Recreation Board – 5 Seats – TOTAL NEEDED 2
Vacant – 2
Needs Renewed if they Choose – 0

°

Planning and Zoning Commission – 5 Seats
Vacant – 0
Needs Renewed if they Choose – 0

Police Board – 5 Seats
Vacant – 0
Needs Renewed if the Choose – 0

Street, Alley, and Sanitation Board – 5 Seats – TOTAL NEEDED 1
Vacant – 0
Needs Renewed if the Choose – 1

Tourism Committee – 5 Seats – TOTAL NEEDED 3
Vacant – 0
Needs Renewed if the Choose – 3

Transportation Development District Committee – 5 Seats – TOTAL NEEDED 1
Vacant – 0
Needs Renewed if they Choose – 0

°

Date: September 18, 2023
To: Mayor and Council
From:
Re: City Clerk

Public Works Monthly Report
August 2023

WWTP:
Total flow processed – 25,290,000 gallons
Average daily flow – 816,000 gallons
Sludge disposed – 102.58

WTP:
Gallons pumped from river – 35,096,000 gallons
Gallons pumped to customer – 34,038,000 gallons
Remarks:

Water Distribution / Sewer Collection:
Installed 6 new water services at Fox Hollow
Repaired water main break on Ashley Road in front of Dollar General
Installed 107 new meters

Street Department:
Assisted in repairs of water main break on Ashley Road in front of Dollar General
Repair Street Cuts
Test Sewer Lines at Golf Course
Yard Waste Pickup
Clean streets with street sweeper

Central Garage:
Vehicles serviced and inspected – 8
Vehicle and equipment repairs – 14

Weather:
Average Temperature –80°
High Temperature – 101° August 26th , 2023
Low Temperature –62° August 17, 19 &31st, 2023
Total Rain –6.33”
Maximum Rain –2.62” August 14th, 2023

REPORT OF OPERATIONS

Boonville, Missouri

Water Treatment Plant

August 2023

Submitted by Alliance Water Resources, Inc.

September 18, 2023

City Council Meeting

OUR MISSION

We partner with communities to deliver the finest water and wastewater services available at a competitive price. We are committed to keeping water safe and clean while serving people and taking care of communities with improved technical operations, careful management and financial oversight, and ensured regulatory compliance.

Alliance Water Resources, Inc.

206 S. Keene St.
Columbia, MO
65201

(573)874-8080

OPERATIONS REPORT – Boonville

August 2023

Administrative

- Russell Gerling participated in Alliance Water Resources Budget Training in Chesterfield, Mo.
- Russell Gerling participated in Kofax Workflow Training in Columbia, Mo.
- Russell Gerling participated in a 2-day Managers Meeting in Columbia Mo.

Repair and Chemical Expense Report August 2023

Description	Budgeted	Actual Spent	Remaining
Repair Expense	$38,800.00	$20,276.75	$18,523.25
Chemical Espense	$293,550.00	$190,176.31	$103,373.69

Treatment, Operations, and Maintenance

- Normal operations, filter maintenance, and UV System calibration checks were performed this month.
- The staff removed the flash mixer from the Secondary Flash Basin in the Basin Building and transported it to Alliance Pump and Mechanical for evaluation.
- The staff disassembled, cleaned, and reassembled the flow restrictor on the UVT analyzer. It was clogged with debris, not allowing water to flow to the UVT analyzer.
- Utility Services Group was here to repair the tank leak at the top of the Water Treatment Plant Water Tower.
- The staff replaced a blown UV Lamp in UV Reactor #2 with a spare lamp.
- The staff replaced the air solenoids on Filter-to-Waste Valve #1 and #3.
- Alliance Pump and Mechanical finished installing the High Service Pump #1Motor in the High Service Building. They then discovered a bad time delay relay in the pump panel. A new relay has been ordered.
- WK Ford replaced the blower motor in the 2019 Ford Explorer.
- Shane Newland Repair was here to rebuild Chlorine Feeder #1 and #3, Chlorine Tank Regulators, check the chlorine leak sensors, vacuum alarm switches were adjusted and tested, and chlorine feed lines, pressure relief lines, and power cords were secured to the floor.
- Alliance Pump and Mechanical repaired the flash mixer on the Pre-Sed Primary Clarifier Flash Basin. The staff installed it.

OPERATIONS REPORT – Boonville

Project Updates

Alliance Pump and Mechanical delivered the spare river pump, shafts, bushings, and related equipment to the River Pump House.

Safety

- The staff conducted its Monthly Safety meeting.
- The staff conducted its monthly check of chlorine leak detector sensors.
- The staff conducted its weekly inspection of emergency eyewash stations and emergency showers.
- The staff conducted its monthly crane inspection in the Chlorine Storage Room.
- The staff checked the emergency lights in the Water Treatment Plant, Basin Building, Main St Booster Pump Station, and River Pump House.

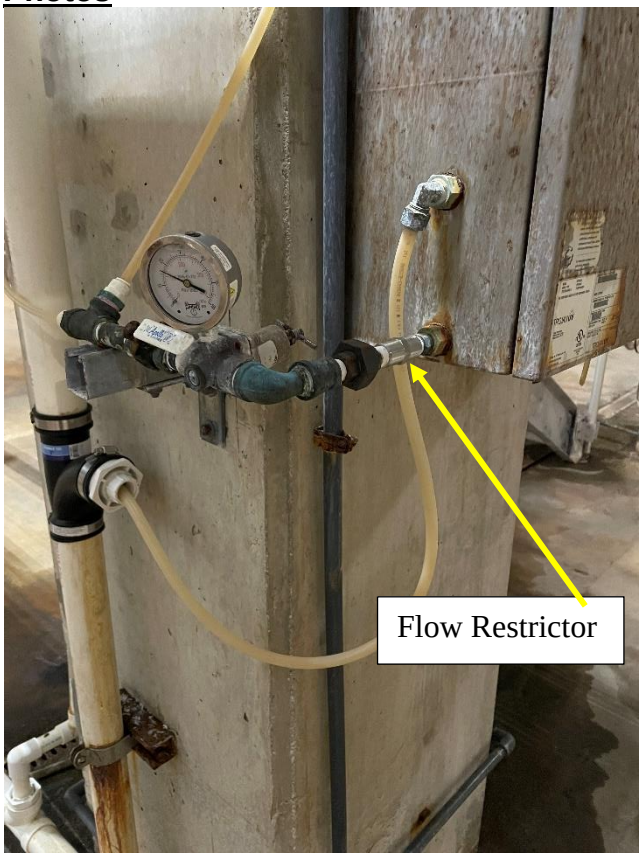
Regulatory

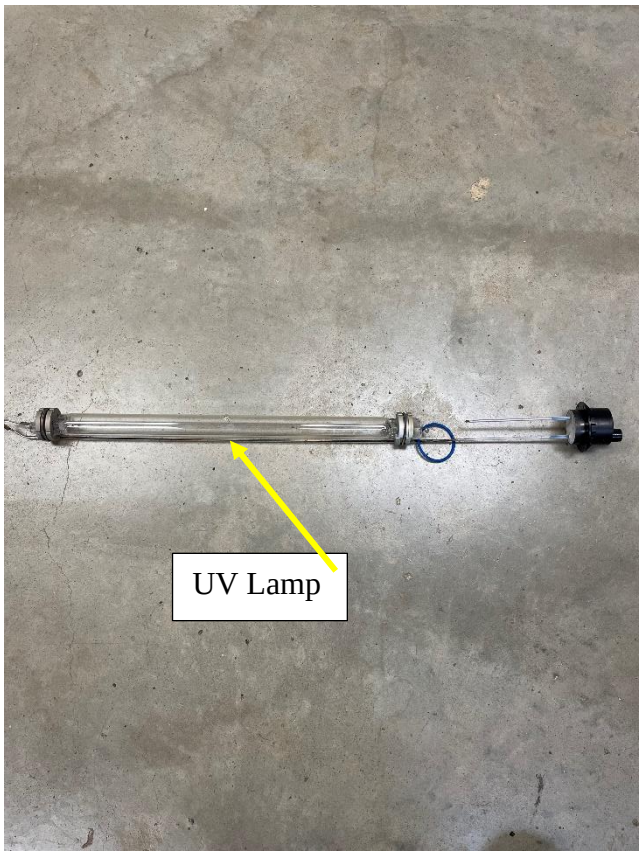
- The staff collected ten water samples throughout the water distribution system for Total Coliform and E-Coli testing.
- The staff collected monthly water samples for (TOC) Total Organic Compound testing. The samples were shipped to the State Health Lab.

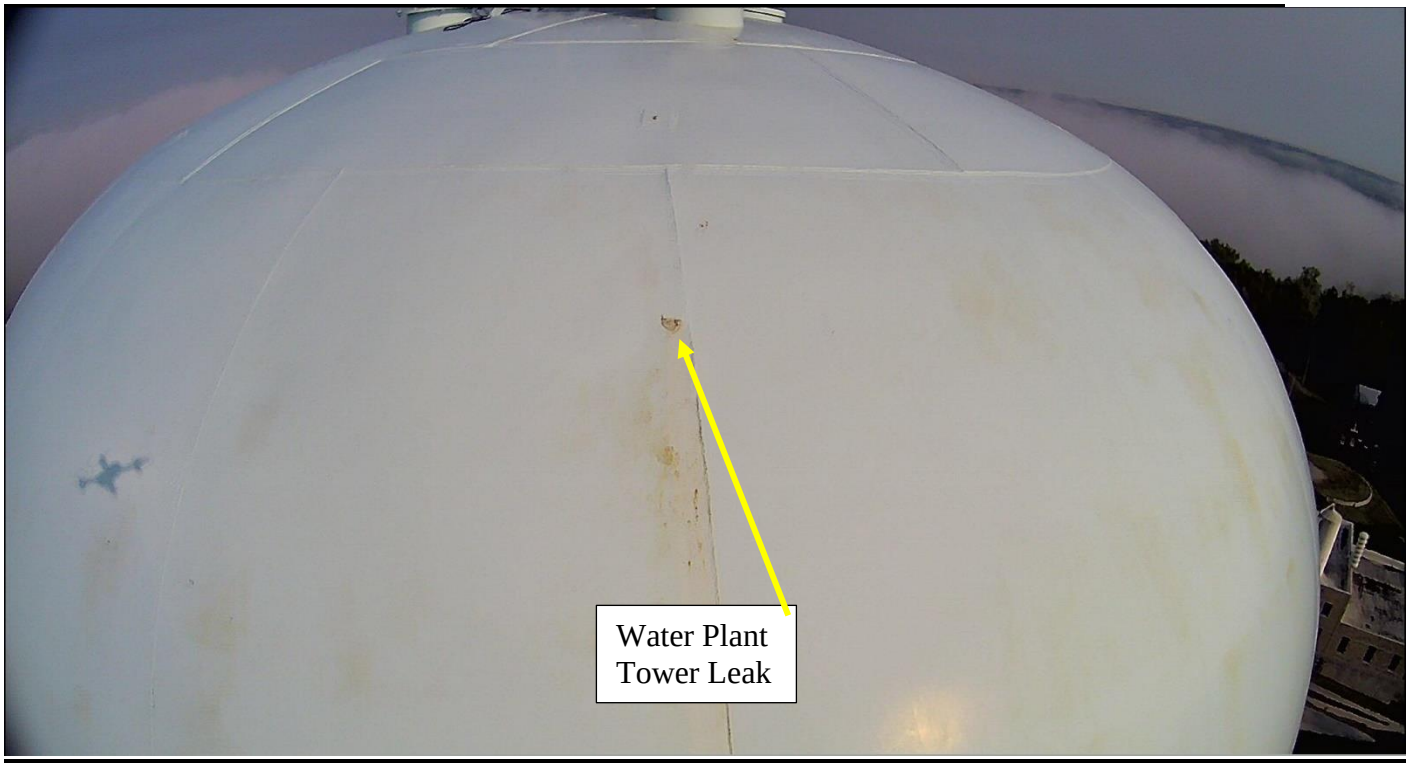
Concerns for the Month.

- None at this time

Photos

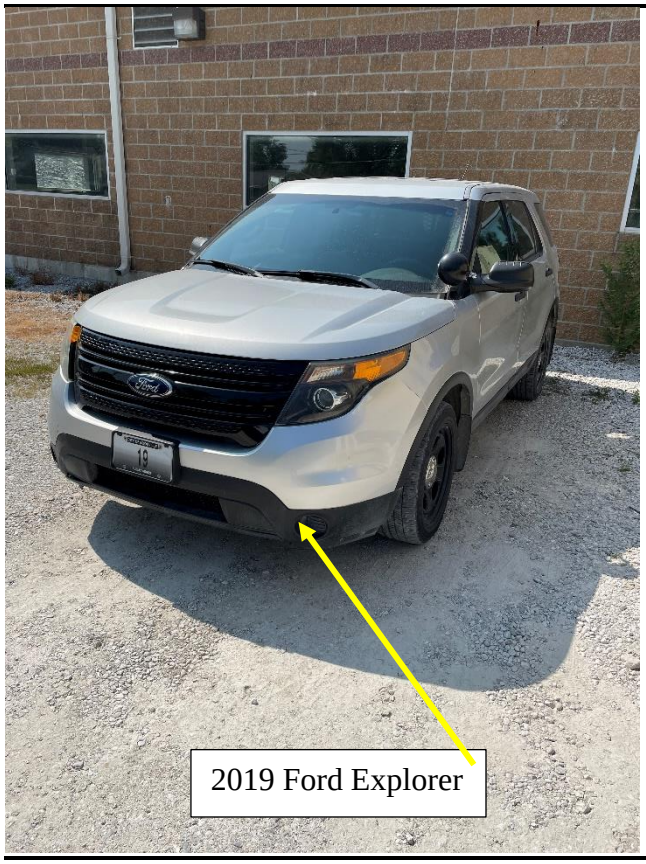


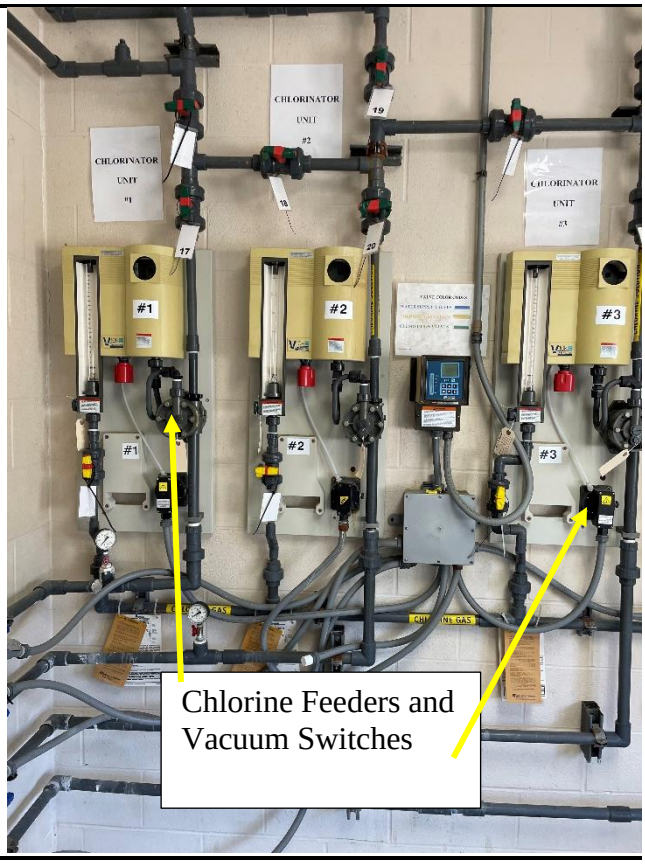




Air Solenoid

High Service
Pump #1 Motor

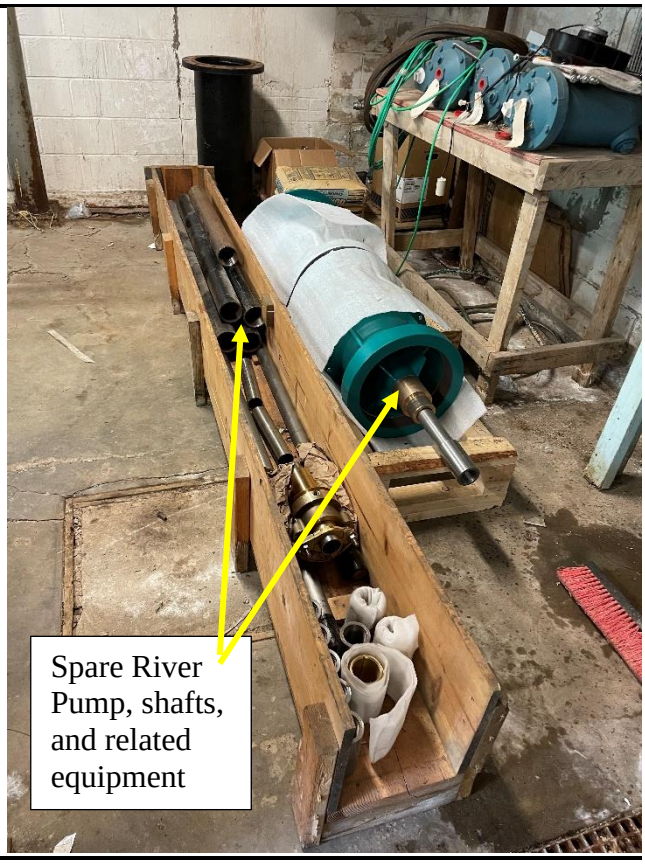

2019 Ford Explorer


CHLORINATOR UNIT #1
CHLORINATOR UNIT #2
CHLORINATOR UNIT #3
Chlorine Feeders and
Vacuum Switches

Chlorine Tank
Vacuum Regulators

Clean walk area

Pre-Sed Flash Mixer


Spare River
Pump, shafts,
and related
equipment

MISSOURI DEPARTMENT OF NATURAL RESOURCES
WATER PROTECTION PROGRAM

MICROBIOLOGICAL ANALYSIS REPORT

PUBLIC WATER SYSTEM NAME		LABORATORY NAME	LABORATORY TELEPHONE NUMBER WITH AREA CODE
City of Boonville		Boonville Water Plant	6608824021
STREET ADDRESS		CERTIFICATION NUMBER	
901 Riviera Dr		#15	
CITY	ZIP CODE		
Boonville	65233		
COUNTY	ID NUMBER	SAMPLE COLLECTOR NAME OR INITIALS	
Cooper	MO3010089	Brian Weber	

SAMPLE DATE MO/DAY/YR	SAMPLE TYPE	COLLECTION POINT	SAMPLE LOCATION ID	SAMPLE RESULTS		CHLORINE RESIDUAL (mg/L)	
				TOTAL COLIFORM	FECAL E-COLI	TOTAL	FREE
08/07/2023	R	614 Santa Fe Trail	16	A	A	2.8	x
08/07/2023	R	717 Main St	14	A	A	2.2	x
08/07/2023	R	1121 Main ST	13	A	A	2.0	x
08/07/2023	R	2441 Pioneer St	23	A	A	1.9	x
08/07/2023	R	900 Carla Dr	17	A	A	2.0	x
08/21/2023	R	940 Oregon Trail	24	A	A	2.5	x
08/21/2023	R	1550 W Ashley Rd	11	A	A	1.8	x
08/21/2023	R	1016 Hilldell Dr	18	A	A	1.9	x
08/21/2023	R	1012 Jefferson Rd	19	A	A	1.8	x
08/21/2023	R	1216 E Morgan St	10	A	A	1.7	x

TOTAL ROUTINE SAMPLE ANALZED	MONITORING VIOLATION	MCL VIOLATION
Ten	☐ Yes ☐ No	☐ Yes ☐ No
TITLE	DATE	
Chief Plant Operator/Chief Analyst	09/07/2023	
SIGNATURE		

MO 780-0438 (05-13)

Return completed form to Department of Natural Resources, Public Drinking Water Branch, P.O. Box 176, Jefferson City, MO 65102-0176

MISSOURI DEPARTMENT OF NATURAL RESOURCES
WATER PROTECTION PROGRAM - PUBLIC DRINKING WATER BRANCH
DISINFECTION AND TURBIDITY REPORT FOR SURFACE WATER SYSTEMS < 10,000 POPULATION

PWS NAME		PWS - ID	MONTH
CITY OF BOONVILLE		MO3010089	August
ADDRESS		PHONE	
901 RIVIERA DRIVE		(660) 882-4021	2023
CITY	ZIP CODE	COUNTY	PLANT
BOONVILLE, MO	65233	COOPER COUNTY	Main Plant

(See instructions on back of this sheet)

DISTRIBUTION DISINFECTION

1. Number of samples analyzed, A: 10
2. Number of samples below 0.2 mg/L, B: 0
[(A-B)/A x 100 = C: 100 % meeting minimum disinfection required.
3. Avg. dsfctnt residual for month: 2.06 mg/l

TURBIDITY

1. Total number measurements taken monthly, A: 207
2. number of measurements below 0.3 NTU, B: 207
[B/A] x 100 = C: 100 % meeting turbidity requirements.

Date	Hours of Operation	Finished Water Temperature (C)	Lowest disinfectant at entrance to distribution system (mg/L) ☐ Free Chlorine ☑ Chloramines	Highest turbidity measurement of the day	Duration disinfectant fell below 0.5 mg/L free Cl2 or 1 mg/L chloramines	Value of turbidity measurements that exeed 1 NTU	5 NTU
1	7.25	29	1.91	0.07	0	0	0
2	5.75	29	2.08	0.06	0	0	0
3	5.25	29	1.80	0.06	0	0	0
4	5.75	29	1.10	0.06	0	0	0
5	6.50	29	1.66	0.05	0	0	0
6	6.50	28	1.87	0.05	0	0	0
7	6.75	27	2.22	0.05	0	0	0
8	6.25	27	2.02	0.05	0	0	0
9	6.50	27	2.15	0.05	0	0	0
10	5.25	27	2.21	0.05	0	0	0
11	6.00	27	2.19	0.05	0	0	0
12	4.50	27	1.96	0.04	0	0	0
13	4.50	28	2.07	0.05	0	0	0
14	3.50	28	1.28	0.05	0	0	0
15	5.75	28	1.98	0.12	0	0	0
16	6.25	28	2.09	0.06	0	0	0
17	5.25	27	2.18	0.06	0	0	0
18	5.73	26	1.99	0.05	0	0	0
19	5.00	26	2.02	0.05	0	0	0
20	5.25	26	2.06	0.05	0	0	0
21	6.00	26	1.98	0.05	0	0	0
22	6.25	27	2.18	0.05	0	0	0
23	7.50	28	2.07	0.05	0	0	0
24	8.25	30	1.98	0.05	0	0	0
25	6.25	31	1.64	0.05	0	0	0
26	6.00	31	1.68	0.05	0	0	0
27	6.25	31	1.41	0.05	0	0	0
28	8.00	31	1.45	0.05	0	0	0
29	6.50	30	1.56	0.05	0	0	0
30	11.25	30	1.57	0.05	0	0	0
31	6.50	29	1.55	0.05	0	0	0

Name of Person Preparing Report	Signature of Responsible Official	DATE
Todd W. Baslee		9/3/2023

MO 780-1904 (12-04)

INSTRUCTIONS: DISINFECTION AND TURBIDITY REPORT FOR SURFACE WATER SYSTEMS < 10,000 POPULATION
1. Please fill out information completely and legibly.

Distribution Disinfection

1. On Line 1., enter the total number of samples from the distribution system that were analyzed for residual disinfectanct concentration (total chlorine or combined chlorine) during the monthe. The residual disinfectatn concentration measuremente must be taken at the same time and location as your routine monthly coliform samples. This is the value for A.
2. On line 2., enter the number of samples for the distribution systems that had less than 0.2 mg/l residual disinfectanct concentration. This is the value for B.
3. Subtract B, from A. (A-B). Divide that number by A. Then multiply by 100. This will give you the value for C. For example: if A = 20 and B = 3, then C = [(20-3)/20] X 100 = 85%
4. On line 3., enter the arithmetic average for all residual disinfectant samples taken during the month.

Turbidity:

1. On line 1., enter the total number of combined filter turbidity measurements taken during the month. This is the value for A.
2. On line 2., enter the number of combined filter turbidity measurements taken during the month, which are less than or equal to 0.3 NTU. This is the value for B.
3. Divide B. by A. (B/A). Then multiply that number by 100. This will give you the value for C. For example: if A = 120 and B = 117, then C = (117/120)X 100 = 97.5%

Hours of Operation

For each day, record the number of hours each water treatment plant was in operation.

Finished Water Temperature

For each day, record the temperature of water entering the distribution.

Lowest Residual Disinfectant at Entrance to Distribution System:

For each day, record the lowest measurement of residual disinfectant (mg/L) in water entering the distribution system (free available chlorine or chloramines).

Duration Residual Disinfectant Fell Below Requirement:

For each day, record the duration (hours, tenths) of each period (if any) when the residual disinfectant concentration in water entering the distribution system fell below 0.5 mg/L free chlorine or 1 mg/L chloramines. Note: should this occur, the public water system must notify the department as soon as possible, but no later thatn by the end of the next business day.

Value of Turbidity Measurements that exceed 1 NTU and 5 NTU:

For each day, record the value of any turbidity measurements taken during the month, which exceed 1 NTU and 5 NTU. Note: should this occur, the public water system must notify the department as soon as possible, but no later than by the end of the next business day.

INDIVIDUAL FILTER MONITORING & REPORTING

1. Was filter continuously monitored for turbidity and results recorded every 15 minutes? YES
2. Was there a failure of the continuous turbidity monitoring equipment? NO

If yes on 2., was the equipment repaired within 5 working days, or 14 days with department approval? N/A
3. Was any individual filter level >1.0 NTU in two (2) consecutive recording fifteen (15) minutes apart? NO
{If YES, perform "follow-up actions" no. 1}
4. Was any individual filter level, for three (3) months in a row > 1.0 NTU in two (2) consecutive recordings, fifteen (15) minutes apart?
NO {If YES, perform "follow-up actions" no.2}
5. Was any individual filter turbidity level >2.0 NTU in two (2) consecutive recordings, fifteen (15) minutes apart for two (2) consecutive months? NO {If YES, perform "follow-up actions" no. 3}

"FOLLOW-UP ACTIONS to PERFORM"

1. Report filter number(s); turbidity measurements which exceed 1 NTU; and date(s) the exceedence(s) occurred and causes if known.
2. Conduct a "Self-Assessment" of the filter(s) within fourteen (14) days of the triggering event. The system must report the date the self-assessment was triggered and the date it was completed.
3. The system must arrange to have a "Comprehensive Performance Evaluation" (CPE) performed not later than sixty (60) days following the triggering event. The CPE must be completed and submitted to the department withing 120 following the trigger event.

The Missouri Department of Natural Resources-Public Drinking Water Branch recommends contacting your local regional office if any individual filter exceeds 1.0 NTU, the lowest trigger in the individual filter standards.

MO 780-1904 (12-04)

MISSOURI DEPARTMENT OF NATURAL RESOURCES
WATER PROTECTION PROGRAM – PUBLIC DRINKING WATER BRANCH

MONTHLY UV OPERATION REPORT

1. PUBLIC WATER SYSTEM NAME	PWS ID	2. MONTH / YEAR
City of Boonville	MO3010089	August 2023
ADDRESS	TELEPHONE NUMBER WITH AREA CODE	EMAIL ADDRESS
901 Riviera Dr	660-882-4021	tbaslee@alliancewater.com
CITY	ZIP CODE	COUNTY
Boonville	65233	Cooper

3. Unit	4. Total Run Time (hrs)	5. Total Volume (MG)	6. Dosage (mJ/cm^2)	7. Number of Off-Specification Events	8. Total Off-Specification Volume (MG)
1-Transfer	86.0	17.058	2.7	10	0.024
2-Tower	106.25	17.368	3.5	30	0.584

9. TOTAL VOLUME OF OFF-SPECIFICATION WATER PRODUCED (MG) [A]	10. TOTAL VOLUME OF WATER PRODUCED (MG) [B]
0.608	34.426
11. PERCENT OF OFF-SPECIFICATION WATER PRODUCED ([A]/[B]*100)	12. PERCENT OF OFF-SPECIFICATION WATER PRODUCED <5 PERCENT
1.77%	☑ YES ☐ NO

13. Of the 8 sensors, 8 have been checked for calibration and 8 were within the acceptable range of tolerance.

14. The following reactors had a sensor correction factor	Unit	Sensor correction factor

15. COMMENTS

The tower reactor is in use and is stirring up sediment from the bottom of the clearwell for the first five minutes of operation. The flow meter on the ammonia continues to give erratic fluctuation due to particulate in the ammonia we feed for chloramines.

16. NAME OF PERSON PREPARING REPORT	17. SIGNATURE OF RESPONSIBLE OFFICAL	DATE
Todd Baslee		9/7/2023

MO 780-2208 (06-13)

State of Missouri
Department of Natural Resources
National Pollutant Discharge Elimination System (NPDES)
Discharge Monitoring Report (DMR)

Permit Number	Outfall Number
MO0004081	FACA
Monitoring Period	
8/1/23	8/31/23
NODI:	*****

Parameters	Reporting Requirements			Unit	Reporting Requirements		Unit
Flow, in conduit or thru treatment plant	*****	*****	*****	*****	0.588	0.197	Mgal/d
Mon. Location.: End of Pipe	*****:*****	*****:*****	*****:*****		Monthly Avg.:Monitoring Required	Daily Max.:Monitoring Required	
Sample Type: Record							
Frequency: Monthly							
Solids accumulation rate tot dry weight	*****	0.002	0.002	g/m3/d	*****	*****	*****
Mon. Location.: End of Pipe	*****:*****	Monthly Avg.:Monitoring Required	Daily Max.:Monitoring Required		*****:*****	*****:*****	
Sample Type: Calculated							
Frequency: Monthly							
Water treatment additives	*****	*****	*****	*****	12.306	0.679	ton/mo
Mon. Location.: End of Pipe	*****:*****	*****:*****	*****:*****		Monthly Avg.:Monitoring Required	Daily Max.:Monitoring Required	
Sample Type: Calculated							
Frequency: Monthly							

Comments:
Outfall #1 and #3

State of Missouri
Department of Natural Resources
National Pollutant Discharge Elimination System (NPDES)
Discharge Monitoring Report (DMR)

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.		
eSignature **Russell Gerling**	**Submission Date** **September 7, 2023**	**User Phone Number** **(573)476-4395**

MISSOURI DEPARTMENT OF NATURAL RESOURCES

Environmental Services Program
PO Box 176 Jefferson City MO 65102-0176

Results of Sample Analyses

Report Date: 8/10/2023

Test Group: 2023 July TOC mailing
Order ID: WO230621289

PDW-2023Jul-1738

Public Drinking Water Branch
MO3010089
Boonville PWS

Todd Baslee
NEW WATER PLANT
901 RIVIERA DR
BOONVILLE MO 65233

Sample:2311533

Site: Boonville PWS
Site Number: MO3010089
Sample Location and Type: MISSOURI RIVER (Raw Water) /IN 30015

County: Cooper

Public Drinking Water Supply

Collected 07/17/23 09:30

Analyte	Result	MCL	SS	Qualifier(s)
Analysis: Alkalinity - PWS Result by Field Dependent				
Alkalinity - PWS Result	182 mg/L			
Analysis: Total Organic Carbon by Standard Methods 5310-C				
Total Organic Carbon	3.63 mg/L			

Sample:2311534

Site: Boonville PWS
Site Number: MO3010089
Sample Location and Type: BOONVILLE - TREATMENT PLANT (Treatment Plant) /TP 50234

County: Cooper

Public Drinking Water Supply

Collected 07/17/23 11:45

Analyte	Result	MCL	SS	Qualifier(s)
Analysis: Total Organic Carbon by Standard Methods 5310-C				
Total Organic Carbon	2.50 mg/L			

MCL- A Maximum Contaminant Level (MCL) is the legal threshold limit on the amount of a substance that is allowed in drinking water under the Federal Safe Drinking Water Act. MCLs are health based, legally enforceable standards. Drinking water results below the MCLs are considered safe.
*Lead and Copper samples have an Action Level (AL) and not an MCL. The AL levels for Lead and Copper are shown in the MCL column.
SS- Secondary Drinking Water Regulations (secondary standards) are non-enforceable guidelines regulating contaminants that may cause aesthetic effects in drinking water, such as taste, color or odor. It is recommended that water systems comply with secondary standards but water systems are not required to comply.

The analysis of this sample was performed in accordance with procedures approved or recognized by the U. S. Environmental Protection Agency.

If you have any questions, please contact the Public Drinking Water Branch's chemical monitoring coordinator Brent Weis at 573-751-3458.

Units used in this report:

mg/L milligrams per liter

Richard Kirsch

Richard Kirsch
Laboratory Manager
Environmental Services Program
Division of Environmental Quality

MISSOURI DEPARTMENT OF NATURAL RESOURCES

Environmental Services Program
PO Box 176 Jefferson City MO 65102-0176

Results of Sample Analyses

Report Date: 8/3/2023

Test Group: 2023 July Fluoride mailing
Order ID: WO230621288

PDW-2023Jul-1736

Public Drinking Water Branch
MO3010089
Boonville PWS

Todd Baslee
NEW WATER PLANT
901 RIVIERA DR
BOONVILLE MO 65233

Sample:2311532

Site: Boonville PWS
Site Number: MO3010089
Sample Location and Type: 1200 Locust St (F^-) /DS

County: Cooper

Collected 07/17/23 13:30

Public Drinking Water Supply

Analyte	Result	MCL	SS	Qualifier(s)
Analysis: Fluoride by Lachat L 10-109-12-2-A				
Fluoride	0.78 mg/L	4	2	
Analysis: Fluoride - PWS Result by Field Dependent				
Fluoride-PWS Result	0.49 mg/L			

MCL- A Maximum Contaminant Level (MCL) is the legal threshold limit on the amount of a substance that is allowed in drinking water under the Federal Safe Drinking Water Act. MCLs are health based, legally enforceable standards. Drinking water results below the MCLs are considered safe.
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Units used in this report:
mg/L milligrams per liter

Richard Kirsch
Laboratory Manager
Environmental Services Program
Division of Environmental Quality

Company WO Summary

WO Range 8/2/2023

WO #	Site	WO Title	Status	Start / Due	Completed / Closed	Time on Hold	Type	Category	Hours	Costs			
										Labor	Parts	Invoice	Total
3931065	Boonville	Check Oil On Air Compressor	Closed	8/2/2023 8/5/2023	8/2/2023 8/2/2023		PM	General	00:00	.00	.00	.00	.00
3931385	Boonville	Clean pH Probe	Closed	8/3/2023 8/6/2023	8/2/2023 8/2/2023		PM	Lab Equipment and Process Analyzers	00:00	.00	.00	.00	.00
3935128	Boonville	Clean Screens on Aerator	Closed	8/5/2023 8/8/2023	8/8/2023 8/8/2023		PM	Cleaning	00:00	.00	.00	.00	.00
3943536	Boonville	AWR Safety Meeting	Closed	8/9/2023 8/12/2023	8/11/2023 8/11/2023		PM	Safety	00:00	.00	.00	.00	.00
3944989	Boonville	Check Oil On Air Compressor	Closed	8/9/2023 8/12/2023	8/11/2023 8/11/2023		PM	General	00:00	.00	.00	.00	.00
3944990	Boonville	Check and Clean Filters on 1.0 MG Clearwell	Closed	8/9/2023 8/12/2023	8/11/2023 8/11/2023		PM	Cleaning	00:00	.00	.00	.00	.00
3945317	Boonville	Check and Replace Filter as Needed & Check Coils At River Pumphouse	Closed	8/10/2023 8/15/2023	8/11/2023 8/11/2023		PM	HVAC	00:00	.00	.00	.00	.00
3945318	Boonville	Check HVAC Filter & Coils In Main Plant Replace or Clean	Closed	8/10/2023 8/13/2023	8/11/2023 8/11/2023		PM	HVAC	00:00	.00	.00	.00	.00
3945319	Boonville	Check, Clean or Replace HVAC Filters & Wash Coils on North Unit	Closed	8/10/2023 8/13/2023	8/11/2023 8/11/2023		PM	HVAC	00:00	.00	.00	.00	.00
3945320	Boonville	Check, Clean or Replace HVAC Filters & Wash Coils on South Unit	Closed	8/10/2023 8/13/2023	8/11/2023 8/11/2023		PM	HVAC	00:00	.00	.00	.00	.00
3947098	Boonville	Clean UVT Analyzer then Recalibrate	Closed	8/11/2023 8/14/2023	8/11/2023 8/11/2023		PM	Cleaning	00:00	.00	.00	.00	.00
3949061	Boonville	Sensor Check - UV Tower Line	Closed	8/12/2023 8/15/2023	8/21/2023 8/21/2023		PM	General	00:00	.00	.00	.00	.00
3949062	Boonville	Sensor Check - UV Transfer Line	Closed	8/12/2023 8/15/2023	8/21/2023 8/21/2023		PM	General	00:00	.00	.00	.00	.00
3953503	Boonville	Check & Test ALL Emergency Lights	Closed	8/15/2023 8/18/2023	8/21/2023 8/21/2023		PM	Safety	00:00	.00	.00	.00	.00
3954392	Boonville	Chlorine Hoist Monthly Check	Closed	8/15/2023 8/18/2023	8/22/2023 8/22/2023		PM	Safety	00:00	.00	.00	.00	.00

# of Work Orders 21

Generated on 9/1/2023

Company WO Summary

WO Range 8/2/2023

WO #	Site	WO Title	Status	Start / Due	Completed / Closed	Time on Hold	Type	Category	Hours	Costs			
										Labor	Parts	Invoice	Total
3954393	Boonville	Chlorine Sensor Check - Storage Room	Closed	8/15/2023 8/18/2023	8/21/2023 8/21/2023		PM	Safety	00:00	.00	.00	.00	.00
3954394	Boonville	Chlorine Sensor Check - Feed Room	Closed	8/15/2023 8/18/2023	8/21/2023 8/21/2023		PM	Safety	00:00	.00	.00	.00	.00
3956958	Boonville	Check Oil On Air Compressor	Closed	8/16/2023 8/19/2023	8/18/2023 8/18/2023		PM	General	00:00	.00	.00	.00	.00
3982311	Boonville	AWR LM TRUCK WEEKLY VEHICLE WALK AROUND INSPECTION	Closed	8/22/2023 8/25/2023	8/22/2023 8/22/2023		PM	Vehicle	00:00	.00	.00	.00	.00
3982618	Boonville	Check Oil On Air Compressor	Closed	8/23/2023 8/26/2023	8/23/2023 8/23/2023		PM	General	00:00	.00	.00	.00	.00
3994406	Boonville	Check Oil On Air Compressor	Closed	8/30/2023 9/2/2023	8/30/2023 8/30/2023		PM	General	00:00	.00	.00	.00	.00
										.00	.00	.00	.00

# of Work Orders 21

Generated on 9/1/2023

REPORT OF OPERATIONS

Boonville, Missouri

Wastewater Treatment Plant

August 2023

Submitted by Alliance Water Resources, Inc.

September 18, 2023

City Council Meeting

OUR MISSION

We partner with communities to deliver the finest water and wastewater services available at a competitive price. We are committed to keeping water safe and clean while serving people and taking care of communities with improved technical operations, careful management and financial oversight, and ensured regulatory compliance.

Alliance Water Resources, Inc.

206 S. Keene St.
Columbia, MO
65201

(573)874-8080

Alliance WATER RESOURCES®
Professional Water and Wastewater Operations

OPERATIONS REPORT – Boonville

August 2023

Administrative

Repair and Chemical Expense Report August 2023

Description	Budgeted	Actual Spent	Remaining
WWTP Repair Expense	$40,000.00	$7,958.36	$32,041.64
LS Repair Expense	$50,000.00	$1,051.14	$48,948.86
Chemicals	$95,000.00	$48,124.89	$46,875.11

Treatment, Operations, and Maintenance

- The staff performs weekly maintenance/housekeeping on the Bar Screen, Grit Collector, Oxidation Ditch, Clarifiers, Effluent Channel including the UV Disinfection System, and Digester Blowers.
- The staff replaced the transducer in the Digester Tank, as it failed to sense the water level in the tank.
- Trojan Technologies was here to investigate the problem with UV Disinfection System. A programming error was found in the CPU.
- Sydenstricker repaired the John Deere Zero-Turn mower. They replaced the PTO Switch.
- The staff replaced the rubber scrapper on Clarifier #2.
- The staff found Clarifier #2 Scrapper was tripped out. After resetting the breaker, it operates normal.

Project Updates

- Smi-Co continues to repair the Clarifiers by sandblasting, grouting, and applying sealant coating to the concrete.
- Alliance Pump and Mechanical was here to install the new lift station pump at Industrial Park Lift Station.

Safety

- The staff conducted its Monthly Safety meeting.

Regulatory

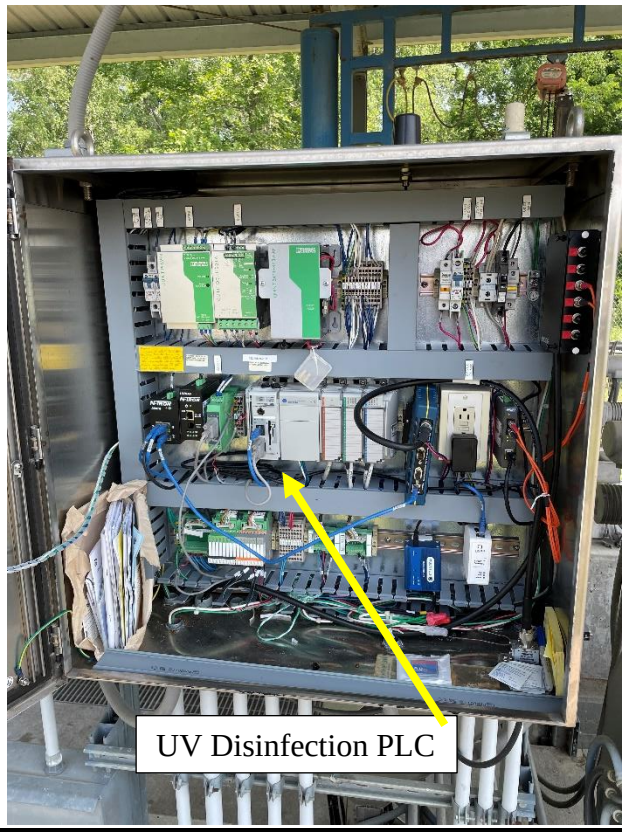
- The staff documents daily Flow through the Wastewater Treatment Plant, outside air temperature, rainfall, and weather conditions.
- The staff collected daily water samples throughout the Wastewater Treatment Plant for Dissolved Oxygen (DO) testing, temperature, and pH testing.

- The staff collected weekly water samples from the Effluent of the Wastewater Treatment Plant for E-Coli testing, Biochemical Oxygen Demand (BOD) testing, and Total Suspended Solids (TSS) testing.
- The staff collected monthly water samples from the Influent of the Wastewater Treatment Plant for Biochemical Oxygen Demand (BOD) testing, Total Suspended Solids (TSS) testing, and Ammonia testing. This is for monitoring purposes only and determining Wastewater Treatment Plant Percent Removal.
- The staff collected monthly water samples from the Influent of the Wastewater Treatment Plant for Total Phosphorus testing, Total Kjeldahl Nitrogen testing, and Nitrite+Nitrate testing. These water sample are transported to Inovatia Laboratories in Fayette, Mo. This is for monitoring purposes only.
- The staff collected monthly water samples from the Effluent of the Wastewater Treatment Plant for Ammonia testing.
- The staff collected monthly water samples from the Effluent of the Wastewater Treatment Plant for Oil & Grease testing, Total Phosphorus testing, Total Kjeldahl Nitrogen testing, and Nitrite+Nitrate testing. These water sample are transported to Inovatia Laboratories in Fayette, Mo. This is for monitoring purposes only.

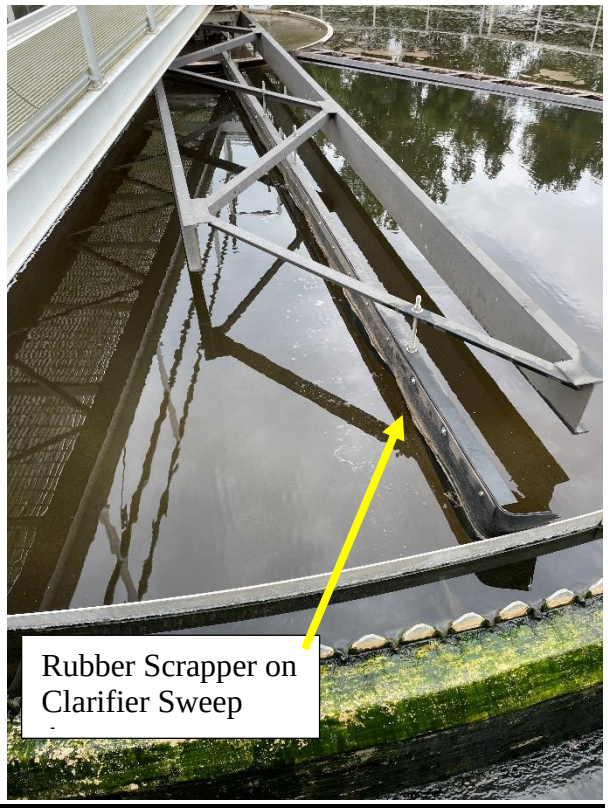
Concerns for the Month.

- None at this time

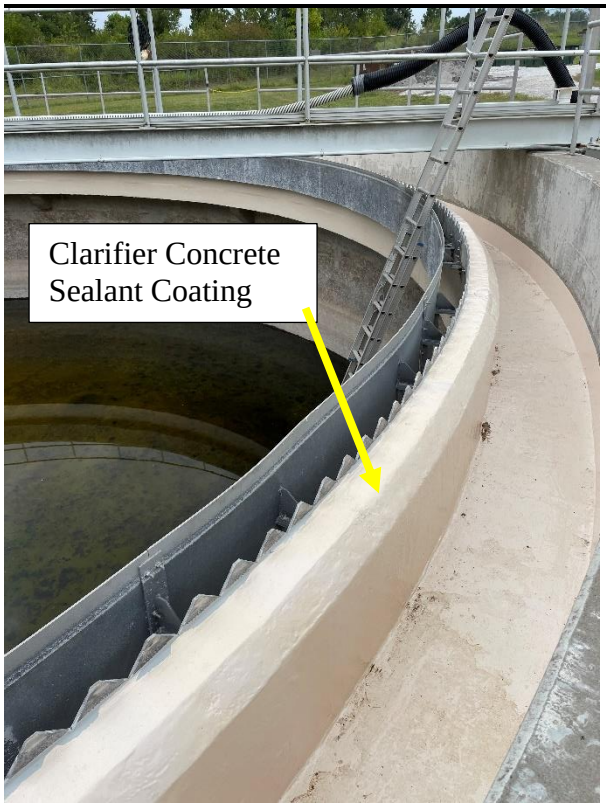
Photos



John Deere mower



Rubber Scrapper on Clarifier Sweep



Clarifier Concrete Sealant Coating

Industrial Park Lift Station Pump Replacement

Boonville WWTP
401 Main Street
BOONVILLE, MO, Cooper

State of Missouri
Department of Natural Resources
National Pollutant Discharge Elimination System (NPDES)
Discharge Monitoring Report (DMR)

Northeast Regional Office
1709 Prospect Drive
Macon, MO, 63552

Permit Number	Outfall Number
MO0040738	001M
Monitoring Period	
8/1/23	8/31/23
NODI:	*****

Parameters	Reporting Requirements			Unit	Reporting Requirements		Unit
Flow, in conduit or thru treatment plant	*****	*****	*****	*****	1.910	0.816	Mgal/d
Mon. Location.: End of Pipe	*****:*****	*****:*****	*****:*****		Daily Max.:Monitoring Required	Monthly Avg.:Monitoring Required	
Sample Type: Total Measured							
Frequency: Monthly							
BOD, 5-day, 20 deg. C	*****	1.85	1.41	mg/L	*****	*****	*****
Mon. Location.: End of Pipe	*****:*****	Weekly Avg.:45	Monthly Avg.:30		*****:*****	*****:*****	
Sample Type: 24 Hour Composite							
Frequency: Weekly							
Total Suspended Solids (TSS)	*****	4.00	2.15	mg/L	*****	*****	*****
Mon. Location.: End of Pipe	*****:*****	Weekly Avg.:45	Monthly Avg.:30		*****:*****	*****:*****	
Sample Type: 24 Hour Composite							
Frequency: Weekly							
Escherichia coli (E. coli)	*****	46.5	5.86	#/100mL	*****	*****	*****
Mon. Location.: End of Pipe	*****:*****	7 Day Geo.:1030	30 Day Geo. Mean:206		*****:*****	*****:*****	
Sample Type: Grab							
Frequency: Weekly							
Nitrite plus nitrate total (as N)	17.7	*****	17.7	mg/L	*****	*****	*****
Mon. Location.: End of Pipe	Daily Max.:Monitoring Required	*****:*****	Monthly Avg.:Monitoring Required		*****:*****	*****:*****	
Sample Type: 24 Hour Composite							
Frequency: Monthly							
Phosphorus, total (as P)	2.36	*****	2.36	mg/L	*****	*****	*****
Mon. Location.: End of Pipe	Daily Max.:Monitoring Required	*****:*****	Monthly Avg.:Monitoring Required		*****:*****	*****:*****	
Sample Type: 24 Hour Composite							
Frequency: Monthly							
Nitrogen, Kjeldahl, total (as N)	<1.00	*****	<1.00	mg/L	*****	*****	*****
Mon. Location.: End of Pipe	Daily Max.:Monitoring Required	*****:*****	Monthly Avg.:Monitoring Required		*****:*****	*****:*****	
Sample Type: 24 Hour Composite							
Frequency: Monthly							

pH	7.4	*****	7.6	SU	*****	*****	*****
Mon. Location.: End of Pipe	Minimum:6.5	*****:*****	Maximum:9.0		*****:*****	*****:*****	
Sample Type: Grab							
Frequency: Weekly							
BOD, 5-day, percent removal	*****	*****	98.9	%	*****	*****	*****
Mon. Location.: End of Pipe	*****:*****	*****:*****	Monthly Avg. Min.:85		*****:*****	*****:*****	
Sample Type: Calculated							
Frequency: Monthly							
Suspended Solids, percent removal	*****	*****	97.3	%	*****	*****	*****
Mon. Location.: End of Pipe	*****:*****	*****:*****	Monthly Avg. Min.:85		*****:*****	*****:*****	
Sample Type: Calculated							
Frequency: Monthly							
Nitrogen, ammonia total (as N)	0.017	*****	0.017	mg/L	*****	*****	*****
Mon. Location.: End of Pipe	Daily Max.:8.4	*****:*****	Monthly Avg.:0.9		*****:*****	*****:*****	
Sample Type: 24 Hour Composite							
Frequency: Monthly							

Comments:

Boonville WWTP
401 Main Street
BOONVILLE, MO, Cooper

State of Missouri
Department of Natural Resources
National Pollutant Discharge Elimination System (NPDES)
Discharge Monitoring Report (DMR)

Northeast Regional Office
1709 Prospect Drive
Macon, MO, 63552

Permit Number	Outfall Number
MO0040738	INFIM
Monitoring Period	
8/1/23	8/31/23
NODI:	*****

Parameters	Reporting Requirements			Unit	Reporting Requirements		Unit
BOD, 5-day, 20 deg. C	*****	*****	128	mg/L	*****	*****	*****
Mon. Location.: Influent	*****:*****	*****:*****	Monthly Avg.:Monitoring Required		*****:*****	*****:*****	
Sample Type: 24 Hour Composite							
Frequency: Monthly							
Total Suspended Solids (TSS)	*****	*****	80	mg/L	*****	*****	*****
Mon. Location.: Influent	*****:*****	*****:*****	Daily Max.:Monitoring Required		*****:*****	*****:*****	
Sample Type: 24 Hour Composite							
Frequency: Monthly							
Nitrogen, ammonia total (as N)	19.5	*****	19.5	mg/L	*****	*****	*****
Mon. Location.: Influent	Daily Max.:Monitoring Required	*****:*****	Monthly Avg.:Monitoring Required		*****:*****	*****:*****	
Sample Type: 24 Hour Composite							
Frequency: Monthly							
Phosphorus, total (as P)	4.69	*****	4.69	mg/L	*****	*****	*****
Mon. Location.: Influent	Daily Max.:Monitoring Required	*****:*****	Monthly Avg.:Monitoring Required		*****:*****	*****:*****	
Sample Type: 24 Hour Composite							
Frequency: Monthly							
Nitrogen, Kjeldahl, total (as N)	28.5	*****	28.5	mg/L	*****	*****	*****
Mon. Location.: Influent	Daily Max.:Monitoring Required	*****:*****	Monthly Avg.:Monitoring Required		*****:*****	*****:*****	
Sample Type: 24 Hour Composite							
Frequency: Monthly							
Nitrite plus nitrate total (as N)	<0.300	*****	<0.300	mg/L	*****	*****	*****
Mon. Location.: Influent	Daily Max.:Monitoring Required	*****:*****	Monthly Avg.:Monitoring Required		*****:*****	*****:*****	
Sample Type: 24 Hour Composite							
Frequency: Monthly							

Comments:

State of Missouri
Department of Natural Resources
National Pollutant Discharge Elimination System (NPDES)
Discharge Monitoring Report (DMR)

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.		
eSignature **Richard Arnold**	**Submission Date** **September 7, 2023**	**User Phone Number** **(660)882-4024**