



City Of
BOONVILLE

City of Boonville

October 7, 2024

7:00 PM

City Council Chambers

525 E. Spring Street

Boonville MO 65233

Public Hearing for Community Development Block Grant (CDBG) Program

October 7, 2024

7:00 P.M.

Meeting Live streamed <https://www.youtube.com/user/cityofboonvillemo> & Channel 3 with Suddenlink Cable TV

I. Call to order – Pledge and Prayer

II. Roll Call

III. Hearing of Citizens' Comments

IV. Approval of Minutes

A. September 16 Council Minutes

V. Consent Items

A. Consider Pay Request No. 1 for \$48,118.50 to Vance Brothers for Cape Seal 2024

B. Consider Pay Request No. 3 for \$217,930.77 to Capital Paving for Roadway Improvements 2024.

VI. Presentation of Accounts and Claims

A. Appropriations

VII. Unfinished Business

A. First Reading of Bill No. 2024-015 Approving Boone Point Plat 3

B. First Reading of Bill No. 2024-016 Approving a site plan for 512 Investments, LLC. located at 1290 Locust Street

C. First Reading of Bill No. 2024-017 Approving a final site plan for Huebert Fiberboard located at 1545 East Morgan Street

VIII. New Business

- A.** Consider Resolution R2024-14 Authorizing Supplemental Agreement No. 1 with Allstate Consultants, LLC for services relating to the construction of sidewalks along Ashley Road
- B.** Consider Resolution R2024-15 Approving an Agreement with GBH Builders, Inc. for Johnston Fieldhouse Renovations
- C.** Consider Resolution R2024-16 Approving an Agreement with GloveCon, Inc. for 2nd Floor Renovations at City Hall
- D.** Consider Resolutions R2024-17 Authorizing an application for the Community Development Block Grant program

IX. Reports of Standing Committees

- A.** Board of Public Works (Drew Davis)

X. Reports of City Officials

- A.** Mayor
 - Committee Appointment- Parks and Recreation Board
- B.** City Administrator
- C.** City Counselor
- D.** City Clerk

XI. Miscellaneous

XII. Adjourn

NOTICE: The City of Boonville will comply with the Americans with Disabilities Act (ADA). Individuals who require an accommodation due to disability to attend this meeting should contact our office at (660) 882-2332 or Relay Missouri, 1-800-735-2966 TTY at least 48 hours in advance.



City Of BOONVILLE

City of Boonville

September 16, 2024

7:00 PM

City Council Chambers

525 E. Spring Street

Boonville MO 65233

I. Call to order – Pledge and Prayer

A. Drew Davis

Call to order – The Boonville City Council met in Regular Session on September 16, 2024, at 7:00 p.m. in the Council Chambers located at 525 East Spring Street, Boonville, Missouri. The following officers were present; Kate Fjell, City Administrator; Teresa Studley, Assistant to City Administrator; Randy Ayers, Sergeant at arms; Mayor Pro-Tem Andrew Cowherd; and City Counselor, Brad Wooldridge. Mayor Ned Beach and City Clerk, Amber Davis were absent. The meeting was called to order. Drew Davis led the prayer, after the pledge of allegiance.

II. Roll Call

The following council representatives were present: Barry Elbert, Drew Davis, Brad Atkinson, Steve Young, Andrew Cowherd, and Sy Harvell. Council representatives Whitney Venable and Heather Overstreet were absent.

III. Hearing of Citizens' Comments

- Senior Citizen Property Tax Freeze Discussion - Presiding Commissioner George Monk and Eastern District Commissioner Charlie Melkersman

Presiding Commissioner George Monk and Commissioner Charlie Melkersman came before the council to discuss the recently passed property tax credit for Missouri seniors. Cooper County senior residents must submit the property tax credit form to the County Clerk in 2025. Cooper County residents who are 62 and older may be eligible for this tax credit. This tax credit will freeze property tax valuations at 2025 levels. If improvements are made to the property, improvements will be added to the valuation and at that point, the valuation will change. Commissioner George Monk stated he did not know what the financial impact would be. The Commissioners stated information will be available on the City of Boonville website and this presentation is on the Cities' YouTube channel and information is available at the courthouse.

IV. Approval of Minutes

A. September 3 council minutes

The minutes stand as submitted

V. Consent Items

None

VI. Presentation of Accounts and Claims

A. Appropriations

Ms. Studley read the ordinance appropriating money, in its entirety, and a second time, by title only, since a copy of the ordinance had been made available prior to the meeting, Mr. Davis moved and Mr. Atkinson seconded the motion to approve the ordinance appropriating money. Roll call was taken Ayes: Elbert, Davis, Atkinson, Young, Cowherd, and Harvell. Total (6). Opposed : None. Absent Venable and Yoder. Motion Carried.

VII. Unfinished Business

A. Second Reading of Bill No. 2024-014 Electing Changes Under the Missouri Local Government Employees Retirement System (LAGERS)

Mr. Elbert moved and Mr. Atkinson seconded the motion to approve the bill. Roll call was taken Ayes: Elbert, Davis, Atkinson, Young, Cowherd, and Harvell. Total (6). Opposed : None. Absent Venable and Yoder. Motion Carried.

VIII. New Business

A. First Reading of Bill No. 2024-016 Approving a site plan for 512 Investments, LLC. located at 1290 Locust Street

Ms. Studley read, by title only, a copy of the bill

B. Homecoming Street Closure Request

Mr. Davis moved and Mr. Atkinson seconded the motion to approve the Homecoming Roll call was taken Ayes: Elbert, Davis, Atkinson, Young, Cowherd, and Harvell. Total (6). Opposed : None. Absent Venable and Yoder. Motion Carried.

C. First Reading of Bill No. 2023-15 Approving Boone Point Plat 3

Ms. Studley read, by title only, a copy of the bill

D. First Reading of Bill No. 2024-16 Approving a site plan for 512 Investments, LLC located at 1290 Locust Street

Ms. Studley read, by title only, a copy of the bill

IX. Reports of Standing Committees

A. Planning and Zoning Commision (Sy Harvill)

Minutes are in the packet

X. Reports of City Officials

A. City Administrator

Ms. Fjell thanked the council for increasing the lagers to 2%.

Ms. Fjell gave an update about the City water billing software change.

Ms. Fjell stated that Chlorine will be added to the city water from October 1 through October 31, done yearly.

B. Mayor Pro tem

None

C. City Clerk

Ms. Studley reminded the council of the next meeting, which is going to be on October 7th.

D. City Counselor

None

XI. Miscellaneous

Mr. Elbert asked why more chlorine was added to our water.

Kevin, with Alliance Water, came before the council to answer Mr. Elbert's question. Kevin stated that more chlorine was added to the water in October because the distribution system is being flushed, which stirs up the water in the piping and causes more bacteria.

Mr. Harvell stated he had concerns about the tax freeze that Mr. Monk and Mr. Melkersman came and talked about the impact that the tax freeze may have on people and other entities.

XII. Adjourn

With no further discussion, Mr. Young moved, and Mr. Davis seconded the motion to adjourn at 7:44 p.m. The voice vote was unanimous.

Original _____ of 6
Page _____ of

1

7-Oct-24

6-Oct-24

NET CHANGE BY CHANGE ORDERS: \$0.00

(Attach explanation if amount certified differs from the amount applied for. Initial all figures on this Application and on the Continuation Sheet that are changed to conform to the amount certified.)

BY:

(573)893-5558



Pay Estimate No.1
Cape Seal Roadway Improvements 2024

Item No	Description	Contract Quantity	Unit	Unit Price	Total	In Place Prev. Pay App	Installed This Period	\$ Installed This Pay App	Total in Place	Left to Finish	Unit
1	Mobilization	1	LS	\$ 20,000.00	\$ 20,000.00	0	0.5	\$10,000.00	\$10,000.00		1 LS
2	Traffic Control	1	LS	\$ 3,000.00	\$ 3,000.00	0	0.5	\$1,500.00	\$1,500.00		1 LS
3	Slurry Seal	568	SY	\$ 6.25	\$ 3,550.00	0	0	\$0.00	\$0.00		568 SY
4	Cape Seal	5995	SY								5,995 SY
	a. Chip Seal			\$ 7.00	\$ 41,965.00	0	5995	\$41,965.00	\$41,965.00		
	b. Slurry Seal			\$ 6.25	\$ 37,468.75	0	0	\$0.00	\$0.00		
				\$ 13.25	\$ 79,433.75						
5	Contingency	1	LS	\$ 15,000.00	\$ 15,000.00	0	0	\$0.00	\$0.00		1 LS
					Contract Total	\$ 200,417.50		\$53,465.00	\$53,465.00		



5201 Brighton Ave.
Kansas City, MO 64130
Phone: 816.923.4325

INVOICE

Bill To:
City of Boonville, MO
401 Main St
Boonville, MO 65233

Invoice #: PA003321
Invoice Date: 08/30/2024
Customer #: 22
Project #: 13401
Boil#: 338610

Site ID: 0103
Activity Month: AUG 2024
Customer PO # :

2024 CAPE SEAL

Item #	Item Description	Amount
3000	MOBILIZATION .5 @ \$ 20,000.00	10,000.00
3014	CHIP SEAL 5,995 SY @ \$ 7.00	41,985.00
3160	TRAFFIC CONTROL .5 @ \$ 3,000.00	1,500.00
Total Due this Invoice: \$53,465.00		

Remit to:
Vance Brothers, Inc. - KC
PO Box 877366
Kansas City, MO 64187-7366

Payment Terms: NET30



Bringing Integrity to the Surface.

5201 BRISTON KANSAS CITY, MO 64130
816.923.4325
www.vancebrothers.com

SOLD
TO

City of Boonville, MO

SHIPPED
TO

2024 Cape Seal

DATE

8/30/24

ACCOUNT NO.

SOLD BY CASH CHECK NO.

AS

CHARGE REFUND P.O.

X

SHIPPED VIA

VB

DEPT.	JOB NO.	PRODUCT NO.	QUANTITY	UNIT	AM	DESCRIPTION	PRICE	AMOUNT	TAX EX.
103-1	13481	3000	D.5	LS		Mobilization	20,000.00	10,000.00	00
103-1	13481	3160	D.5	LS		Traffic Control	3,000.00	1,500.00	00
103-1	13481	3014	5,995	SY		Chip Seal	7.00	41,965.00	00
Chip Seal is part of "Cape Seal"									
Line item.									
Remaining Portion will be billed									
Upon completion of Slurry Seal									

SUBTOTAL ▶

FOR PRODUCT EMERGENCY	Spill, Leak, Fire, Exposure or Accident - Call CHEMTREC DAY OR NIGHT 800-424-9300	D.O.T. HAZARDOUS MATERIALS PLACARDS FURNISHED BY ☐ NA ☐ SHIPPER ☐ CARRIER	D.O.T. HAZARDOUS MATERIALS PLACARDS ACCEPTED ☐ NA ☐ YES ☐ NO	TAX ▶
TOTAL ▶ 53,465.00				00

W.P.G.	RESIDUE BY WEIGHT	% DIST.	TRUCK	TRAILER	TANK	SPEC. GRAV.	TEMPERATURE
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*Tare weight and gross weight shown on origin label for correct per Agreement
and with Weighing and Inspection Station. If applicable. This is to certify that the
material shown above and properly classified, packaged, labeled and marked
and loaded and in a proper condition for transportation according to the applicable
regulations of the Department of Transportation.

PROJECT NO.

CERTIFICATION NUMBER

This certifies that the asphaltic material in this shipment
complies with Missouri, Kansas, Iowa and Nebraska
Departments of Transportation for the grade specified.
The weights shown hereon were obtained on Depart-
ment approved scales and are current within the
specified scale requirements.

THIS MATERIAL MEETS OR
EXCEEDS SPECIFICATIONS FOR:

WEIGHMASTER

TIME / DATE
GROSS:

TIME / DATE
TARE:

NET:

ETA:

AM
PM

ARRIVE:

AM
PM

START
UNLOAD:

AM
PM

FINISH:

AM
PM

SPECIAL INSTRUCTIONS:

Please Email

REASON FOR DELAY

K338610

X

RECEIVED IN APPARENT GOOD ORDER
BY SIGNING, YOU HAVE READ AND AGREE WITH THE NOTICE TO OWNER ON BACK OF THIS DOCUMENT.

DATE

DRIVER

ORIGINAL

NOTICE TO OWNER

FAILURE OF THIS CONTRACTOR TO PAY THOSE PERSONS SUPPLYING MATERIAL OR SERVICES TO COMPLETE THIS CONTRACT CAN RESULT IN THE FILING OF A MECHANIC'S LIEN ON THE PROPERTY WHICH IS THE SUBJECT OF THIS CONTRACT PURSUANT TO CHAPTER 429, RSMo. TO AVOID THIS RESULT YOU MAY ASK THIS CONTRACTOR FOR "LIEN WAIVERS" FROM ALL PERSONS SUPPLYING MATERIAL OR SERVICES FOR THE WORK DESCRIBED IN THIS CONTRACT. FAILURE TO SECURE LIEN WAIVERS MAY RESULT IN YOUR PAYING FOR LABOR AND MATERIAL TWICE.

**APPLICATION AND CERTIFICATE FOR PAYMENT
(PAY ESTIMATE)**

Original 6 of 6
Page 1 of 2

PROJECT: 2024 Boonville Roadway Imp
PROJECT NO: 454-307

CONTRACTOR: Capital Paving
OWNER: City of Boonville

APPLICATION NO: 3
APPLICATION DATE: 9/19/2024
PERIOD FROM: 8/12/2024

ORIGINAL CONTRACT SUM: \$577,083.26
NET CHANGE BY CHANGE ORDERS: \$14,290.45
CONTRACT SUM TO DATE: \$591,373.71
TOTAL COMPLETED TO DATE: \$591,373.71
RETAINAGE 10%: \$0.00
TOTAL COMPLETED LESS REATINAGE: \$591,373.71
LESS PREVIOUS CERTIFICATES OF PAYMENT: \$373,442.94
CURRENT PAYMENT DUE: \$217,930.77
CONTRACT TIME LIMIT DATE: October 1, 2024

ORDER NO.	DATE APPROVED	ADDITIONS	DEDUCTIONS
1	7/10/2024	\$52,429.90	
2			(\$38,139.45)
TOTALS		\$52,429.90	-\$38,139.45

NET CHANGE BY CHANGE ORDERS: \$14,290.45

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

CONTRACTOR:
BY: Jeffrey Creamer
Jeffrey Creamer - Capital Paving & Construction LLC.
DATE: 9-19-24

OWNER:
BY: _____

ENGINEER:
BY: [Signature]

MECO ENGINEERING COMPANY, INC.
ENGINEERS * SURVEYORS



2701 INDUSTRIAL DRIVE
JEFFERSON CITY, MO 65109

(573)893-5558

Pay Estimate No.3
2024 Boonville Roadway Imp

Page 2 of 2

PROJE	Description	Contract Quantity	Unit	Unit Price	Total	In Place Prev. Pay App	Installed This Period	\$ Installed This Pay App	Total in Place	Left to Finish	Unit
1	Mobilization	1	LS	\$ 30,800.00	\$ 30,800.00	0.8	0.2	\$6,160.00	\$30,800.00	0.0	LS
2	Traffic Control	1	LS	\$ 44,000.00	\$ 44,000.00	0.8	0.2	\$8,800.00	\$44,000.00	0.0	LS
3	Remove Improvements	115	SY	\$ 90.00	\$ 10,350.00	111	4	\$360.00	\$10,350.00	0.0	SY
4	Remove Improvements (Concrete)	447	SY	\$ 27.00	\$ 12,069.00	444	3	\$81.00	\$12,069.00	0.0	SY
5	Remove Improvements (Asphalt and Concrete)	635	SY	\$ 109.00	\$ 69,215.00	613	22	\$2,398.00	\$69,215.00	0.0	SY
6	Remove Unsuitable Materials	0	CY	\$ 75.00	\$ -	0	0	\$0.00	\$0.00	0.0	CY
7	Rock Backfill in Unsuitable Material Areas	0	CY	\$ 75.00	\$ -	0	0	\$0.00	\$0.00	0.0	CY
8	Subgrade Compaction	1,197	SY	\$ 3.25	\$ 3,890.25	1168	29	\$94.25	\$3,890.25	0.0	SY
9	Geotextile Separation Fabric	1,197	SY	\$ 3.70	\$ 4,428.90	1168	29	\$107.30	\$4,428.90	0.0	SY
10	6" Type 5 Aggregate	1,197	SY	\$ 48.00	\$ 57,456.00	1168	29	\$1,392.00	\$57,456.00	0.0	SY
11	Tack Coat	401	GAL	\$ 5.26	\$ 2,109.26	0	401	\$2,109.26	\$2,109.26	0.0	GAL
12	6" Plant Mix Bituminous Black Base	0	SY	\$ 106.00	\$ -	0	0	\$0.00	\$0.00	0.0	SY
13	1.5" Mill and Overlay Course	7,007	SY	\$ 15.50	\$ 108,608.50	0	7007	\$108,608.50	\$108,608.50	0.0	SY
14	2" Mill and Overlay Course	1,009	SY	\$ 21.00	\$ 21,189.00	0	1009	\$21,189.00	\$21,189.00	0.0	SY
15	10" Thk Reinforced PCC Pavement (High Early)	447	SY	\$ 152.00	\$ 67,944.00	444	3	\$456.00	\$67,944.00	0.0	SY
16	ADA Symbol	2	EA	\$ 100.00	\$ 200.00	0	2	\$200.00	\$200.00	0.0	EA
17	Pavement Marking	2,892	LF	\$ 3.15	\$ 9,109.80	0	2892	\$9,109.80	\$9,109.80	0.0	LF
18	Painted Crosswalk	6	EA	\$ 900.00	\$ 5,400.00	0	6	\$5,400.00	\$5,400.00	0.0	EA
19	Painted Stop Bar	10	EA	\$ 275.00	\$ 2,750.00	0	10	\$2,750.00	\$2,750.00	0.0	EA
20	Painted Arrow	11	EA	\$ 250.00	\$ 2,750.00	0	11	\$2,750.00	\$2,750.00	0.0	EA
21	Contingency	0	LS	\$ 40,000.00	\$ -	0	0	\$0.00	\$0.00	0.0	LS
22	Additional Removal of Material	1	LS	\$ 4,600.00	\$ 4,600.00	1	0	\$0.00	\$4,600.00	0.0	LS
23	10" Thk Reinforced PCC Pavement (High Early)	750	SY	\$ 172.00	\$ 129,000.00	724	26	\$4,472.00	\$129,000.00	0.0	SY
24	Unusable Milling Materials	688	TN	\$ 8.00	\$ 5,504.00	688	0	\$0.00	\$5,504.00	0.0	TN

Contract Total \$ 591,373.71

\$176,437.11 \$591,373.71

ORDINANCE APPROPRIATING MONEY

Be it Ordained by the Council of the City of Boonville as follows:

Section 1: For the purpose of paying salaries and various accounts against the City of Boonville, which have been allowed by the Council, at the regular meeting thereof on **October 7, 2024** the sum of **\$723,926.49**

General Fund	\$206,638.20
Sanitation	\$45,635.88
CIP Tax	\$80,349.92
Water Works	\$242,313.26
Capital Projects	\$0.00
Waste Water	\$104,635.57
Tourism	\$15,205.95
Gaming	\$15,688.56
Parks/Water	\$13,459.15
Kemper Sales Tax	\$0.00
Economic Development Projects	\$0.00

Section 2: The Accountant is hereby authorized and instructed to draw checks on the respective City bank accounts, in favor of the persons whose salaries and accounts have been allowed as above, amounting to **\$723,926.49** being the total amount of money above appropriated.

Section 3: This ordinance shall take effect and be in force from and after its passage. First reading on **October 7, 2024** read for the second time this **October 7, 2024** since a copy was made available prior to the meeting.

Approved **October 7, 2024** _____

Mayor

Endorsed **October 7, 2024** : I hereby certify that a sufficient sum of money stands to the credit of the City, unappropriated, in the various funds to meet the requirements of this ordinance.

Accountant

BILL NO. 2024-015

ORDINANCE NO. _____

**AN ORDINANCE OF THE CITY OF BOONVILLE, MISSOURI APPROVING THE
BOONE POINT PLAT 3, LOCATED ON ASHLEY ROAD ADJACENT TO ROLLING
HILLS PARK**

WHEREAS, The developer, through its professional consulting firm, has made an application for approval of its final plat for Boone Point Plat 3; and

WHEREAS, City staff, including the City Engineer, Building Inspector, Public Works Director, and the City Administrator met and communicated with project engineers and planners to work out all the details and site planning to ensure that plans are in compliance with the City's zoning ordinances and planning standards; and

WHEREAS, the developers of Boone Point had already submitted and received approval from City Council on a Preliminary Plat on March 15th, 2021, Ordinance No. 4555, after review and recommendation of approval by Planning and Zoning at their February 9, 2021 meeting; and

WHEREAS, the developers of Boone Point had already submitted and received approval from City Council on Boone Pointe Final Plat 1 on September 7th, 2021, Ordinance No. 4567, after review and recommendation of approval by Planning and Zoning at their August 10, 2021 meeting; and

WHEREAS, the Planning and Zoning Commission voted on September 10, 2024 to approve Plat 3, attached hereto and marked as **Exhibit A** Said final plat is incorporated herein as if set forth fully in this ordinance; and

WHEREAS, the City Council is required to approve this final plat before it may be recorded, in accordance with Section 89.400.1, RSMo.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE

CITY OF BOONVILLE, MISSOURI AS FOLLOWS:

SECTION 1: That the Plat 3 for Boone Point Subdivision, **Exhibit A**, should be and is hereby approved.

SECTION 2: This ordinance shall take effect and be in full force from passage of this ordinance and the approval granted herein shall be valid for a period not to exceed 12 months thereafter.

READ FOR THE FIRST TIME THE 16th DAY OF SEPTEMBER 2024 AND PASSED THIS 7TH DAY OF OCTOBER, 2024, AFTER A COPY OF THIS ORDINANCE AND REFERENCED FINAL PLAT HAS BEEN MADE AVAILABLE FOR PUBLIC INSPECTION PRIOR TO ITS PASSAGE.

PRESIDENT OF THE COUNCIL

APPROVED THIS 7TH DAY OF OCTOBER, 2024

ANDREW COWHERD, MAYOR PRO TEM

ATTEST:

AMBER DAVIS, CITY CLERK

BILL NO: 2024-16

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF BOONVILLE, MISSOURI APPROVING THE FINAL SITE PLAN FOR 512 INVESTMENTS, LLC, LOCATED AT 1290 LOCUST STREET, BOONVILLE, COOPER COUNTY, MISSOURI; PROVIDING AN EFFECTIVE DATE THEREFORE AND REPEALING ALL ORDINANCES IN CONFLICT WITH THIS ORDINANCE.

WHEREAS, 512 Investments, LLC, is proposing to construct a building at 1290 Locust Street; and

WHEREAS, City staff met and communicated with 512 Investments, LLC to discuss the proposed development plan; and

WHEREAS, The final plan was considered at the Planning and Zoning Commission meeting on September 10, 2024. The plans include **Exhibit A**, herein incorporated, and attached hereto this ordinance. The Commission has recommended their approval by the Council, including a variance for a partial gravel parking lot located on the west and south portion of the parking lot. Said site plans are incorporated herein as if set forth fully in this ordinance; and

WHEREAS, the City Council has evaluated the site plans for compatibility with the use of abutting sites, the safety and convenience of vehicle and pedestrian traffic and in view of the potential economic benefit to the City of Boonville and finds them to be appropriate to further economic development of the City of Boonville.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BOONVILLE, MISSOURI AS FOLLOWS:

SECTION 1: That the final plan as shown and indicated in **Exhibit A**, attached hereto, and made a part hereof, located at 1290 Locust Street in the City of Boonville, Cooper County, Missouri should be and is hereby approved.

SECTION 2: This ordinance shall take effect and be in full force from and after its passage; and approval granted herein shall be valid for a period not to exceed 12 months thereafter.

READ FOR THE FIRST-TIME 16th DAY OF SEPTEMBER 2024

READ FOR THE SECOND TIME THIS 7TH DAY OF OCTOBER 2024, AFTER A COPY OF THIS ORDINANCE AND REFERENCED PLANS HAVE BEEN MADE AVAILABLE FOR PUBLIC INSPECTION PRIOR TO ITS READING.

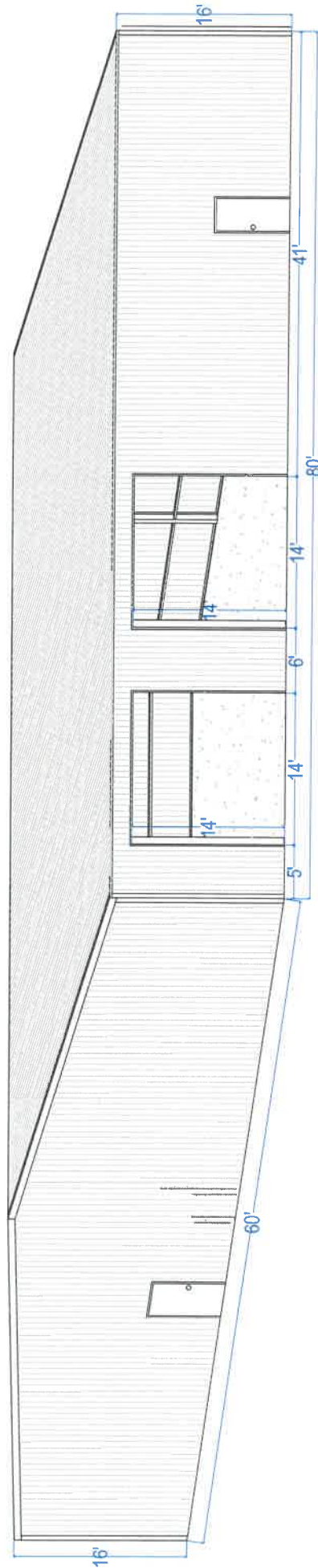
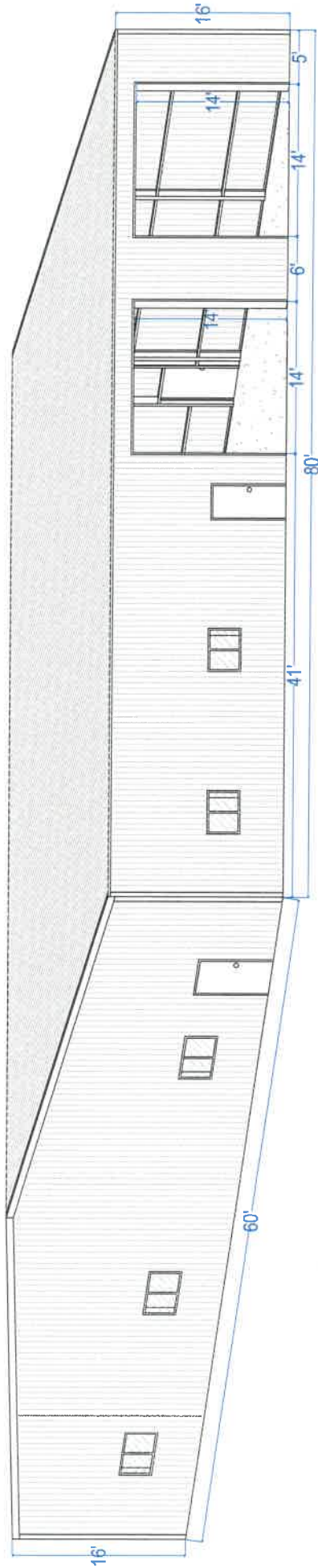
PRESIDENT OF THE COUNCIL

APPROVED THIS 7TH DAY OF OCTOBER 2024

Andrew Cowherd, Mayor Pro Tem

ATTEST:

Amber Davis, City Clerk



**MECHANICAL - ELECTRICAL - PLUMBING DESIGN DRAWINGS FOR:
1270 Locust Street**

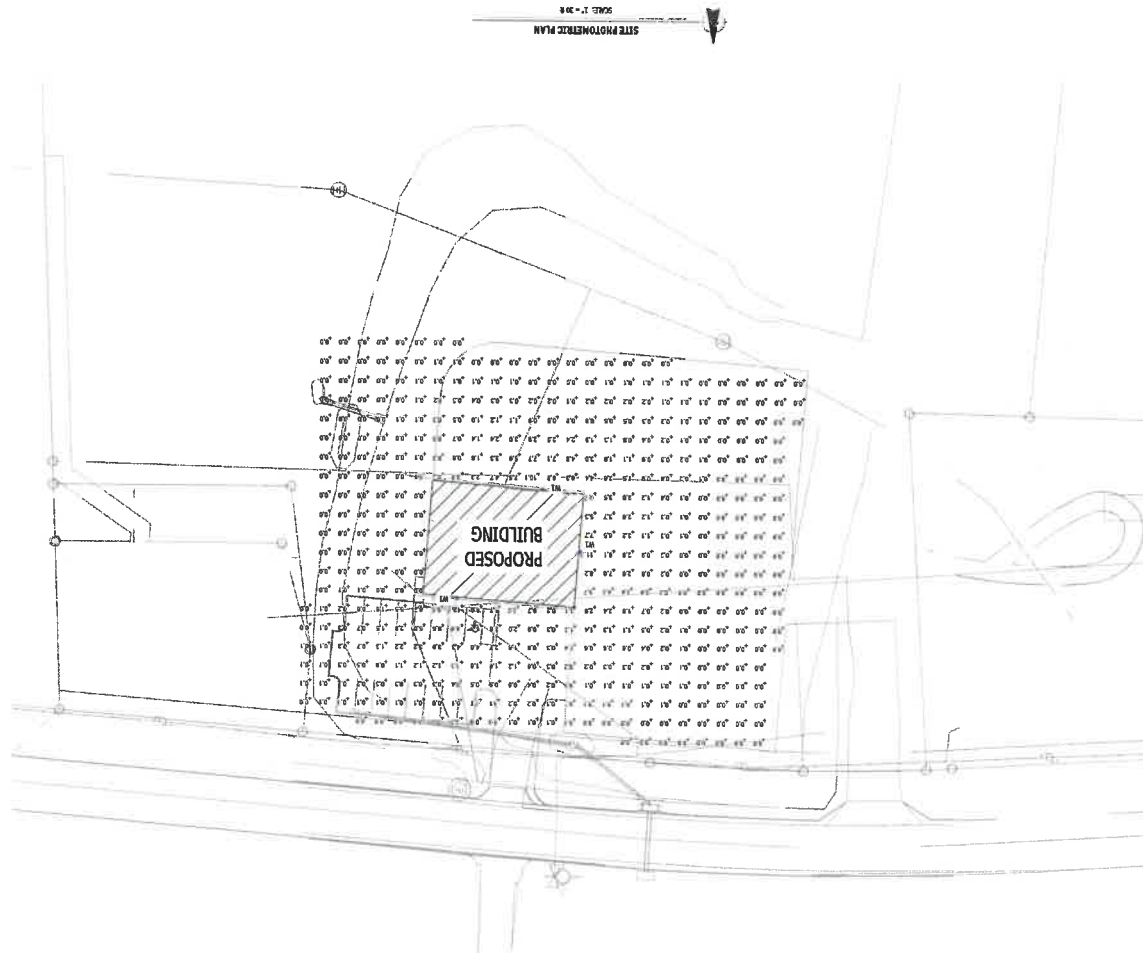
**1270 Locust St.
Boonville, Cooper County, MO 65233**

DATE	08 - 26 - 2004
ISSUE TITLE	
22 DESIGNER	
22 PROJECT NO.	12330

J-SQUARED ENGINEERING
2400 Hill Creek Drive, Suite 101
Columbia, Missouri 65201
573.234.4492
www.j-squared.com



James Whelan, P.E.
August 26, 2024
(E-201501/071)
(H) Certificate of Authority # 2018029680

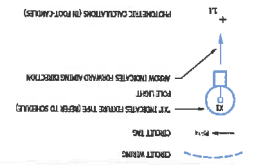


SITE PHOTOMETRIC PLAN
SCALE: 1" = 30'

[illegible]

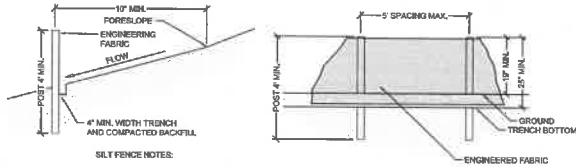
SITE LIGHTING PLAN GENERAL NOTES:

1. ALL PHOTOGRAPHIC WALLS SHALL HAVE BEEN CALCULATED FOR SPECIFIC LIGHT FIXTURES AS INDICATED HEREIN. ALL OTHER WALLS AND CEILING SHALL BE CALCULATED FOR 100 WATT INCANDESCENT WALL MOUNTED LIGHT FIXTURES. ALL WALL MOUNTED LIGHT FIXTURES SHALL BE 100 WATT INCANDESCENT. ALL WALL MOUNTED LIGHT FIXTURES SHALL BE 100 WATT INCANDESCENT. ALL WALL MOUNTED LIGHT FIXTURES SHALL BE 100 WATT INCANDESCENT.
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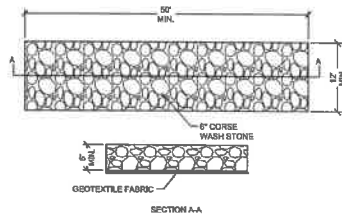
KEY NOTES

1. INSTALL SILT FENCE ALONG SLOPES, AT THE BASE OF SLOPES, AND AROUND THE PERIMETER OF DISTURBANCE EXTENT 5 PER DETAIL C002.
2. INSTALL "BUTTERBUDDY" FILTRATION DEVICES AT CURB INLETS/STORM DRAINS. SHOULD BE A MINIMUM OF 1' LONGER THAN CURB OPENING.
3. INSTALL 3" CRUSHED STONE FOR CONSTRUCTION EXIT 8" THICK X 12" W X 60" L. ALL CONSTRUCTION TRAFFIC SHALL LEAVE THE SITE VIA THIS EXIT PER DETAIL C002.
4. 20' X 30' X 2' MIN. CONCRETE WASHOUT FACILITY. THE WASHOUT FACILITY IS TO BE LINED WITH A PLASTIC LINING MATERIAL (10 MIL. POLYETHYLENE SHEETING MIN.) FREE OF HOLES, TEARS, OR OTHER DEFECTS. WASHOUT FACILITIES MUST BE CLEANED, OR NEW FACILITIES MUST BE CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL. A SIGN SHALL BE INSTALLED ADJACENT TO FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
5. DETENTION BASIN TO BE USED AS SEDIMENT TRAP DURING CONSTRUCTION. BASIN DRAIN APPROXIMATELY 0.03 ACRES. REQUIRED VOLUME FOR SEDIMENT BASIN IS 3,350 CU YD. PROPOSED SIZE IS 10.825 CU YD. SEDIMENT IN BASIN TO BE REMOVED WHEN BASIN IS APPROXIMATELY 50% FULL OF SEDIMENT. SEE OUTLET DETAIL AT DETENTION STRUCTURE FOR EROSION CONTROL C002.
6. ROCK DITCH CHECK PER DETAILS C002.

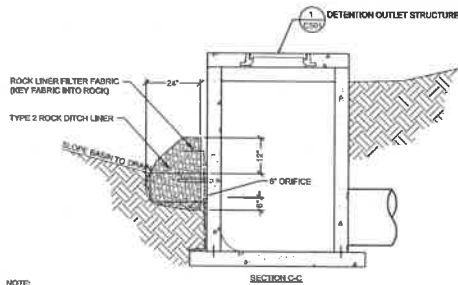


1. MINIMUM LONGITUDINAL SPLICE OVERLAP SHALL BE 2' WITH A POST AT EACH END. SECURE FABRIC TO POSTS.
2. SUPPORT FENCE REQUIRED WITH SILT FENCE AROUND DROP INLET OR WHEN USED ACROSS DITCH.
3. INSTALL AROUND INLETS AND ADDITIONAL CUT AREAS.

1
C002 SILT FENCE



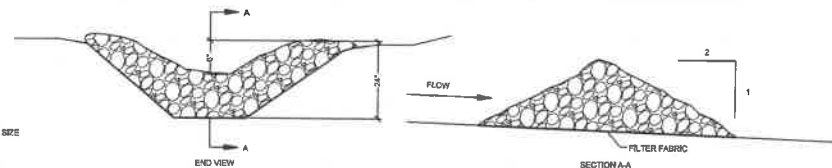
2
C002 CONSTRUCTION ENTRANCE



NOTE:

1. ROCK LINER FILTER FABRIC SHALL CONSIST OF A NON-WOVEN, POLYPROPYLENE TYPE FABRIC. AMOCO 4533 NON-WOVEN GEOTEXTILE FABRIC OR APPROVED EQUAL.
2. ROCK TO BE TYPE 2 ROCK DITCH LINER TYPE 2 ROCK DITCH LINER SHALL CONSIST OF A MATERIAL WITH A PREDOMINANT ROCK SIZE OF 6 INCHES AND A MAXIMUM ROCK SIZE OF 10 INCHES. NO MORE THAN 15% WILL BE LESS THAN 3 INCHES.
3. DETENTION BASIN TO BE UTILIZED AS A SILT BASIN DURING CONSTRUCTION. SILT BASIN TO BE CHECKED FOR SEDIMENT AFTER PERIODS OF SIGNIFICANT RAINFALL. REMOVE SEDIMENT AND RESTORE TO ORIGINAL DIMENSIONS. CHECK EMERGENCY SPILLWAY, DRAINAGE SWALE AND BASIN FOR EROSION DAMAGE AND REPAIR AS NECESSARY.
4. AFTER CONSTRUCTION IS COMPLETE AND SITE HAS APPROXIMATELY 10% VEGETATIVE COVERAGE ESTABLISHED, RESTORE SILT BASIN TO FINAL DESIGN GRADE AND REMOVE EXTENTS OF TYPE 2 ROCK AND FILTER FABRIC AT STRUCTURE FACE TO MATCH FINAL OUTLET STRUCTURE DETAIL (C002).

3
C002 SILT BASIN PROTECTION

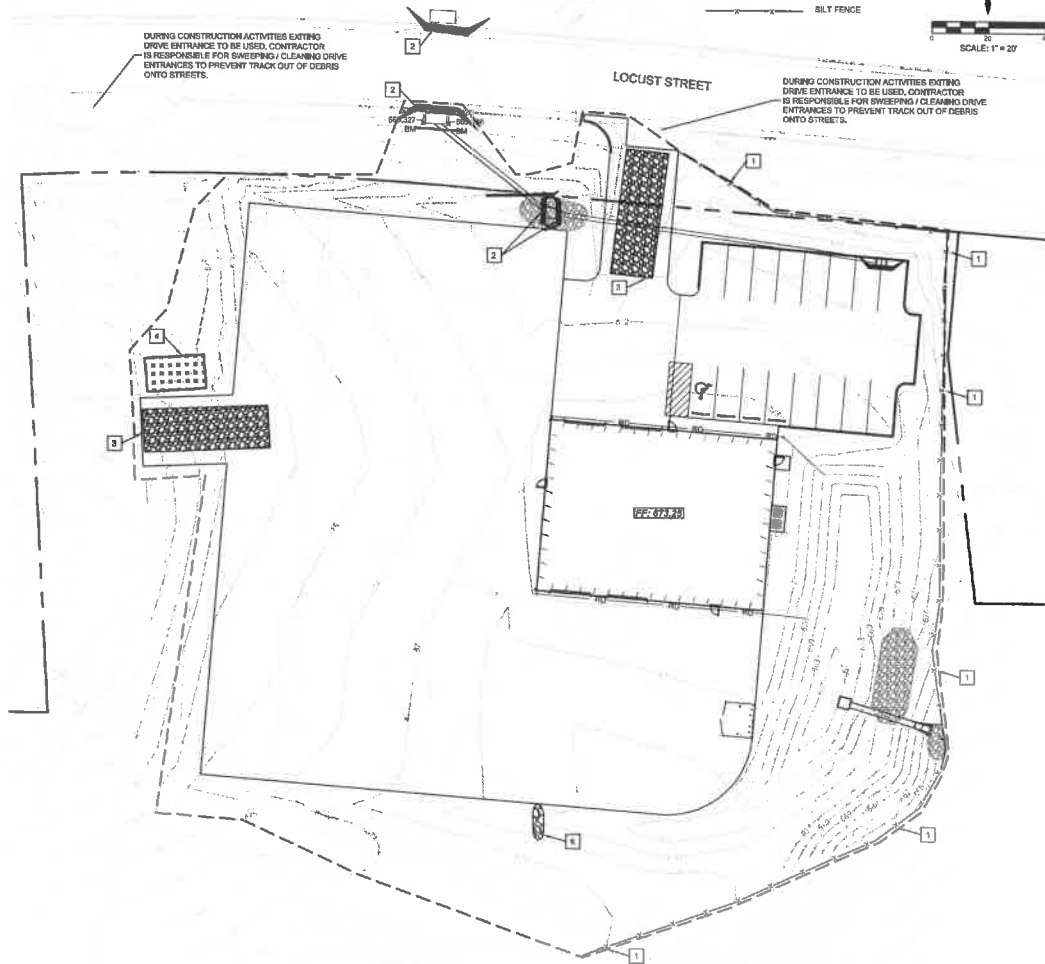


1. MODOT TYPE 2 ROCK DITCH CHECK MAY BE SUBSTITUTED FOR THIS DETAIL.

4
C002 ROCK DITCH CHECK

LEGEND

- LIMITS OF DISTURBANCE
- SILT FENCE



MISSOURI CERTIFICATE OF AUTHORITY NO. C-20570-0008
EXPIRES DECEMBER 31, 2023

NOTICE: SEE WAKES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND THE ENGINEERING INVENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM FAILURE TO OBTAIN AND/OR FOLLOW THE ENGINEER'S GUIDANCE WITH RESPECT TO ANY EROSION, CHANGING, INCONVENIENCES, AMBULANCES, OR CONFLICTS WHICH ARE ALLEGED.

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08/28/2024

Kennan K. Simon
MICHIGAN LICENSE NO. 201807002
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2024

8/28/2024

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		

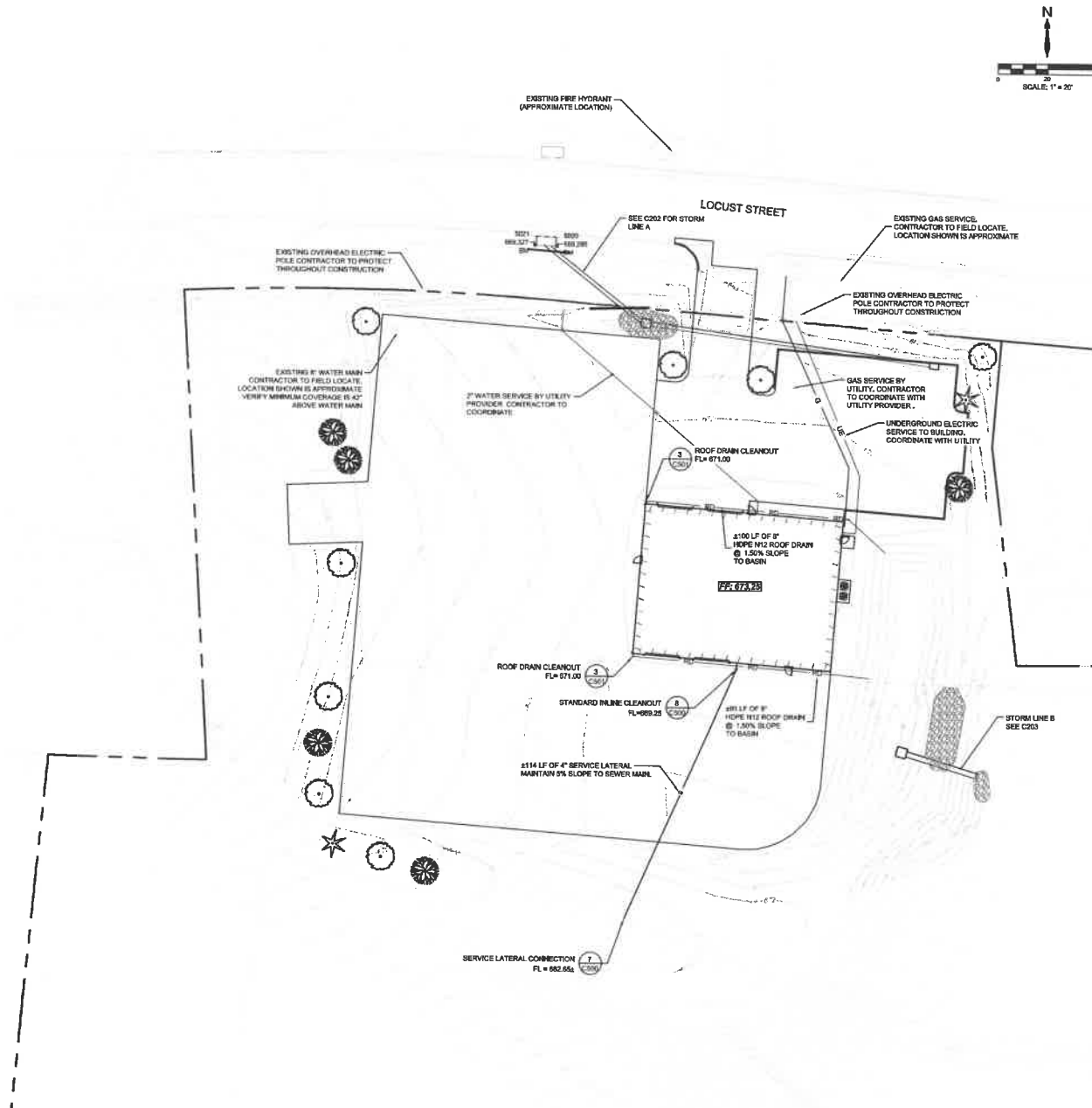
MICHAEL HOLDEN
1290 LOCUST STREET
BOONVILLE, MO

ENGINEER
KOS
CHECKED BY
KOS

DRAWN BY
TSA
SSE PROJECT #
24085
EROSION CONTROL PLAN
SHEET NO.
C002 02 of 13

UTILITY NOTES:

1. LOCATION OF ALL SITE UTILITIES SHALL BE VERIFIED BY CONTRACTOR AND THE PROPER UTILITY COMPANY PROVIDING SERVICE.
2. CONTRACTOR WILL BE RESPONSIBLE FOR ALL TAP AND TIE-ON FEE REQUIRED.
3. CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL UTILITIES WITH THE CORRESPONDING UTILITY COMPANY PROVIDING SERVICE.
4. ALL PVC CONDUIT SHALL BE SCHEDULE 40 WITH LONG SWEEPS ONLY (36" MINIMUM RADIUS) AND CONTAIN PULLTAPE, UNLESS OTHERWISE NOTED.
5. ALL UNDERGROUND UTILITY CONDUITS SHALL BE PLACED 4" BELOW FRESH GRADE UNLESS NOTED OTHERWISE.
6. ALL WATER AND SANITARY LEADS TO BUILDING SHALL END & OUTSIDE THE BUILDING LIMITS AS SHOWN ON THE PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END.
7. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS, BACKFILL OF TRENCHES THROUGH ANY IMPROVED AREAS, SUCH AS STREET, DRIVES, OR PARKING LOT (PAVED) AREAS SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY (ASTM D698).
8. REFER TO MEP FOR EXACT SIZE AND LOCATION OF ALL UTILITY CONNECTIONS AT BUILDING.
9. ALL PROPOSED SANITARY SEWER LINES ARE PRIVATE UNLESS OTHERWISE NOTED.
10. SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT "SANITARY SEWER SPECIFICATIONS AND STANDARDS" FOR THE CITY OF BOONVILLE, MISSOURI.
11. ALL SANITARY LATERALS SHALL BE CONSTRUCTED AT 2% MINIMUM SLOPE.
12. ALL GAS LINES SHALL BE INSTALLED BY AMEREN MISSOURI AFTER GRADING IS COMPLETE. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF GRANULAR BACKFILL UNDER PAVEMENTS AND BACKFILL COMPACTION AFTER GAS LINE INSTALLATION.
13. ALL DOWNSPOUTS TO BE ROUTED TO DETENTION BASIN.



MISSOURI CERTIFICATE OF AUTHORITY NO. E-20170100M
EXPIRES: DECEMBER 31, 2023

NOTED:
SSE WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND THE ENGINEERING INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM FAILURE TO OBTAIN AND/OR FOLLOW THE ENGINEERING GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE ALLEGED.

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08/28/2024

Keenan K. Simon
M.O.C.E. 2019017882
MY LICENSE EXPIRES DATE: 8 DECEMBER 31, 2024

8/28/2024

REVISIONS

MICHAEL HOLDEN
1290 LOCUST STREET
BOONVILLE, MO

DESIGNER: KOS
CHECKED BY: KOS
DRAWN BY: TRA
SSE PROJECT #: 24025

UTILITY PLAN
DRAWING NO. C100
SHEET NO. 04 OF 13

PARKING CALC.

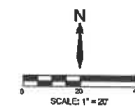
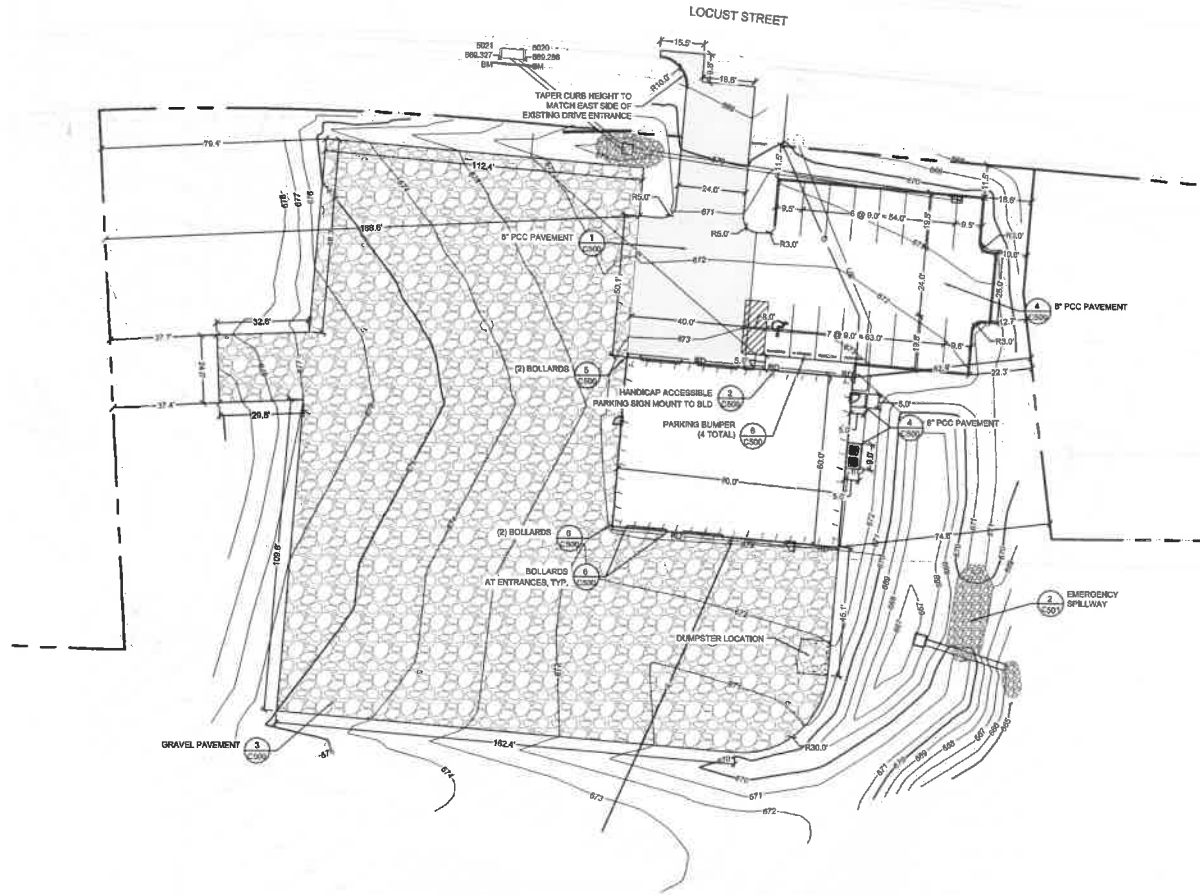
C: 1 PER / 300SF
 4,800SF / 300SF = 16
 16 SPACES REQUIRED, 1 ADA ACCESSIBLE
 16 SPACES PROVIDED, 1 ADA ACCESSIBLE

NOTES:

1. PARKING BLOCKOUT: 4" YELLOW STRIPES @ 11" CTS, BORDER AND HATCH.
2. PARKING STRIPES: 4" YELLOW STRIPES
3. ADA ACCESSIBLE STALL AND UNLOADING AREA: 4" BLUE STRIPES FOR STALL AND 18" DIAGONAL STRIPES @ 18" CTS.

SITE UTILITY NOTES:

1. LOCATION OF ALL SITE UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO ANY EXCAVATION.
2. ALL TAP AND TIE ON FEES ARE TO BE PAID BY CONTRACTOR.
3. CONTRACTOR TO LOCATE BOLLARDS ON EACH SIDE OF ANY INSTALLED OVERHEAD DOOR.
4. CONTRACTOR TO RESTORE YARD BY SEEDING AND MULCHING WITH STRAW AND/OR SOG. OWNER TO REVIEW FOR ACCEPTANCE AFTER WORK IS COMPLETED.
5. ALL EXCAVATION TO BE IN ACCORDANCE WITH SECTIONS 316.010-316.090, REVISED STATUTES OF THE STATE OF MISSOURI. SUCH COMPLIANCE SHALL NOT, HOWEVER, EXCUSE ANY PERSON MAKING ANY EXCAVATION FROM DOING SO IN A CAREFUL AND PRUDENT MANNER. NO SHALL IT EXCUSE SUCH PERSON FROM LIABILITY FOR ANY DAMAGE OR INJURY TO UNDERGROUND UTILITIES RESULTING FROM THE EXCAVATION.



MISSOURI CERTIFICATE OF AUTHORITY NO. E-021713008
 EXPIRES: DECEMBER 31, 2023

NOTICE: THE USER ASSUMES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR THE USE OF THESE PLANS, SPECIFICATIONS, AND THE INFORMATION INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM FAILURE TO OBTAIN AND/OR FOLLOW THE ENGINEER'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE ALLEGED.

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08/28/2024

Kieran K. Blinn
 MISSOURI LICENSE NO. 18100
 ANY LICENSE VIOLATION, DATE OF EXPIRATION: 11, 2024

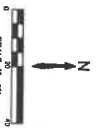
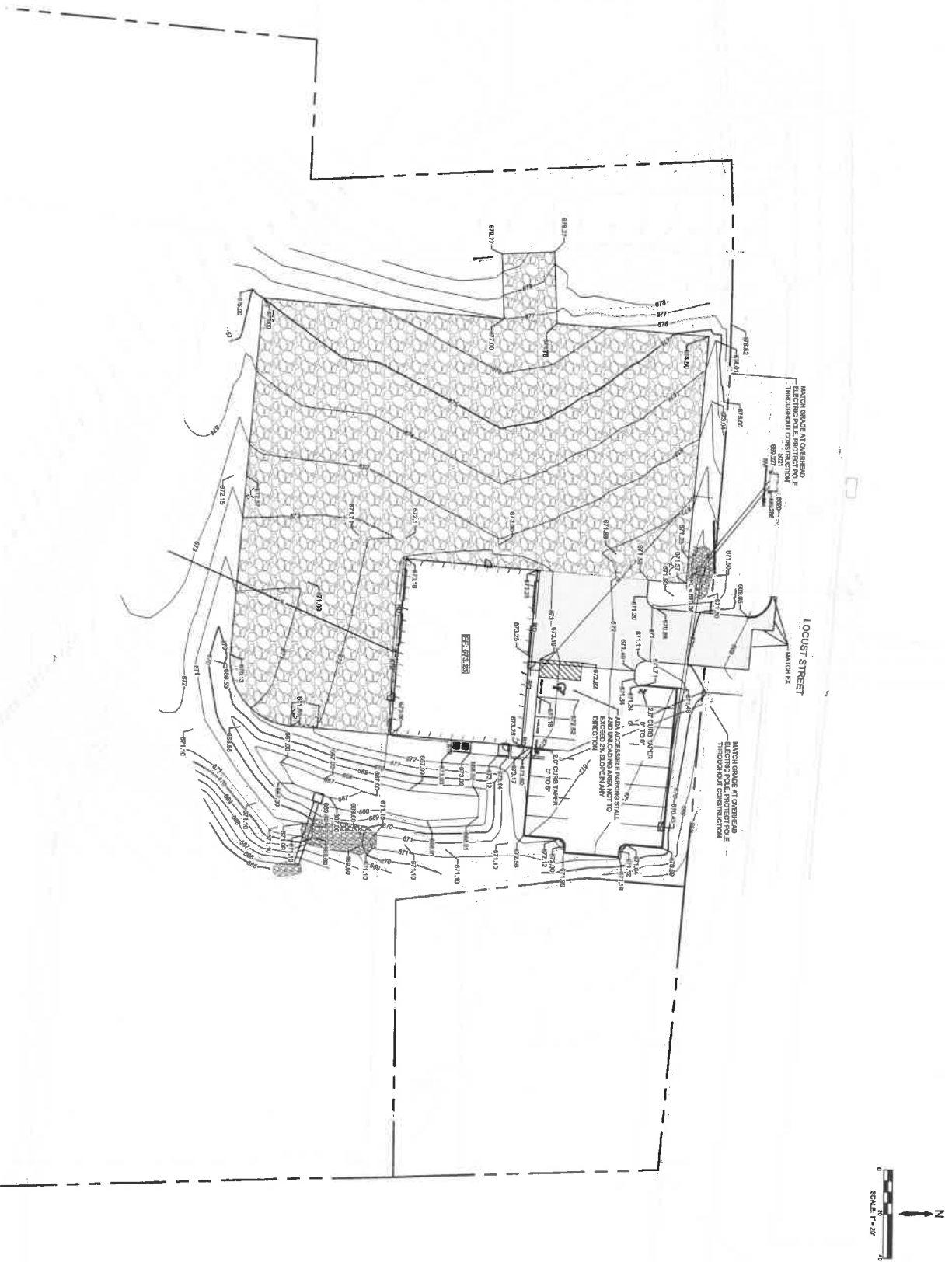
8/28/2024

REVISIONS

MICHAEL HOLDEN
1290 LOCUST STREET
BOONVILLE, MO

ENGINEER: JKS
 CHECKED BY: JKS
 DESIGNED BY: JKS
 DRAWN BY: JKS
 SSC PROJECT #: 24085

SITE PLAN
 SHEET NO. **C101** OF **13**



MICHAEL HOLDEN
1290 LOCUST STREET
BOONVILLE, MO

ENGINEER
 JCS
 TMA
 CHECKED BY
 SEE PROJECT #
 24085
GRADING PLAN
 SHEET NO.
C102 06 OF 13

Michael C. Holden
 6/29/2024
 01/28/2024



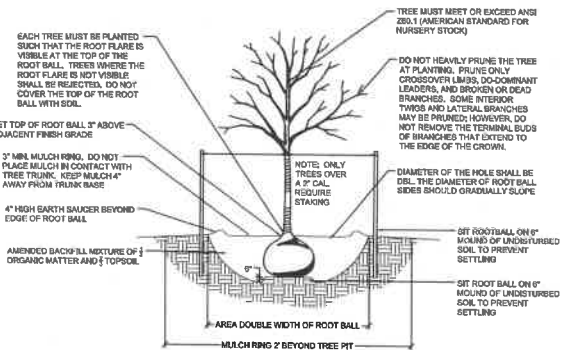
SS&E
 CONSULTING ENGINEERS
 10000 Locust Street
 Boonville, MO 64609
 (417) 938-1111
 www.sse-engineers.com
 NOTICE: THIS PLAN IS THE PROPERTY OF SS&E CONSULTING ENGINEERS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SS&E CONSULTING ENGINEERS. ANY VIOLATION OF THIS NOTICE SHALL BE SUBJECT TO LEGAL ACTION.

LAND USE TABLE	
TOTAL FLOOR AREA	4,800 SQ. FT.
LAND AREA	122,877 SQ. FT.
PARKING SPACES	10 SPACES
OPEN SPACE	81,347 SQ. FT.
LAND USE	42,629 SQ. FT.
INTENSITY	0.65

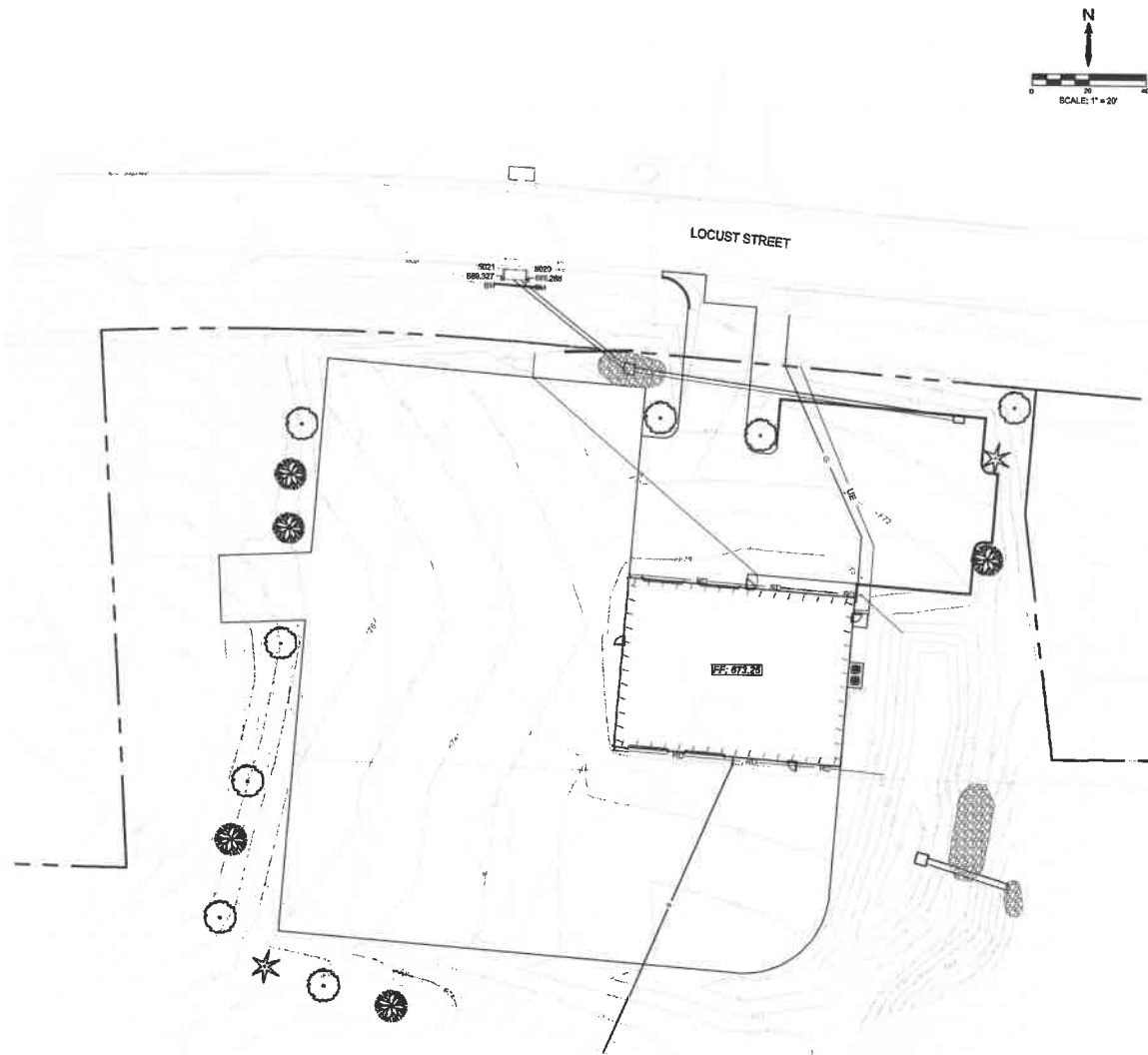
30% PARKING AREA: 0.18 ACRES				
SYMBOL	TREE TYPE	SPREAD SIZE	QUANTITY	TOTAL SPREAD
	SWAMP WHITE OAK	0.03 ACRES	2	0.18 ACRES
	PIN OAK	0.03 ACRES	8	0.24 ACRES
	EASTERN REDBUD	0.01 ACRES	8	0.08 ACRES
TOTAL:				0.47 ACRES

PLANTING GENERAL NOTES

- ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF PROJECT ACCEPTANCE.
- PROVIDE 3-INCH DEPTH SHREDDED HARDWOOD MULCH AROUND ALL PLANTINGS TO A MIN. 6-FOOT DIAMETER. DO NOT PLACE MULCH WITHIN 2-INCHES OF ROOT COLLAR OR TRUNK.
- DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
- TREE OR SHRUB SHALL STAND PLUMB.
- CONTRACTOR TO SEED OR SOO ALL AREAS DISTURBED BY CONSTRUCTION WITH LAWN SEED MIXTURE SPECIFIED UNLESS NOTED OTHERWISE.
- CONTRACTOR TO PROVIDE A 4" DEPTH CLEAN VERTICAL CUT EDGE TO DEFINE MULCH PLANTING BED LIMITS.
- PLANTS SHALL BE TRUE TO SPECIES, SIZE AND VARIETY SPECIFIED. SUBSTITUTIONS OF PLANT MATERIALS WILL NOT BE PERMITTED UNLESS AUTHORIZED IN WRITING BY THE ENGINEER.
- PLANT MATERIAL SHALL BE SPECIMEN QUALITY, HEALTHY, FREE OF DISEASE AND INSECTS AND SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. PLANTS SHALL ALSO BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT VIGOROUS GROWTH.
- PROVIDE NURSERY GROWN PLANTS GROWN IN THE SAME CLIMATIC ZONE AS THE PROJECT.
- ALL GRASS, VEGETATION AND TREES LISTED ARE TO BE NATIVE OR REGIONALLY APPROPRIATE. (NABP)



1
L100 TREE PLANTING DETAIL



MISSOURI CERTIFICATE OF AUTHORITY NO. E-2017-07-0086 EXPIRES: DECEMBER 31, 2023

NOTICE: THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR FOR THE RESULTS OF THE ENGINEER'S ANALYSIS OR DESIGN. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR FOR THE RESULTS OF THE ENGINEER'S ANALYSIS OR DESIGN. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS.

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Kenneth K. Simon
MO-PE 2018017682
EXPIRES: DECEMBER 31, 2024

8/28/2024

REVISIONS	
1	
2	
3	
4	
5	

MICHAEL HOLDEN
1290 LOCUST STREET
BOONVILLE, MO

ENGINEER: KKS
CHECKED BY: KKS
DRAWN BY: TBA
SSE PROJECT #: 24085
LANDSCAPE PLAN
DRAWING NO. L100
SHEET NO. 13 OF 13

BILL NO: 2024-17

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF BOONVILLE, MISSOURI APPROVING THE FINAL SITE PLAN FOR HUEBERT FIBERBOARD LOCATED AT 1545 EAST MORGAN STREET, BOONVILLE, COOPER COUNTY, MISSOURI; PROVIDING AN EFFECTIVE DATE THEREFORE AND REPEALING ALL ORDINANCES IN CONFLICT WITH THIS ORDINANCE.

WHEREAS, Huebert Fiberboard is proposing to construct a new office building at 1545 East Morgan Street; and

WHEREAS, City staff met and communicated with Huebert Fiberboard to discuss the proposed development plan; and

WHEREAS, The final plan was considered at the Planning and Zoning Commission meeting on September 10, 2024. The plans include **Exhibit A**, herein incorporated, and attached hereto this ordinance. The Commission has recommended their approval by the Council and said site plans are incorporated herein as if set forth fully in this ordinance; and

WHEREAS, the City Council has evaluated the site plans for compatibility with the use of abutting sites, the safety and convenience of vehicle and pedestrian traffic and in view of the potential economic benefit to the City of Boonville and finds them to be appropriate to further economic development of the City of Boonville.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BOONVILLE, MISSOURI AS FOLLOWS:

SECTION 1: That the final plan as shown and indicated in **Exhibit A**, attached hereto, and made a part hereof, located at 1545 East Morgan Street in the City of Boonville, Cooper County, Missouri should be and is hereby approved.

SECTION 2: This ordinance shall take effect and be in full force from and after its passage; and approval granted herein shall be valid for a period not to exceed 12 months thereafter.

READ FOR THE FIRST-TIME 16th DAY OF SEPTEMBER 2024

READ FOR THE SECOND TIME THIS 7TH DAY OF OCTOBER 2024, AFTER A COPY OF THIS ORDINANCE AND REFERENCED PLANS HAVE BEEN MADE AVAILABLE FOR PUBLIC INSPECTION PRIOR TO ITS READING.

PRESIDENT OF THE COUNCIL

APPROVED THIS 7TH DAY OF OCTOBER 2024

Andrew Cowherd, Mayor Pro Tem

ATTEST:

Amber Davis, City Clerk

HUEBERT FIBERBOARD

LOCATION MAP



PROJECT BENCHMARK:

THE #1 - EXISTING SANITARY SEWER MANHOLE LOCATED APPROXIMATELY 50' SOUTHWEST OF EXISTING OFFICE BUILDING.

FLOOD PLAN STATEMENT:

NO PART OF THIS TRACT IS LOCATED WITHIN THE 100-YEAR FLOODPLAIN AS PER THE COOPER COUNTY FIRM MAP #200502010C DATED 02/03/2011.

UTILITY COMPANIES:

LOCATES:

MISSOURI ONE CALL INC.
1002 S HORTENBUSH DRIVE
JEFFERSON CITY, MO 65101
1-800-344-7425



WATER:

CITY OF BOONVILLE
1500 LOCUST STREET
BOONVILLE, MO 65013
800-882-5479

ELECTRIC:

AMEREN MISSOURI
2001 INDIAN AVENUE
COLEMAN, MO 65203
314-411-2872

SANITARY SEWER:

CITY OF BOONVILLE
1500 LOCUST STREET
BOONVILLE, MO 65013
800-882-5479

GENERAL NOTES:

ALL STREET, STORM DRAIN, AND SANITARY SEWER CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF BOONVILLE SPECIFICATIONS AND STANDARDS (CURRENT EDITION).

CONTRACTOR WILL BE RESPONSIBLE FOR PLACEMENT AND MAINTENANCE OF TRAFFIC CONTROL DEVICES NECESSARY TO COMPLETE THEIR PORTION OF WORK. THE SERVICES AND METHODS EMPLOYED WILL COMPLY WITH THE CURRENT VERSION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

THIS SITE PLAN CONTAINS APPROXIMATELY 12 ACRES.

THIS TRACT IS ZONED M-1.

THE STORM SEWER NETWORK DESIGN FOR THIS PROJECT IS BASED ON OPEN CHANNEL FLOW; THEREFORE THE HYDRAULIC GRADE LINE IS AT OR LESS THAN THE CROWN OF THE PIPE.

EXISTING UTILITIES SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL COORDINATE LOCATES (HORIZONTAL AND VERTICAL) PRIOR TO ANY EXCAVATION.

ALL EXCAVATION TO BE IN ACCORDANCE WITH SECTION 31.07.01-31.07.02, REVERED STATUTES OF THE STATE OF MISSOURI. SUCH COMPLIANCE SHALL NOT, HOWEVER, EXCUSE ANY PERSON MAKING ANY EXCAVATION FROM DOING SO IN A CAREFUL AND PRESENT MANNER, NOR SHALL IT EXCUSE SUCH PERSON FROM LIABILITY FOR ANY DAMAGE OR INJURY TO UNDERGROUND UTILITIES RESULTING FROM THE EXCAVATION.

A GEOTECHNICAL EVALUATION OF THE SUBSURFACE SOIL, DRAINAGE CONDITIONS, AND A SLOPE STABILITY ANALYSIS HAS NOT BEEN PERFORMED BY THIS ENGINEER. THE OWNER SHALL VERIFY THE RESULTS OF ALL GEOTECHNICAL CONDITIONS PRIOR TO ANY CONSTRUCTION.

ALL LAND DISTURBANCE ACTIVITIES SHALL BE IN ACCORDANCE WITH THE CITY OF BOONVILLE CODE OF ORDINANCES.

ANY FILL PLACEMENT WITHIN STREET RIGHT-OF-WAY SHALL BE INSPECTED BY THE CITY OF BOONVILLE.

ALL SLOPES ARE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.

IT IS THE INTENT OF THESE PLANS TO COMPLY WITH THE REQUIREMENTS OF THE MAJOR CLEAN WATER COMMISSION.

ALL DISTURBED AREAS WITHIN THE "LIMITS OF DISTURBANCE" SHALL BE FINE GRADED, SEEDING, AND MULCHED.

THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL DEVICES AND REMOVING THEM ONCE THE SITE IS STABILIZED.

ALL EXCAVATION WITHIN THE STREET RIGHT-OF-WAY SHALL BE SHOULDERED PER CURRENT CITY OF BOONVILLE SPECIFICATIONS.

ALL STORM PIPE SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. REFER TO DETAIL FOR PIPE BEDDING REQUIREMENTS.

LAND DISTURBANCE SITES SHOULD BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 48 HOURS AFTER ANY STORM EVENT EQUAL TO OR GREATER THAN A 2-YEAR, 24-HOUR STORM HAS CEASED DURING A NORMAL WORK DAY OR WITHIN 72 HOURS IF THE RAIN EVENT CEASES DURING A NON-WORK DAY SUCH AS A WEEKEND OR HOLIDAY. ANY DEFICIENCIES SHALL BE NOTED IN A WEEKLY REPORT OF THE INSPECTION AND CORRECTED WITHIN SEVEN CALENDAR DAYS OF THE REPORT.

FINAL DISTURBED AREA ON SITE - 0.40 AC.

MISSOURI DRY LAND DISTURBANCE PERMIT NUMBER IS NOT REQUIRED FOR THIS PROJECT.

STORMWATER NOTE:

THE PROPOSED REDEVELOPMENT WILL ADD APPROXIMATELY 722 S.F. OF ADDITIONAL IMPERVIOUS AREA ADDED TO THE SITE. THE INCREASE IN STORMWATER RUNOFF FOR A 25-YEAR STORM EVENT WILL BE 0.00 CFS. THE AMOUNT OF INCREASE IN RUNOFF SHOULD HAVE NO IMPACT ON NEIGHBORING PROPERTIES. THEREFORE, NO ADDITIONAL STORMWATER MEASURES WERE PROVIDED FOR THE REDEVELOPMENT OF THIS SITE.

SHEET INDEX

SHEET NUMBER	SHEET TITLE	ORIGINAL 08/07/2024	CITY COMMENTS 08/26/2024
CE 0	COVER SHEET	X	X
CE 1	DEMOLITION PLAN	X	X
CE 2	EROSION CONTROL PLAN	X	
CE 3	GRADING PLAN	X	
CE 4	UTILITY PLAN	X	
CE 5	STORM SEWER PROFILE & DETAILS	X	
CE 6	SITE PLAN	X	X
CE 7	SITE CONSTRUCTION DETAILS SHEET	X	X
CE 8	SITE CONSTRUCTION DETAILS CONT.	X	
CE 9	PRIVATE CONSTRUCTION SPECIFICATIONS	X	
CE 10	LANDSCAPING PLAN		X
MEP2	SITE UTILITIES PLAN		X
A&D	BUILDING ELEVATIONS		X

LEGEND OF SYMBOLS:

---	EXISTING CURB	FF-XXXX	FISHED FLOOR OF STRUCTURE
---	PROPOSED CURB	XXXXX TP	PROPOSED TOP OF CURB ELEVATION
XXXXXX	IMP IMP	XXXXX TP	PROPOSED TOP OF FINISHMENT ELEVATION
---	EXISTING STRUCTURE	XXXXX TP	PROPOSED FINISHED GRADE ELEVATION
---	EXISTING TIE LINE	XXXXX TP	PROPOSED TOP OF WALL
---	PROPOSED TIE LINE	PL	LOT NUMBER
---	EDGE OF HIGHWAY	X	STORM SEWER STRUCTURE LABEL
---	EXISTING WATERLINE	X	SANITARY SEWER STRUCTURE LABEL
---	PROPOSED WATERLINE	HP	HIGH POINT
---	EXISTING GAS LINE	LP	LOW POINT
---	PROPOSED GAS LINE	---	EXISTING SIGN
---	EXISTING TELEPHONE	---	EXISTING POWER POLE
---	EXISTING FIBER OPTIC	---	EXISTING GAS VALVE
---	EXISTING OVERHEAD ELECTRIC	---	EXISTING WATER VALVE
---	EXISTING UNDERGROUND ELECTRIC	---	EXISTING GAS METER
---	PROPOSED UNDERGROUND ELECTRIC	---	EXISTING WATER METER
---	EXISTING OVERHEAD CABLE & TV	---	EXISTING FIRE HYDRANT
---	EXISTING OVERHEAD CABLE, TV & TELE	---	MANHOLE
---	EXISTING SANITARY SEWER	---	EXISTING SANITARY SEWER LATERAL
---	PROPOSED SANITARY SEWER	---	PROPOSED SANITARY SEWER LATERAL
---	EXISTING MANHOLE	---	PROPOSED TRUNK WIRE TEST STATION BOX
---	EXISTING MANHOLE	---	EXISTING AIR CONDITIONER
---	PROPOSED MANHOLE	---	EXISTING TELEPHONE PEDIESTAL
---	100 YEAR FLOOD PLAN	---	EXISTING ELECTRICAL TRANSFORMER
---	FLOODWAY	---	EXISTING ELECTRIC METER
---	ORDINARY HIGH WATER MARK	---	EXISTING LIGHT POLE
---	STREAM SIDE BUFFER	---	EXISTING GUY WIRE
---	OUTER STREAM BUFFER	---	

REVISIONS:

NO.	DATE	DESCRIPTION
1	08/07/2024	ISSUED FOR PERMIT
2	08/26/2024	CITY COMMENTS

THIS SHEET HAS BEEN REVISIONED BY AND APPROVED FOR THE CITY OF BOONVILLE.

STATE OF MISSOURI
DEPARTMENT OF REVENUE
DIVISION OF REVENUE
REGISTERED PROFESSIONAL ENGINEER
No. 0000000000
BOONVILLE, MISSOURI

NOTED FOR CLOSURE
MOUSE/ENGINEER/CONTRACTOR



OWNER:
HUEBERT FIBERBOARD
645 S. MAIN ST.
BOONVILLE, MO 65013

HUEBERT FIBERBOARD
BOONVILLE, COOPER, MISSOURI

DRAWING INCLUDES:

COVER SHEET

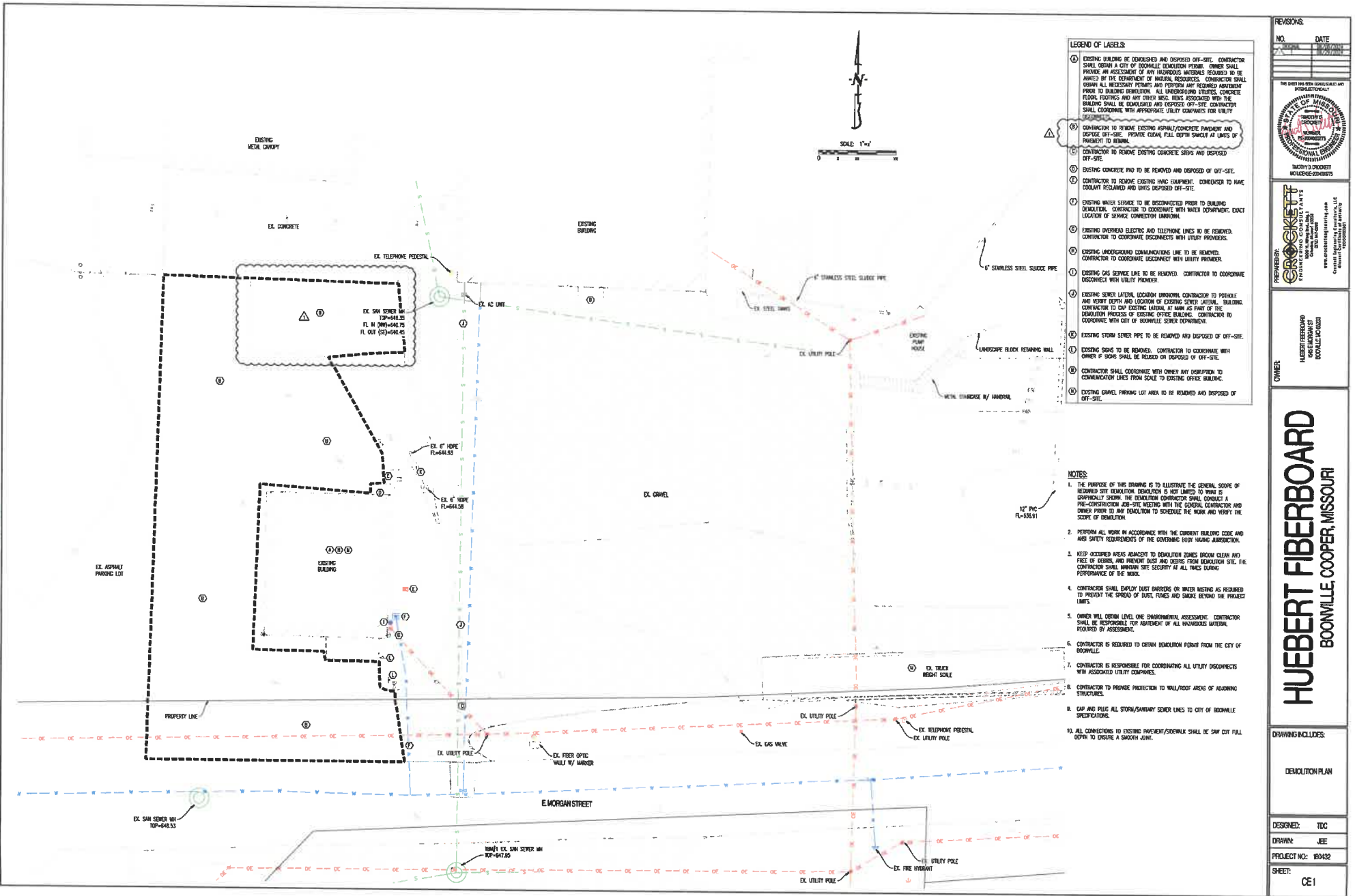
DESIGNED: TDC

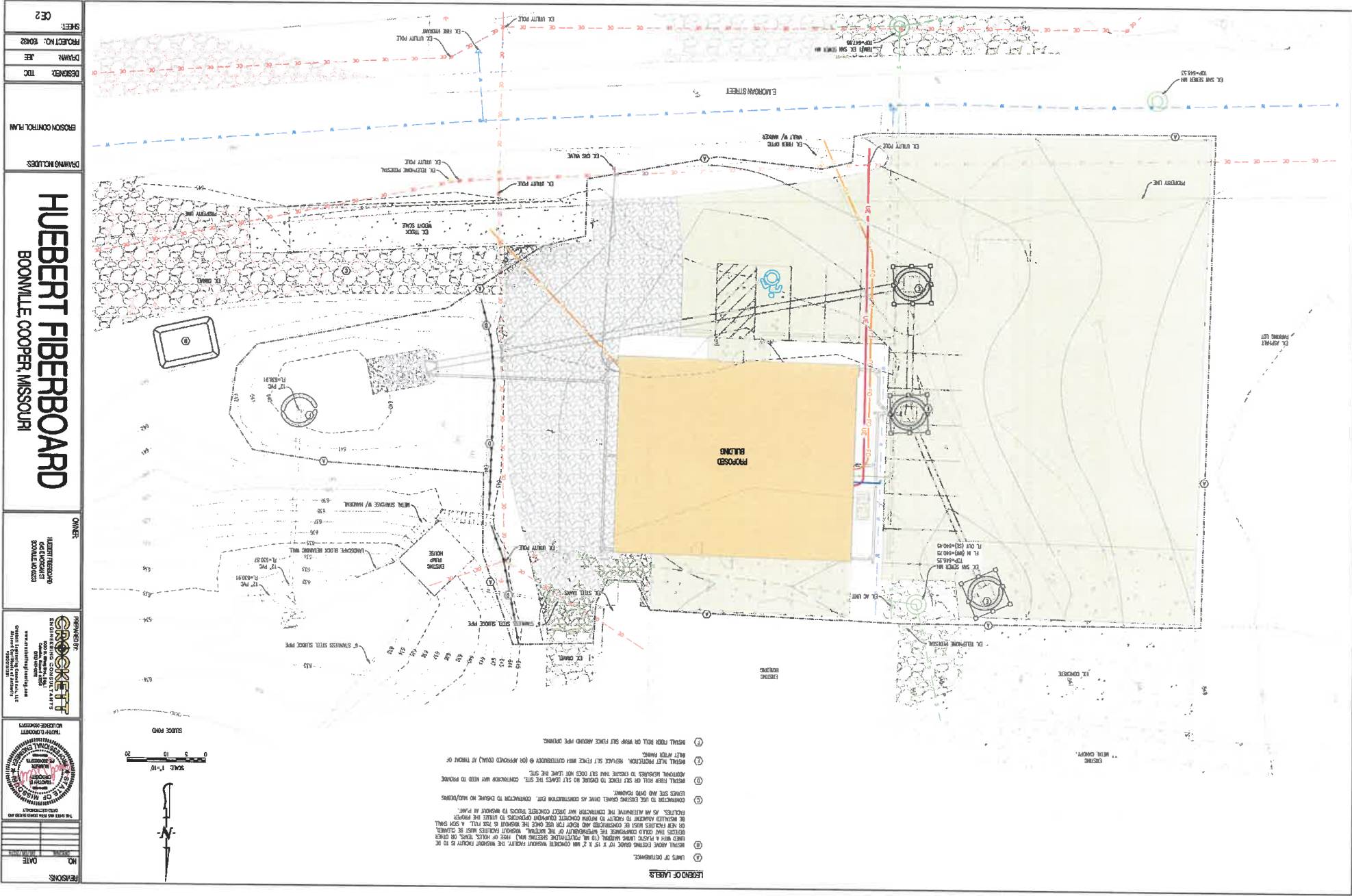
DRAWN: JEE

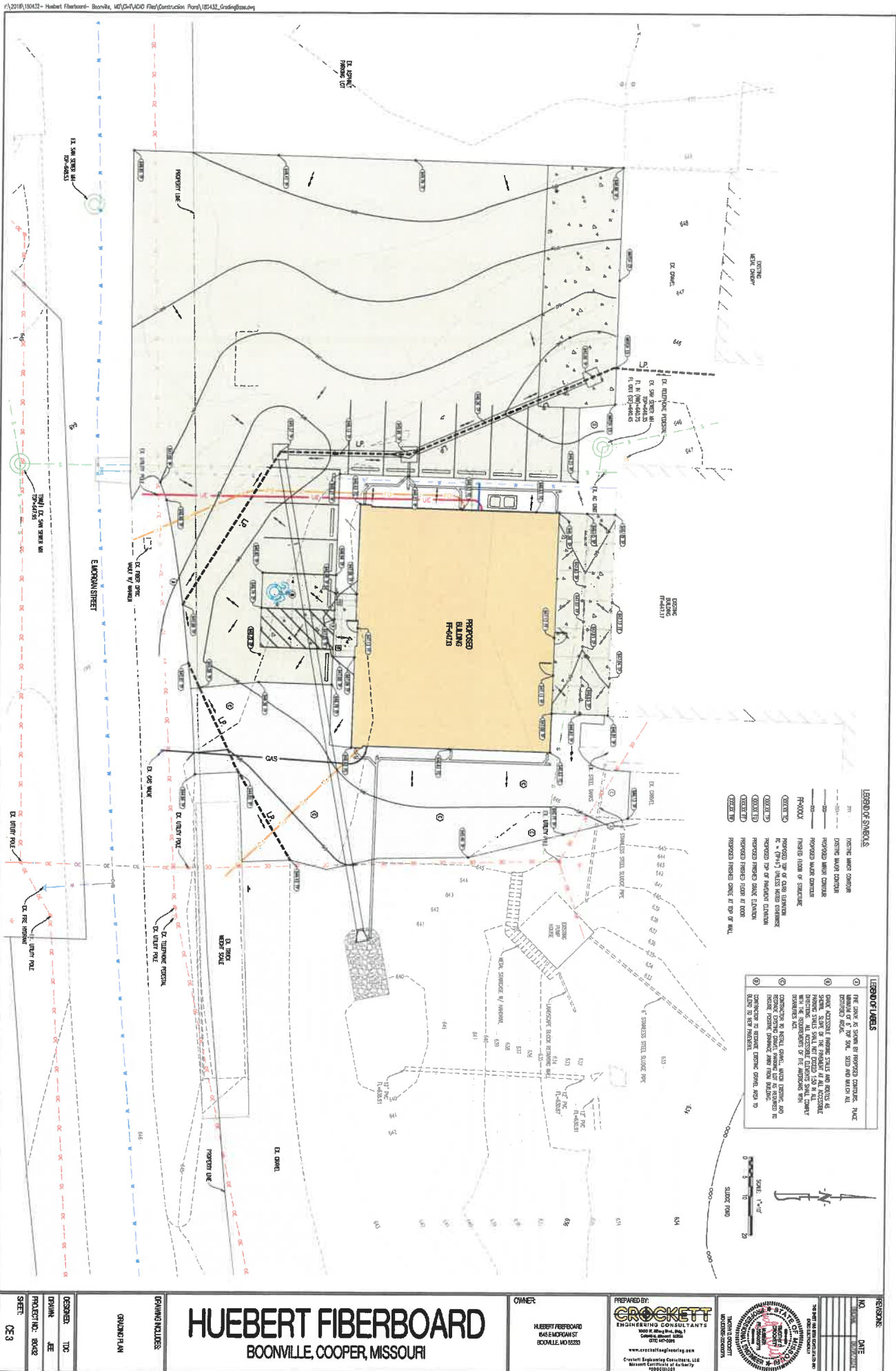
PROJECT NO.: 180432

SHEET:

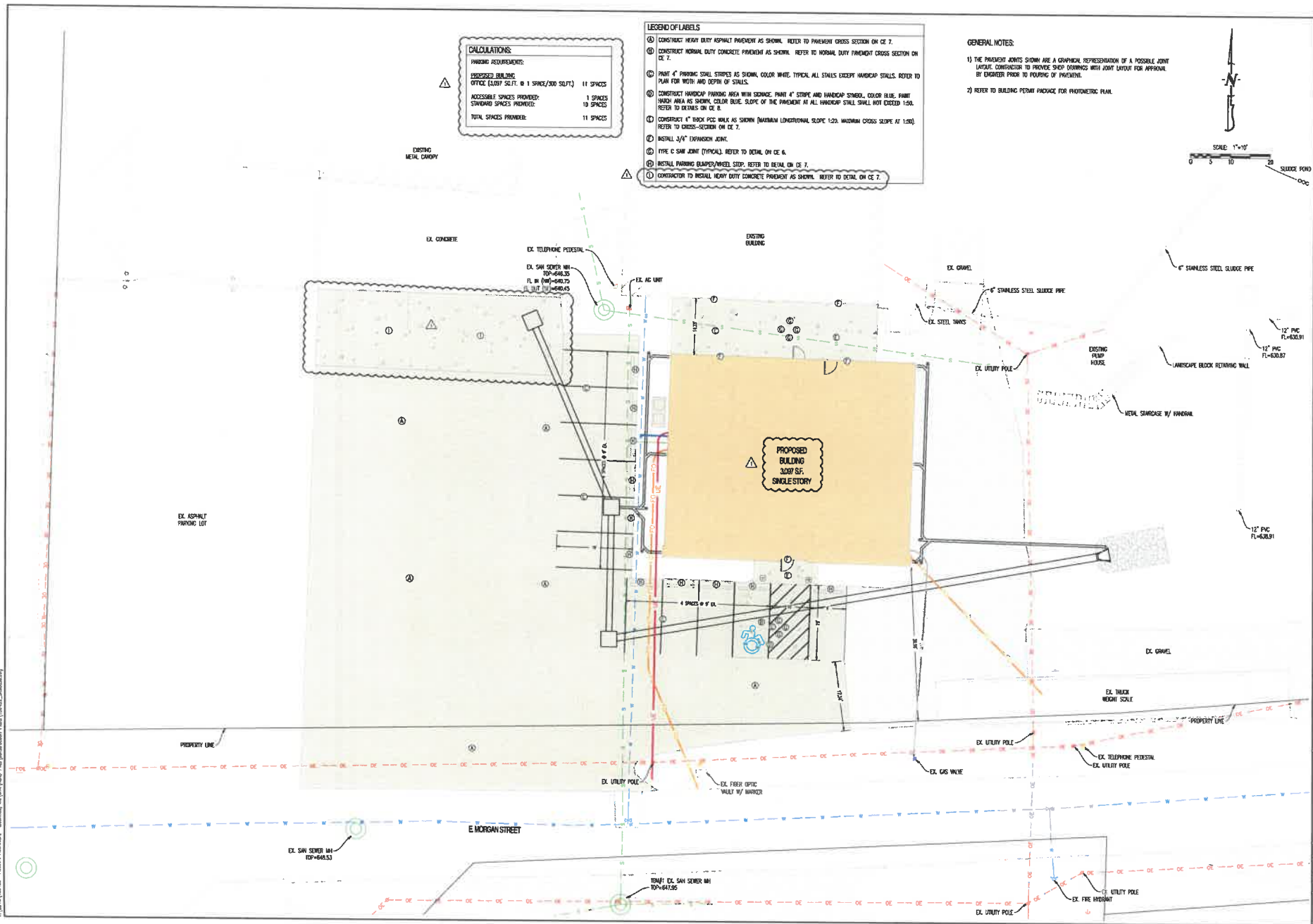
CE 0







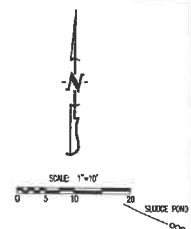
1/20/18, 10:51:12 - Hubert Fibersboard - Boonville, MO Civil 2018 File (Draft) - Plan 180422_SitePlan.dwg



CALCULATIONS	
PARKING REQUIREMENTS:	
PROPOSED BUILDING:	
OFFICE (1,000 S.F. @ 1 SPACE/300 S.F.)	11 SPACES
ACCESSIBLE SPACES PROVIDED:	1 SPACE
STANDARD SPACES PROVIDED:	10 SPACES
TOTAL SPACES PROVIDED:	11 SPACES

- LEGEND OF LABELS
- ① CONSTRUCT HEAVY DUTY ASPHALT PAVEMENT AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 2.
 - ② CONSTRUCT NORMAL DUTY CONCRETE PAVEMENT AS SHOWN. REFER TO NORMAL DUTY PAVEMENT CROSS SECTION ON CE 2.
 - ③ PAINT 4" PARKING STALL STRIPES AS SHOWN, COLOR WHITE. TYPICAL ALL STALLS EXCEPT HANDICAP STALLS. REFER TO PLAN FOR WIDTH AND DEPTH OF STRIPES.
 - ④ CONSTRUCT HANDICAP PARKING AREA WITH SLOPE. PAINT 4" STRIPE AND HANDICAP SYMBOL, COLOR BLUE. PAINT TRUCK AREA AS SHOWN, COLOR BLUE. SLOPE OF THE PAVEMENT AT ALL HANDICAP STALL SHALL NOT EXCEED 1:50. REFER TO DETAILS ON CE 8.
 - ⑤ CONSTRUCT 4" THICK PCC WALK AS SHOWN (MAXIMUM LONGITUDINAL SLOPE 1:20, MAXIMUM CROSS SLOPE AT 1:20). REFER TO CROSS-SECTION ON CE 2.
 - ⑥ INSTALL 3/4" EXPANSION JOINT.
 - ⑦ EYE C SINK JOINT (TYPICAL). REFER TO DETAIL ON CE 6.
 - ⑧ INSTALL PARKING BARRIER/HEEL STOP. REFER TO DETAIL ON CE 7.
 - ⑨ CONTRACTOR TO INSTALL HEAVY DUTY CONCRETE PAVEMENT AS SHOWN. REFER TO DETAIL ON CE 2.

- GENERAL NOTES:
- 1) THE PROPOSED JOINTS SHOWN ARE A GRAPHICAL REPRESENTATION OF A POSSIBLE JOINT LAYOUT. CONTRACTOR TO PROVIDE SHOP DRAWINGS WITH JOINT LAYOUT FOR APPROVAL BY ENGINEER PRIOR TO POURING OF PAVEMENT.
 - 2) REFER TO BUILDING PERMIT PACKAGE FOR PHOTOGRAPHIC PLAN.



REVISIONS

NO.	DATE	DESCRIPTION
1	1/20/18	ISSUED FOR PERMIT

THESE PLANS HAVE BEEN REVIEWED AND APPROVED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

ENGINEER OF RECORD: **CRICKETT ENGINEERS, P.C.**
1000 N. GARDEN ST., SUITE 100
BOONVILLE, MO 64601
PHONE: 660-460-0000
FAX: 660-460-0001
WWW.CRICKETTENGINEERS.COM

PREPARED BY: **CRICKETT ENGINEERS, P.C.**
1000 N. GARDEN ST., SUITE 100
BOONVILLE, MO 64601
PHONE: 660-460-0000
FAX: 660-460-0001
WWW.CRICKETTENGINEERS.COM

OWNER: **HUEBERT FIBERBOARD**
BOONVILLE, MISSOURI

HUEBERT FIBERBOARD

BOONVILLE, MISSOURI

DRAWING INCLUDES:	
SITE PLAN	
DESIGNED:	TDC
DRAWN:	JEE
PROJECT NO.:	180422
SHEET:	CE 6

SITE PLAN SYMBOL LEGEND

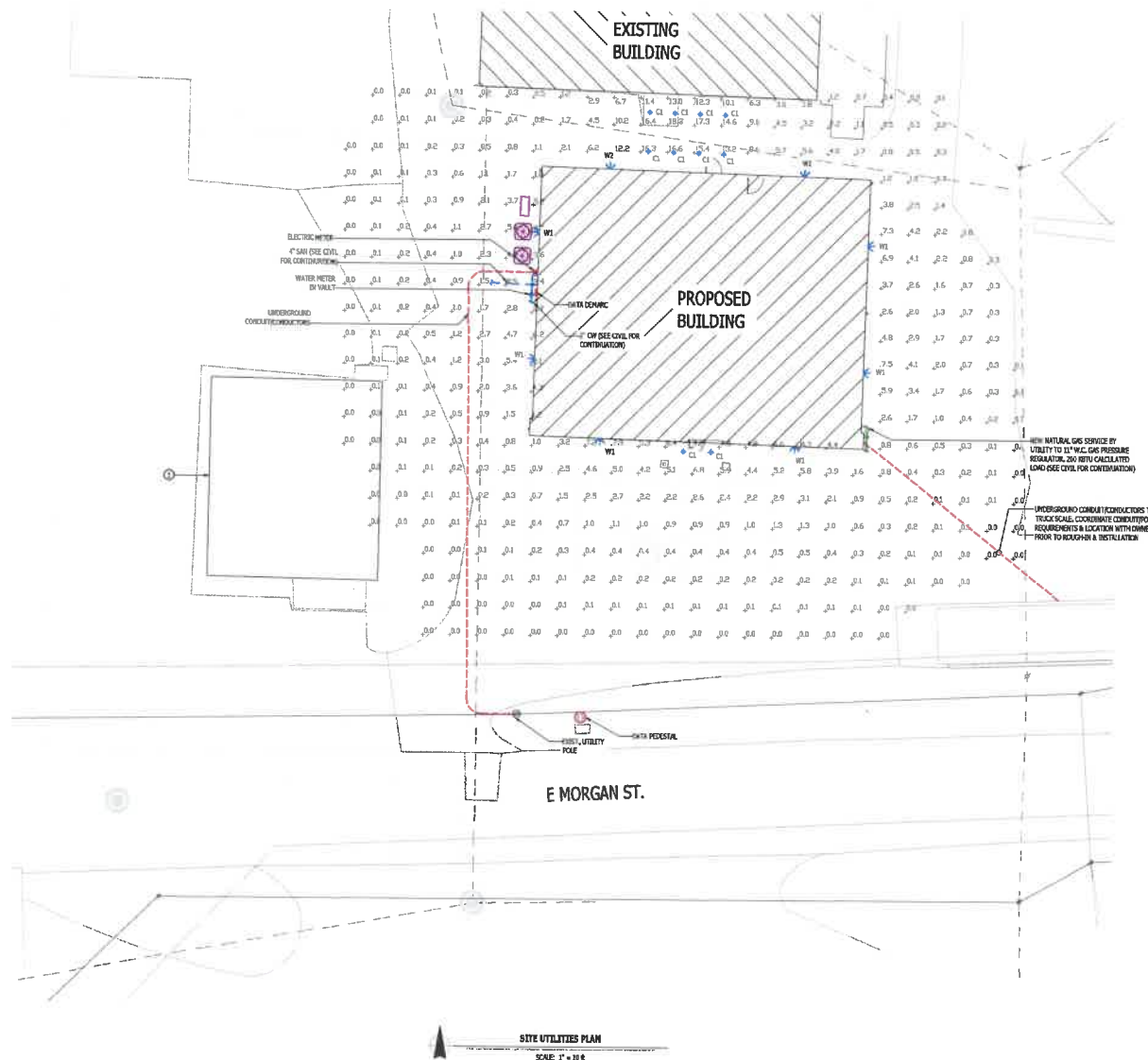
	SANITARY SEWER PIPING
	COLD WATER LINE
	WATER METER
	VALVE
	GAS LINE
	GAS METER
	TIE INTO EXISTING
	ELECTRIC
	CONDUIT WIRING
	CONDUIT TAG
	"XL" INDICATES FIXTURE TYPE (REFER TO SCHEDULE)
	POLE LIGHT
	ARROW INDICATES FORWARD ADJACENT DIRECTION
	PHOTOMETRIC CALCULATIONS (IN FOOT-CANDELS)

SITE UTILITIES PLAN GENERAL NOTES:

1. REFER TO CIVIL PLAN FOR EXACT UTILITY LOCATIONS, CONNECTIONS, DETAILS, ETC.
2. SITE PHOTOMETRIC VALUES HAVE BEEN CALCULATED FOR SPECIFIED LIGHT FIXTURES AT INDICATED MOUNTING HEIGHTS. ANY CHANGES OR ALTERATIONS TO LIGHTING LAYOUT SHOWN WILL REQUIRE RECALCULATING SITE PHOTOMETRICS. WHO WILL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR/EQUIPMENT SUPPLIERS.
3. PHOTOMETRIC CALCULATIONS SHOWN DO NOT INCLUDE EXISTING LIGHT FIXTURES.
4. SEE SHEET EPM1 FOR CALCULATIONS OF BUILDING MOUNTED LIGHTING.

SITE UTILITIES PLAN KEY NOTES:

1. EXISTING BUILDING TO BE DEMOLISHED AFTER OCCUPANCY OF PROPOSED BUILDING.



James Williams, P.E. August 14, 2024
PE-0000000171
MO Certificate of Authority # 2118079160



**J-SQUARED
ENGINEERING**
2400 18th Creek Drive, Suite 101
Columbia, Missouri 65211
573.324.4493
www.j-squaredeng.com

J1 PROJECT No:	J21230
J2 DESIGNER:	TAMM
ISSUE TITLE	
PERMIT SET	08-14-2024

MECHANICAL - ELECTRICAL - PLUMBING DESIGN DRAWINGS FOR:

Huebert Fiberboard

1405 Morgan St.
Boonville, Cooper County, MO 65233

SITE UTILITIES PLAN

MEP2



THIS DOCUMENT IS
THE PROPERTY OF
THE ARCHITECT
AND MAY NOT BE
REPRODUCED
170 Certificate of
Architect No. 000644

SIMON ASSOCIATES INC.
ARCHITECTURE
211 First Avenue
Columbia, Missouri 65201
Phone: 573-424-1810



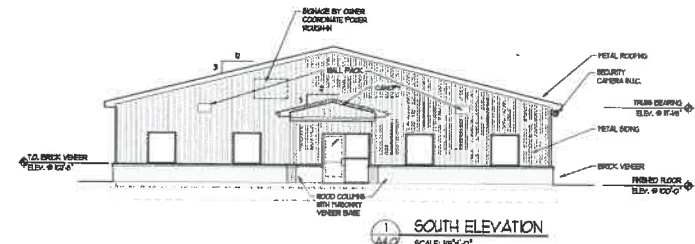
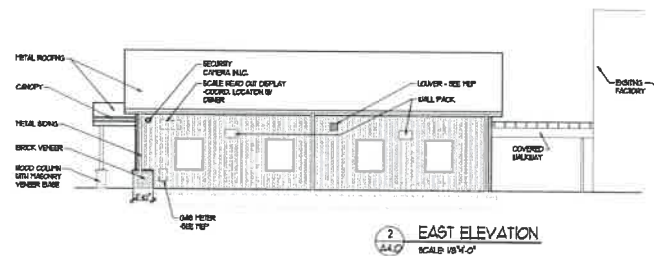
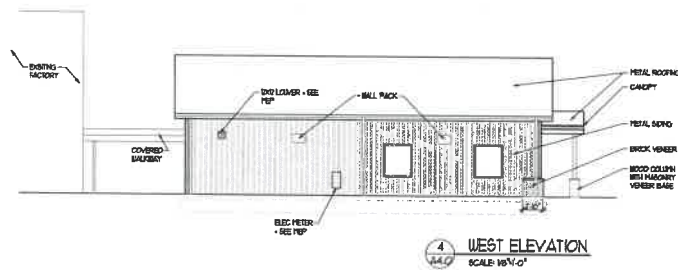
8 / 14 / 2024
JACOB K. STEGMANN
ARCHITECT POP & SONOCCO/STB

HUEBERT FIBERBOARD
1400 N. Main St.
Brentwood, MO 63143

REVISIONS:



DATE: 06/07/2024
8 / 14 / 2024



RESOLUTION NO. R2024-14

A RESOLUTION OF THE CITY OF BOONVILLE, MISSOURI, AUTHORIZING AND APPROVING A SUPPLEMENTAL AGREEMENT #1 – DESIGN SERVICES AND CONSTRUCTION INSPECTION WITH ALLSTATE CONSULTANTS, LLC

WHEREAS, the City of Boonville has previously retained All State Consultants, LLC for Engineering Services relating to the Missouri Transportation Alternatives Program (TAP) Grant for the construction of sidewalks along Ashley Road by the Boonville High School and associated tasks all pursuant to an approved procurement process, all as set for in Resolution R2024-08; and

WHEREAS, The design services have been delayed due to unforeseen circumstances related to an administrative hearing regarding DBE compliance; and

WHEREAS, the City of Boonville intends to continue utilizing Allstate Consultants, LLC for these design and inspection services.

THEREFORE, be it resolved by the City Council of the City of Boonville, Missouri, as follows:

SECTION 1: That the City of Boonville hereby authorizes and approves the agreement with Allstate Consultants, LLC for consulting engineering services on the design and construction inspection of the sidewalk construction project on Ashley Road, attached hereto as **Exhibit A** and incorporated by reference as if fully set forth herein.

SECTION 2: That the City Administrator and the City Clerk are hereby authorized to execute said agreement on behalf of the City of Boonville.

SECTION 3: This resolution shall take effect and be in full force from and after its passage and approval.

Passed this 7th day of October 2024, by the City Council of Boonville, Missouri

Andrew Cowherd, Mayor Pro Tem

ATTEST:

Amber Davis, City Clerk

**SUPPLEMENTAL AGREEMENT NO. 1
TO
ENGINEERING SERVICES CONTRACT
September 9, 2024**

This Supplemental Agreement is made part of an agreement dated June 3, 2024, between the City of Boonville in Cooper County, Missouri, and Allstate Consultants LLC for design services and construction inspection of project TAP-9901(545). The purpose of this Supplemental Agreement is to provide a "No Cost Supplemental" to extend the completion date to December 1, 2025. This extension of timeline is caused by unforeseen circumstances and delays of the project related to an administrative hearing regarding DBE non-compliance allegations by the External Civil Rights Department. The MoDOT Administrative Committee review resulted in complete removal of the DBE design requirement for this contract. The revised timeline is provided below in Attachment B. The total cost shall be in an amount not to exceed the original Design and Construction Services Agreement amount (\$73,014.31). Attachment A outlines the cost breakdown (\$0.00) for Supplemental Agreement No. 1.

Supplement Agreement No. 1 accepted as defined herein:

OWNER: _____ ENGINEER: _____

BY: _____ BY: _____

TITLE: _____ TITLE: _____

DATE: _____ DATE: _____

ATTEST:

BY: _____ BY: _____

TITLE: _____ TITLE: _____

DATE: _____ DATE: _____

Executed by the City of Boonville in Cooper County, MO, on the ____ day of _____, 20__.

ATTACHMENT A – ESTIMATED COSTS

SUPPLEMENTAL AGREEMENT NO. 1

September 9, 2024

All parties agree that this amendment to the original agreement is a “No Cost Supplemental” extension of the project timeline. Refer to original contract for current contract amounts.

ATTACHMENT B – PROJECT SCHEDULE

SUPPLEMENTAL AGREEMENT No. 1

September 9, 2024

Project Description: Construct ADA compliant sidewalk along Ashley Road by Boonville High School in the city limits of Boonville, Missouri.

The following schedule is intended to supplement and revise the original project schedule:

Task	Date
Date funding is made available or allocated to the recipient	11/01/2023
Solicitation for Professional Engineering Services (advertised)	01/01/2024
Engineering Services Contract Approved	09/17/2024
Preliminary and Right-of-Way Plans Submittal (if applicable)	02/01/2025
Plans, Specifications, & Estimate (PS&E) Submittal	07/01/2025
Plans, Specifications, & Estimate (PS&E) Approval	09/01/2025
Advertising for Letting	10/01/2025
Bid Opening	11/01/2025
Construction Contract Award (REQUIRED)	12/01/2025

*Note: the dates established in the schedule above will be used in the applicable ESC between the sponsor, agency, and consultant firm.

**Schedule dates are approximate as the project schedule will be actively managed and issues mitigated through the project delivery process. The Award Date or Planning Study Date deliverable is not approximate, and a Supplemental Agreement is required to modify this date.

RESOLUTION NO. R2024-15

A RESOLUTION OF THE CITY OF BOONVILLE, MISSOURI AUTHORIZING AND APPROVING AN AGREEMENT BETWEEN GBH BUILDERS, INC. AND THE CITY OF BOONVILLE, MISSOURI PERTAINING TO JOHNSTON FIELDHOUSE RENOVATIONS; AND PROVIDING AN EFFECTIVE DATE THEREFORE

WHEREAS, the City of Boonville has solicited and received bids for this project and determined that **GBH Builders, Inc** represents the best bid pursuant to the purchasing code set forth in Section 2-20 of the City of Boonville Code of Ordinances.

THEREFORE, be it resolved by the City Council of the City of Boonville, Missouri, as follows:

SECTION 1: That a certain Agreement between **GBH Builders, Inc** and the City of Boonville, Missouri relating to the **Johnston Field House Improvements** a copy of which is marked “**Exhibit A**” is attached hereto and made a part hereof, is hereby approved.

SECTION 2: That the City Administrator and the City Clerk are hereby authorized to execute, and attest said agreement on behalf of the City of Boonville.

SECTION 3: This resolution shall take effect and be in full force from and after its passage and approval.

Passed this 7th Day of October 2024, by the City Council of Boonville, Missouri

Andrew Cowherd, Mayor Pro Tem

ATTEST:

Amber Davis, City Clerk

Proposed Remodeling for Johnston Fieldhouse - Boonslick Heartland YMCA

Bid Record: Job No. PBA 2413

Bid Location:

City of Boonville - City Hall

Bid Date: September 12, 2024

401 Main Street

Bid Time: 4:00 PM CDT

Boonville, Missouri 65233

[illegible]

Porter, Berendzen & Associates, P.C.

200 South Henry Clay Blvd.

P.O. Box 446

Ashland, MO 65010

573.657.2022

RESOLUTION NO. R2024-016

A RESOLUTION OF THE CITY OF BOONVILLE, MISSOURI AUTHORIZING AND APPROVING AN AGREEMENT BETWEEN GLOVECON, INC. AND THE CITY OF BOONVILLE, MISSOURI PERTAINING TO 2ND FLOOR RENOVATIONS AT CITY HALL; AND PROVIDING AN EFFECTIVE DATE THEREFORE

WHEREAS, the City of Boonville has solicited and received bids for this project and determined that **GloveCon, Inc.** represents the best bid pursuant to the purchasing code set forth in Section 2-20 of the City of Boonville Code of Ordinances.

THEREFORE, be it resolved by the City Council of the City of Boonville, Missouri, as follows:

SECTION 1: That a certain Agreement between **GloveCon, Inc.** and the City of Boonville, Missouri relating to the **2nd Floor Renovations at City Hall** a copy of which is marked “**Exhibit A**” is attached hereto and made a part hereof, is hereby approved.

SECTION 2: That the City Administrator and the City Clerk are hereby authorized to execute, and attest said agreement on behalf of the City of Boonville.

SECTION 3: This resolution shall take effect and be in full force from and after its passage and approval.

Passed this 7th Day of October 2024, by the City Council of Boonville, Missouri

Andrew Cowherd, Mayor Pro Tem

ATTEST:

Amber Davis, City Clerk

Remodel for: City Hall Building, City of Boonville**Bid Record: Job No. PBA 2413****Bid Location:****City Hall****Bid Date: September 26, 2024****401 Main Street****Bid Time: 3:00 PM CDT****Boonville, Missouri 65233**

Contractor	GBH Builders, Inc.	GloveCon, Inc.			
Bond	yes	yes			
Days - Base Bid	105 days	140 days			
Addenda	1&2	1&2			
Contingency Allowance	yes	yes			
Weather Allowance	na	na			
Base Bid	\$276,000.00	\$ 197,940.00			
Voluntary Alternate #1					
Voluntary Alternate #2					
Voluntary Alternate #3					
TOTAL of ALL	\$ 276,000.00	\$ 197,940.00			

Base Bid - Project

Porter, Berendzen & Associates, P.C.

200 South Henry Clay Blvd.

P.O. Box 446

Ashland, MO 65010

573.657.2022

RESOLUTION NO. R2024-017

**A RESOLUTION OF THE CITY OF BOONVILLE, MISSOURI, STATING
INTENT TO SEEK FUNDING THROUGH THE COMMUNITY
DEVELOPMENT BLOCK GRANT PROGRAM AND AUTHORIZING THE
MAYOR PROTEM TO PURSUE ACTIVITIES IN AN ATTEMPT TO SECURE
FUNDING**

WHEREAS, Title 1 of the Housing and Community Development Act of 1974 does state as its primary objective, “the development of viable urban communities, by providing decent housing, suitable living environment and expanding opportunities principally for persons of low and moderate income”, and

WHEREAS, Title 1 does offer to communities the opportunity of monetary assistance in accomplishing its stated primary objectives, and

WHEREAS, the Missouri Department of Economic Development is designated to award Community Development Block Grant Funding under Title 1, and

WHEREAS, the City does have areas of need which may be addressed through the Community Development Block Grant Program

THEREFORE, be it resolved by the City of Boonville, Missouri

SECTION 1: The City of Boonville desires to participate with the Missouri Department of Economic Development in the improvement of our community under the activities authorized pursuant to the Housing and Community Development Act of 1974.

SECTION 2: That the Mayor Pro Tem of Boonville, Missouri hereby is authorized to prepare and submit documents which are necessary in applying for funding and establishing an administrative organization to implement activities pursuant to the aforementioned act.

SECTION 3: That the applicant will dedicate \$6,337,389 of local cash funds from the and \$1,000 of in-kind administrative labor to be used in this project.

Passed this 7th Day of October 2024, by the City Council of Boonville, Missouri

**_____
Andrew Cowherd, Mayor Pro Tem**

ATTEST:

**_____
Amber Davis, City Clerk**

CITY OF BOONVILLE
BOARD OF PUBLIC WORKS

CANCELLATION

September 26th, 2024

5:30 p.m.

City Service Building

1200 Locust Street

Boonville, Missouri

The Thursday, September 26th, 2024, meeting of the Board of Public Works has been canceled due to quorum. The next scheduled meeting is October 29th, 2024 due to the holiday.

Date: October 7, 2024

To: Mayor and Council

From:

Re: Committee Appointment- Parks and Recreation Board

VACANT COMMITTEE POSITIONS & COMMITTEE APPOINTMENTS

Architectural Review Committee – 5 seats

Vacant – 1

Needs Renewed if they Choose – 0

Board of Adjustments – 5 Seats

Vacant – 0

Needs Renewed if they Choose – 0

Board of Public Works – 4 Seats

Vacant – 0

BOCA Board of Appeals—7 Seats – TOTAL NEEDED 7

Vacant – 1

Needs Renewed if they Choose – 6

Boonville Housing Authority Board – 6 Seats –

Vacant – 0

Needs Renewed if they Choose – Chrissy Stemmons

Fire Board – 5 Seats

Vacant – 0

Needs Renewed if they Choose –

Historic Preservation Commission – 7 Seats –

Vacant –2

Needs Renewed if they Choose –0

Industrial Development Authority – 8 Seats

Vacant – 0

Needs Renewed if they Choose – 0

Local Agency Funding – 5 Seats

Vacant-0

Needs Renewed if they Choose --0

Parks and Recreation Board – 5 Seats

Kristin O'Brien

Mike Stock

Needs Renewed if they Choose – 0

Planning and Zoning Commission – 5 Seats

Vacant – 0

Needs Renewed if they Choose – 0

Police Board – 5 Seats

Vacant – 0

Needs Renewed if the Choose – 0

Street, Alley, and Sanitation Board – 5 Seats – TOTAL NEEDED 1

Vacant – 0

Needs Renewed if the Choose – 1

Tourism Committee – 5 Seats – TOTAL NEEDED 3

Vacant – 0

Needs Renewed if the Choose – 3

Transportation Development District Committee – 5 Seats – TOTAL NEEDED 1

Vacant – 0

Needs Renewed if they Choose – 0

Airport Board- 5 seats



October 2, 2024

To: Mayor and City Council

From: Kate Fjell, City Administrator

RE: City Council Agenda Items

There are several items on the council agenda, that I wanted to discuss and provide and/or provide background information.

1. Community Development Block Grant

There are several items related to the CDBG Grant on the council agenda tonight. First is the public meeting and second is the resolution stating the City intends to apply.

These items are all related to the preliminary review completed by the DED staff that was completed on the CDBG application we submitted in July. We need to clean up the resolution and hold a new public hearing to meet CDBG grant requirements.

As a reminder, the CDBG application is providing some gap funding that is necessary to complete the projects at Kemper. When the Kemper Sales Tax was passed in 2019, there were three main components of the sales tax.

1. Infrastructure developments to support the library's move to Kemper campus
2. Academic Hall renovation and addition (including addressing D Barracks)
3. Johnston Field House renovations

This sales tax expires on December 31, 2024.

Lincoln Brown from Mid-Mo Regional Planning Commission will be at the City Council meeting to lead us through the public hearing for CDBG compliance.

2. Supplemental Agreement with All State Consultants, LLC

All State is doing the design and inspection on the sidewalk TAP program that we successfully applied for grant funding. There has been a delay in the start of this project as we waited for all the approvals from MoDOT to continue. These delays meant that we have exceeded the contract time that we initially had agreed upon. There is a no cost involved and is required for us to move forward with the grant.

3. Johnston Field House

A resolution to approve a contract for Johnson Field House renovations. This is the first phase of the fieldhouse renovations that we have planned. This came in a little higher than anticipated, but the need for these improvements are necessary projects. This was included in our capital project plans for FY 24-25.

4. City hall 2nd floor renovation

The next capital project contract for approval on the agenda is the 2nd floor renovations at City Hall. Again, this is a necessary renovation for our tenants. When the city moved into the building, the 2nd floor did not get any renovations, so frankly I am not sure how long it has been since it has been updated. This was included in the capital project plan for FY 24-25. We did already complete the new

fire alarm system, and this tied city hall, the 2nd floor and the economic development office all on one system, which is safety critical.

5. Capital Project/Budget planning

Completing the Kemper projects, coupled with a successful cost share project with MoDOT for a roundabout on Hwy B, will take up a significant portion of the capital funds available to the City for the next couple years (the water and sewer improvement replacement will continue since those have dedicated funding). The Kemper projects will need to be completed, as the voters approved a sales tax in 2019 and we need to do everything we can to accomplish the goals laid out then.

Back when we talked about water and sewer projects, you may recall that I said from the beginning that the roundabout on Main Street will interrupt the major street projects. When we met with MODOT to discuss about the possibility of doing cost share and incorporating the project in with the Improve I70 project, they were receptive to that idea. The timeline they provided me was a little more accelerated than I had initially thought; they wanted us to get the cost share application in for consideration at their December meeting. If we are successful, we will be committing approximately 1.2M to the project in the next fiscal year. I am attaching the preliminary design that was submitted for this project.

COMMUNITY NEEDS ASSESSMENT (PAGE 1 OF 2)

1. APPLICANT NAME:				
2. PERCENT OF LOW & MODERATE INCOME (LMI) PERSONS IN THE APPLICANT'S JURISDICTION (CITY/COUNTY):				
Please complete all sections of this document at the time of pre-application required public hearing and any subsequent meetings the community feels necessary to compile a representative response for the community. The responses should best reflect the consensus of the hearing participants as a whole. There are no right or wrong responses. The assessment should honestly reflect the public's opinion and perception. If the elected officials disagree with any majority answer, an explanation should be offered.				
				QUALITY OF FACILITIES AFFECTING ENTIRE JURISDICTION (Check one)
A. PUBLIC WORKS INFRASTRUCTURE				DOESN'T EXIST GOOD FAIR POOR
1. Water System				
2. Sanitary Sewer System				
3. Storm Sewer/Drainage				
4. Streets				
5. Bridges				
6. Sidewalks				
B. PUBLIC SERVICES				
1. Fire Protection				
2. Police Services				
3. Code Enforcement				
4. Health Care				
5. Emergency Services				
6. Parking				
C. COMMUNITY FACILITIES				
1. Community Center				
2. Senior Citizen Center				
3. Sheltered Workshop				
4. Hospital(S)				
5. Infant/Day Care				
6. Mental Health Counseling Services				
7. Teen/Youth Center				
8. Drug Abuse Prevention/Rehabilitation				
9. Crime Prevention Program				
D. HOUSING				
1. Residential Rehabilitation				
2. Housing for Disabled				
3. Single Family Housing				
4. Affordable Rental Housing				
5. Lead-Based Paint Test/Abatement				
6. Energy Efficiency Improvements				
7. Homeownership Assistance				
8. Senior Housing				

COMMUNITY NEEDS ASSESSMENT (PAGE 2 OF 2)

COMMUNITY NEEDS ASSESSMENT (PAGE 1 OF 2)				
E. EDUCATION PROFILES	DOESN'T EXIST	GOOD	FAIR	POOR
1. Preschools				
2. Public Schools				
3. Vocational Schools				
4. Community Colleges				
5. Universities				
6. Continuing Education				
7. Employer-Based Skills Training				
8. Cooperative School-Business Partnerships				
9. Entrepreneurship Training				
F. ECONOMIC DEVELOPMENT				
1. Job Creation				
2. Start Up Business Assistance				
3. Employment Training				
4. Other Economic Development Needs				
G. IDENTIFY THE COMMUNITY'S TOP FIVE PRIORITY NEEDS IN THIS ASSESSMENT – LIST IN ORDER OF IMPORTANCE AND INTENTION TO ADDRESS				
1.				
2.				
3.				
4.				
5.				
H. DESCRIBE THE PROPOSED PROJECT AS IT RELATES TO THE TOP FIVE PRIORITIES:				
I. IF THE PROPOSED PROJECT DOES NOT APPEAR IN THE TOP FIVE COMMUNITY PRIORITIES, PROVIDE AN EXPLANATION:				

COMMUNITY NEEDS ASSESSMENT (PAGE 1 OF 2)

1. APPLICANT NAME:				
2. PERCENT OF LOW & MODERATE INCOME (LMI) PERSONS IN THE APPLICANT'S JURISDICTION (CITY/COUNTY):				
Please complete all sections of this document at the time of pre-application required public hearing and any subsequent meetings the community feels necessary to compile a representative response for the community. The responses should best reflect the consensus of the hearing participants as a whole. There are no right or wrong responses. The assessment should honestly reflect the public's opinion and perception. If the elected officials disagree with any majority answer, an explanation should be offered.				
				QUALITY OF FACILITIES AFFECTING ENTIRE JURISDICTION (Check one)
A. PUBLIC WORKS INFRASTRUCTURE				DOESN'T EXIST GOOD FAIR POOR
1. Water System				
2. Sanitary Sewer System				
3. Storm Sewer/Drainage				
4. Streets				
5. Bridges				
6. Sidewalks				
B. PUBLIC SERVICES				
1. Fire Protection				
2. Police Services				
3. Code Enforcement				
4. Health Care				
5. Emergency Services				
6. Parking				
C. COMMUNITY FACILITIES				
1. Community Center				
2. Senior Citizen Center				
3. Sheltered Workshop				
4. Hospital(S)				
5. Infant/Day Care				
6. Mental Health Counseling Services				
7. Teen/Youth Center				
8. Drug Abuse Prevention/Rehabilitation				
9. Crime Prevention Program				
D. HOUSING				
1. Residential Rehabilitation				
2. Housing for Disabled				
3. Single Family Housing				
4. Affordable Rental Housing				
5. Lead-Based Paint Test/Abatement				
6. Energy Efficiency Improvements				
7. Homeownership Assistance				
8. Senior Housing				

E. EDUCATION PROFILES	DOESN'T EXIST	GOOD	FAIR	POOR
1. Preschools				
2. Public Schools				
3. Vocational Schools				
4. Community Colleges				
5. Universities				
6. Continuing Education				
7. Employer-Based Skills Training				
8. Cooperative School-Business Partnerships				
9. Entrepreneurship Training				
F. ECONOMIC DEVELOPMENT				
1. Job Creation				
2. Start Up Business Assistance				
3. Employment Training				
4. Other Economic Development Needs				
G. IDENTIFY THE COMMUNITY'S TOP FIVE PRIORITY NEEDS IN THIS ASSESSMENT – LIST IN ORDER OF IMPORTANCE AND INTENTION TO ADDRESS				
1.				
2.				
3.				
4.				
5.				
H. DESCRIBE THE PROPOSED PROJECT AS IT RELATES TO THE TOP FIVE PRIORITIES:				
I. IF THE PROPOSED PROJECT DOES NOT APPEAR IN THE TOP FIVE COMMUNITY PRIORITIES, PROVIDE AN EXPLANATION:				