



BOONVILLE

City of Boonville

City Council Work Session Agenda

June 2, 2025

6:00 PM

City Council Chambers

525 E. Spring Street

Boonville MO 65233

I. Work Session Topics

A. Discussion of 2nd and Vine Apartment Project

NOTICE: The City of Boonville will comply with the Americans with Disabilities Act (ADA). Individuals who require an accommodation due to disability to attend this meeting should contact our office at (660) 882-2332 or Relay Missouri, 1-800-735-2966 TTY at least 48 hours in advance.

Date: June 2, 2025

To: Mayor and Council

From:

Re: Discussion of 2nd and Vine Apartment Project



May 29, 2025

To: Mayor and City Council
From: Kate Fjell, City Administrator
Re: City Council Work Session: 2nd and Vine Project

During the work session, we will have a second meeting to discuss the apartment project located at 2nd and Vine. As a recap, Josh Harley visited with the Council in December of last year to discuss the proposed project and to ask if the Council was willing to consider the use of Chapter 353 for the project. At the end of that work session, Council generally expressed interest in supporting the project and an openness to utilizing Chapter 353. Following my comments, Jim has provided a memo outlining the proposed abatements that mimic past projects supported by Council.

Since Mr. Hartley's visit in December, he has begun working on the building, primarily focused on stabilizing the building, including new windows and roofs. He has submitted plans for review to Steve, and he has also completed a new mural commemorating Boonville's history.

I want to share some historical perspective with the Council to show how this project is complementary to several initiatives past Council's have identified and funded since early 2000's.

A little more than a decade ago, the City embarked on enhancing and growing our tourism infrastructure; this included the transfer of the Katy Bridge to the City, its' phase 1 rehab, the addition of historic lighting on Spring and Morgan from 1st street to Main Street, the purchase the Gingrich Warehouse, the now rehabbed River, Rails and Trails Museum, and the work at the Katy Depot. These things all happened in about 5 years and positioned us to become the Destination Marketing Organization (DMO) for Coöper County which unlocked state marketing funds that we receive annually. There have also been signage additions, revitalizing the ghost signs and crosswalks improving this area.

Simultaneous to this work, City staff and partners also embarked on rehabbing and redeveloping the Kemper campus. This included the demolition of the Admin building and K Barracks, the addition of a parking lot, the relocation of the regional library, the rehab of the Science Hall for use by Kemper, renovations at the YMCA, addition of frisbee golf course and renovations at Academic Hall. Many of these projects were supported by grants or donations. Notably, the Community supported these redevelopment plan by passing a temporary 7/8th cent sales tax that expired in December of 2024.

Past councils have dedicated funding to these areas to help redevelop and revitalize the corridor from an eye sore, to a community, tourism and recreational hub. Working with the private developers on the remaining outstanding projects is crucial to completing this vision and is crucial to success.

Additionally, the Council in 2019 underwent a process to identify the housing needs in the community. This was at a time when there was very little private housing development occurring. Since that committee's work the Boone Point and Fox Hollow subdivisions have begun, which is helping to provide new housing stock in the community. However, affordable rental housing remains a challenge. Affordable housing is an important piece for recruiting and retaining manufacturing and economic development. If you look over the past 30 years, there have been very few larger affordable rental

developments constructed in Boonville and unlike some in the past, Mr. Hartley is only utilizing Chapter 353, he is not requesting or applying for any other public funds from the City or the state, such as senior housing tax credits or workforce investment housing. This means that once completed, these units will be available to the entire community and will not have age or income restrictions. These apartments will serve a different population than other existing and planned developments in the community (i.e. Selwyn Place Apartments and planned senior housing at A and D barracks).

Finally, as many of you know each year we struggle with the rising costs of provided utilities and trying to keep rates affordable. The most effective way to moderate our rates is to have a bigger customer base that can share the rising costs. The number of water users has stayed around 3300 for nearly 30 years. This project, in addition to the other developments occurring, is critical to growing the customer base.

Second and Vine Chapter 353 Memo

Background:

The Missouri Chapter 353 Tax Abatement Program is a state-authorized incentive designed to encourage the redevelopment of blighted areas by offering real property tax abatements. This program empowers municipalities to collaborate with private developers to revitalize underutilized or deteriorating properties, thereby stimulating economic growth and community improvement.

Program Overview:

Legal Foundation: Established under Chapter 353 of the Revised Statutes of Missouri, known as the Urban Redevelopment Corporations Law.

Purpose: To facilitate the redevelopment of areas deemed "blighted" by providing tax incentives that make such projects financially viable.

Eligibility Criteria:

Blighted Areas: The property must be in an area officially designated as "blighted" by the city's legislative authority.

Urban Redevelopment Corporation (URC): Only for-profit entities organized as URCs under Missouri law are eligible to apply for the tax abatement.

Abatement Structure:

Duration: Up to 25 years of real property tax abatement.

- First 10 Years: Potential for up to 100% abatement on the assessed value of improvements.
- Next 15 Years: Abatement of up to 50% on the assessed value of improvements.

Payments in Lieu of Taxes (PILOTs): Municipalities may negotiate PILOT agreements to offset some or all the abated taxes, ensuring that essential services remain funded.

Application and Approval Process:

Formation of URC: A for-profit corporation must be established in accordance with Missouri law.

Blight Study: Conduct a study to confirm the area's blighted status.

Development Plan: Prepare a comprehensive plan outlining the proposed redevelopment project.

Public Hearing: The city must hold a public hearing to discuss and approve the development plan.

City Council Approval: The city council must pass an ordinance approving the development plan and authorizing the tax abatement.

Key Considerations for City Council:

Economic Impact: Assess the potential for job creation, increased property values, and overall economic revitalization.

Community Benefits: Consider how the project aligns with community development goals and addresses local needs.

Fiscal Responsibility: Evaluate the financial implications, including the impact on tax revenues and the necessity of PILOT agreements.

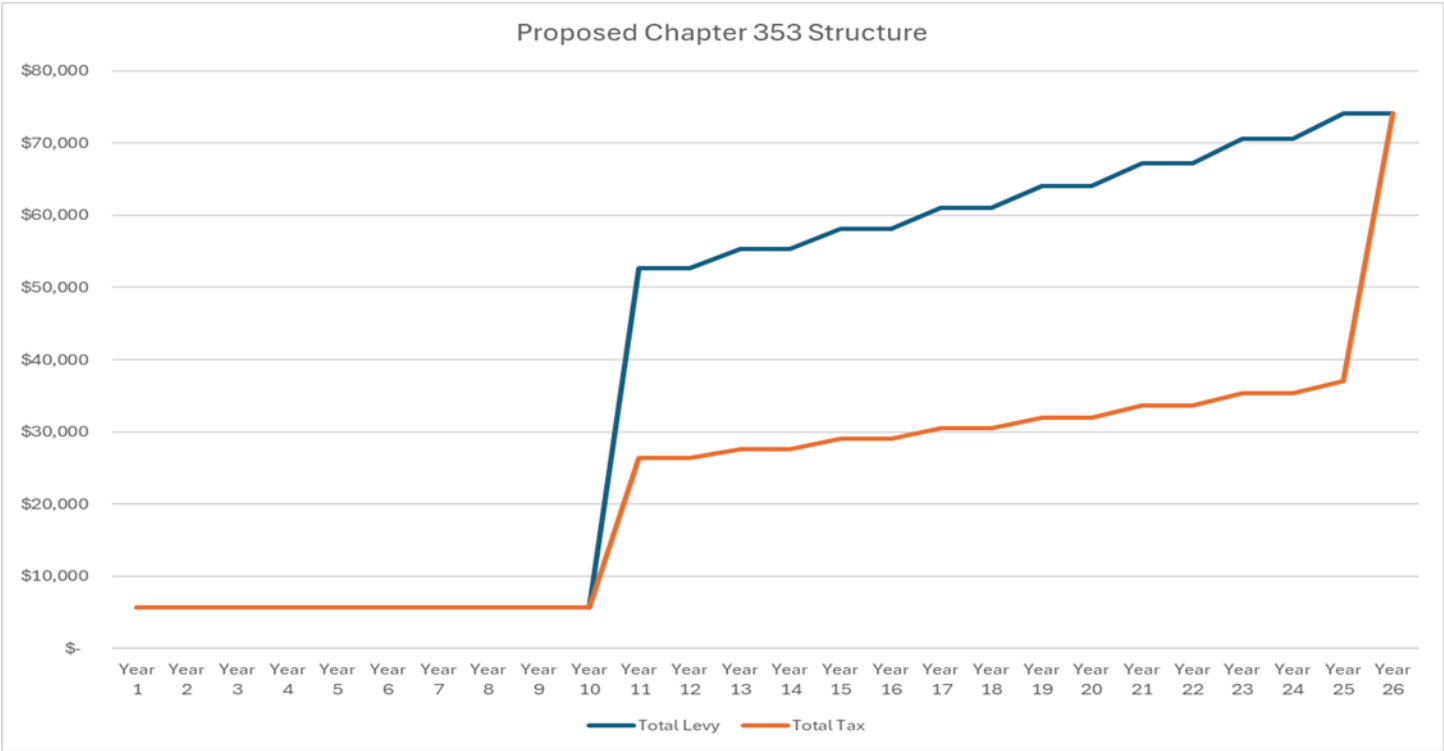
Transparency and Oversight: Ensure that the process includes mechanisms for accountability and public input.

This Proposal:

Within the last 25 years, the City of Boonville has authorized two Chapter 353 abatement projects. These were Selyn Place Apartments in 2002 and The Frederick Hotel in 2005. These projects will be returning fully to the tax rolls in 2027 and 2030 respectively. The proposed structure of the Second and Vine project mirrors these projects.

Since the Boonville R-I School District bears the burden of ~73% of the proposed abatement, city staff met with the district superintendent and selected board members on April 23, 2025, to discuss the project. There were no immediate concerns voiced, and an offer of introduction to the developer was made. In general, the district appreciated the city informing the district of this (and other) pending projects.

The city has engaged Mark Grimm of Gilmore and Bell to guide the process and create the necessary documents for the project to proceed.



BOONVILLE APARTMENTS
550 2ND STREET (2ND & VINE)
BOONVILLE, COOPER CO., MISSOURI 65233

ABBREVIATIONS			
AC	ACOUSTICAL CEILING	LAV	LAVATORY
AB	ACOUSTICAL BOARD		
ADJ	ADJUSTABLE	MECH	MECHANICAL
AFF	ABOVE FINISH FLOOR	MEMB	MEMBRANE
AGGR	AGGREGATE	MEP	MECH. ELECTRICAL, PLUMB.
AP	ACOUSTICAL PANEL	MTL	METAL
ASPH	ASPHALT	MH	MANHOLE
AT	ACOUSTICAL TILE	MO	MASONRY OPENING
		MTD	MOUNTED
BC	BOTTOM OF CURB		
BD	BOARD	NIC	NOT IN CONTRACT
BITUM	BITUMINOUS	NO	NUMBER
BL	BARROWLITE	NTS	NOT TO SCALE
BLK	BLOCK	NLB	NON LOAD BEARING
BM	BENCH MARK		
BRD	BOARD	OA	OVERALL
BRG	BEARING	OC	ON CENTER
BS	BACK SPLASH	OPNG	OPENING
CA	CARPET	P	PAINT
CAB	CABINET	PLAM	PLASTIC LAMINATE
CB	CATCH BASIN	PLAS	PLASTER
CEM	CEMENT	PLYWD	PLYWOOD
CJ	CONTROL JOINT	PR	PAIR
CMU	CONCRETE MASONRY UNIT	PRF	PROOF
CO	CASED OPENING	PTD	PAPER TOWEL DISPENSER
		PTN	PARTITION
COL	COLUMN		
CONC	CONCRETE	QT	QUARRY TILE
CONST	CONSTRUCTION		
CONTR	CONTRACTOR	R	RISER
CT	CERAMIC TILE	RD	ROOF DRAIN
		REIF	REINFORCED
		RES	RESILIENT
DBL	DOUBLE	RM	ROOM
DIA	DIAMETER	RO	ROUGH OPENING
DISP	DISPENSER	RFG	ROOFING
DN	DOWN		
DR	DOOR		
DS	DOWNSPOUT	SHTG	SHEETING
		SIM	SIMILAR
E	EPOXY	SPEC	SPECIFICATION
EJ	EXPANSION JOINT	SSTL	STAINLESS STEEL
ELEV	ELEVATION	STL	STEEL
EWC	ELECTRIC WATER COOLER		
		T	TREAD
EX	EXISTING	TB	TOWEL BAR
EXP	EXPOSED	TC	TOP OF CURB
EXT	EXTERIOR	T&G	TONGUE AND GROOVE
		THK	THICK
FD	FLOOR DRAIN	THR	THROAT
FDN	FOUNDATION	THRES	THRESHOLD
FE	FIRE EXTINGUISHER	TP	TOP OF PAVEMENT
FEC	FIRE EXTINGUISHER CABINET	TPD	TOILET PAPER DISPENSER
		TW	TOP OF WALL
FHC	FIRE HOSE CABINET	TYP	TYPICAL
FIN	FINISH		
FLR	FLOOR	UNO	UNLESS NOTED OTHERWISE
FTG	FOOTING	UR	URINAL
FV	FIELD VERIFY		
FWC	FABRIC WALL COVER	V	VINYL
		VCT	VINYL COMPOSITE TILE
		VWC	VINYL WALL COVERING
GA	GAUGE		
GALV	GALVANIZED		
GB	GYPSUM BOARD	W	WITH
GRB	GRAB BAR	WC	WATER CLOSET
GYP	GYPSUM	WD	WOOD
		WH	WATER HEATER
HB	HOSE BIB	W/O	WITHOUT
HM	HOLLOW METAL	WR	WASTE RECEPTACLE
HGT	HEIGHT	WSCT	WAINSCOT
		WS	WATER SOFTENER
INSUL	INSULATION		
INT	INTERIOR		

SYMBOLS LEGEND	
	EXTERIOR ELEVATION /
	INTERIOR ELEVATION
	PLAN NORTH ARROW
	TRUE NORTH ARROW
	ROOM NUMBER
	ROOF SLOPE
	WINDOW NUMBER
	DOOR IDENTIFICATION
	FRAME TYPE-ELEV.
	FLOOR DRAIN
	FIRE EXTINGUISHER
	FIRE EXTINGUISHER CABINET
	ENLARGED DETAIL
	BRICK
	CONCRETE
	CMU
	EARTH
	GRANULAR FILL
	INSULATION-BATT
	INSULATION-RIGID
	DRAWING TITLE
	ELEVATION MARKERS
	WALL SECTION
	BUILDING SECTION

CODE COMPLIANCE

THE AMERICANS WITH DISABILITIES ACT (ADA) STATES THAT ALTERATIONS TO A FACILITY MUST BE MADE, TO THE EXTENT FEASIBLE, THE ALTERED PORTIONS OF THE FACILITY ARE READILY ACCESSIBLE TO PERSONS WITH DISABILITIES. THE BUILDING CODE IS SET FORTH TO PROVIDE THE SAFE USE FOR ALL PERSONS OCCUPYING THE FACILITY. THE CLIENT ACKNOWLEDGES THAT THE REQUIREMENTS OF THE ADA AND BUILDING CODE ARE SUBJECT TO VARIOUS AND POSSIBLY CONTRADICTORY INTERPRETATIONS. THE ARCHITECT WILL USE HIS/HER REASONABLE PROFESSIONAL EFFORTS AND JUDGEMENT TO INTERPRET APPLICABLE REQUIREMENTS AS THEY APPLY TO THE PROJECT. THE ARCHITECT, HOWEVER, DOES NOT WARRANT OR GUARANTEE THAT THE CLIENT'S PROJECT WILL COMPLY WITH ALL INTERPRETATIONS OF THE REQUIREMENTS OF ALL FEDERAL, STATE, AND LOCAL LAWS, CODES, RULES, ORDINANCES, AND REGULATIONS AS THEY APPLY TO THE PROJECT.

- GENERAL NOTES**
- ALL WORK TO COMPLY W/ ALL NATIONAL, STATE, AND LOCAL CODE REQUIREMENTS INCLUDING 2006 IBC, AND THE REQUIREMENTS OF THE LOCAL FIRE PROTECTION DISTRICT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM IN SUCH MANNER REGARDLESS OF THE LEVEL OF DETAIL DISPLAYED ON THE PLANS.
 - EACH CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE PLANS AND FOR COORDINATING ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE STRUCTURAL DRAWINGS WITH THOSE SHOWN ON THE ARCHITECTURAL AND MECHANICAL DRAWINGS. IF ERRORS OR DISCREPANCIES OCCUR, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO BRING THEM TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
 - FIRE PROTECTION SPRINKLER DRAWINGS AND SPECIFICATIONS SHALL BE DESIGN/BUILD PER CODE BY GEN. CONTRACTOR AND SUBMITTED SEPARATELY. PLANS PROVIDED ARE FOR THE PURPOSE OF SHOWING DESIGN INTENT. CONSTRUCTION DETAILS, PRODUCT SELECTION, QUALITY & INSTALLATION IS THE RESPONSIBILITY OF THE CONTRACTOR & THE OWNER. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ACTIONS, OR LACK THEREOF, BY OTHERS.
 - PROVIDE TWO (2) LAYERS 15# FELT APPLIED FROM GUTTER BOARDS UP TO 2'-0" INSIDE OF THE INTERIOR WALL LINE.
 - PROVIDE 5/8" GYP. BD BOTH SIDES OF BEARING WALLS, EXTERIOR WALLS, AND PARTY WALLS TO CEILING. CORROSION-RESISTANT FLASHING AT TOP/SIDES OF ALL EXTERIOR WINDOW & DOOR OPENINGS, ROOF VALLEYS, AND FRAME WALLS.
 - WIND BRACE ALL EXTERIOR CORNERS WITH STEEL STRAPS. EACH CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING AND SHORING AS REQUIRED DURING CONSTRUCTION TO ENSURE THE SAFETY OF ALL INDIVIDUALS INVOLVED.
 - MAX. FLAME SPREAD OF ANY INTERIOR FINISH MATERIALS SHALL BE LIMITED TO 200 OR LESS. ALL EXPOSED MATERIALS FOR PORCH SOFFITS, OVERHANGS, ETC. TO BE APPROVED EXTERIOR GRADE MATERIALS.

PROJECT INFORMATION		
CODES:		
INTERNATIONAL EXISTING BUILDING CODE - CHPT. 9	2006	
INTERNATIONAL FIRE CODE	2006	
INTERNATIONAL PLUMBING CODE	2006	
INTERNATIONAL MECHANICAL CODE	2006	
NATIONAL ELECTRICAL CODE	2005	
INTERNATIONAL ENERGY CONSERVATION CODE	2006	
OCCUPANCY CLASSIFICATION (MIXED USE)	GROUPS A-2, R-2 & S-2	
TYPE OF CONSTRUCTION (EXISTING)	TYPE IV	
38 UNITS = 76 PARKING SPACES INCLUDING 4 ACCESSIBLE REQUIRED		
38 UNITS = 38x.02=.76 (OR 1 TYPE A UNIT)		

DESIGN TEAM

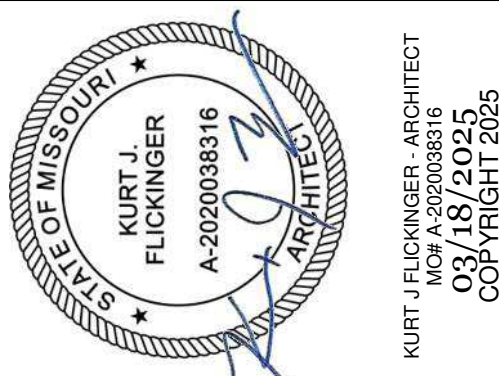
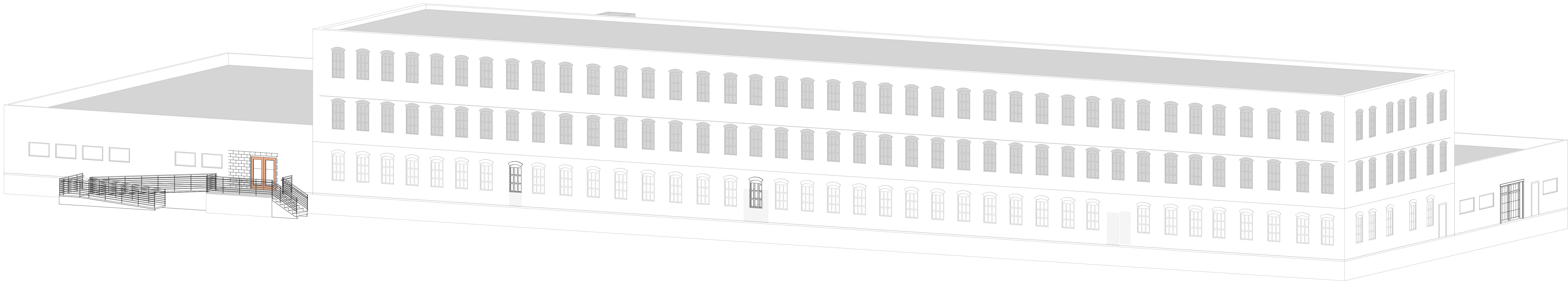
KJF ARCHITECTURE
SUNRISE BEACH, MO. 573.434.1632

ARCHITECT: KURT J. FLICKINGER, AIA, NCARB

LEGAL NOTICE

FAILURE TO COMPENSATE KJF ARCHITECTURE FOR THE USE OF THESE DRAWINGS AS GOVERNED BY THE TERMS OF THE AGREEMENT (CONTRACT ON FILE), OR 5% OF THE COST OF CONSTRUCTION, MINIMUM, IF CONTRACT IS IMPLIED (USE OF THESE DOCUMENTS CREATES AN IMPLIED CONTRACT), AND CONSTITUTES A BREACH OF CONTRACT WHICH SHALL RESULT IN THE LOSS OF PERMISSION TO USE THESE DOCUMENTS FOR ANY PURPOSE BY ANYONE. USE OF THESE DOCUMENTS AFTER FAILURE TO COMPENSATE KJF ARCHITECTURE CONSTITUTES COPYRIGHT INFRINGEMENT. A SERVICE FEE OF 1.5% WILL BE CHARGED PER MONTH ON THE UNPAID BALANCE. THE CLIENT SHALL PAY ALL COSTS OF COLLECTION, INCLUDING ATTORNEY'S FEES AND COURT COSTS.

CONTENTS	
GENERAL SHEETS	
G000	COVER SHEET
G001	CODE SHEET
DEMOLITION SHEETS	
D100	DEMOLITION SHEET
ARCHITECTURAL SHEETS	
AC100	ARCHITECTURAL SITE PLAN
A001	SPECIFICATION SHEET
A100	MAIN LEVEL FLOOR PLAN
A101	UPPER LEVEL 1 & 2 FLOOR PLAN
A102	ROOF PLAN
A200	BUILDING ELEVATIONS
A400	ENLARGED PLANS

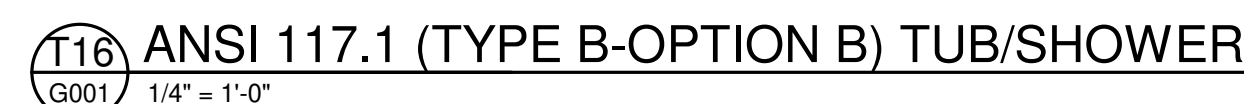
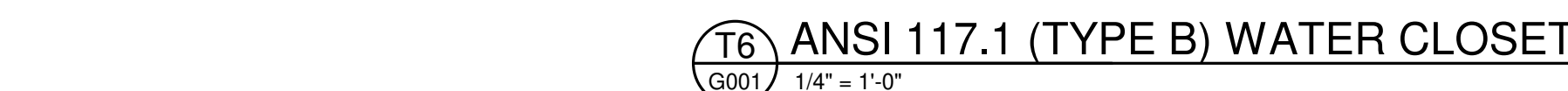
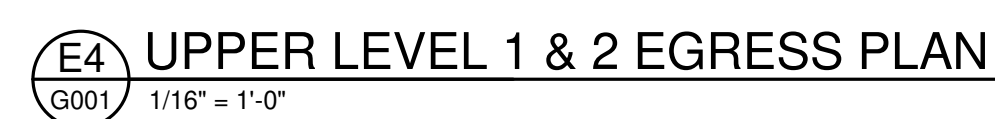


BOONVILLE
APARTMENTS
550 2ND STREET (2ND & VINE)
BOONVILLE, COOPER CO., MISSOURI 65233

DRAWN BY: KJF
REVIEWED BY: KJF
DRAWING TITLE: COVER SHEET

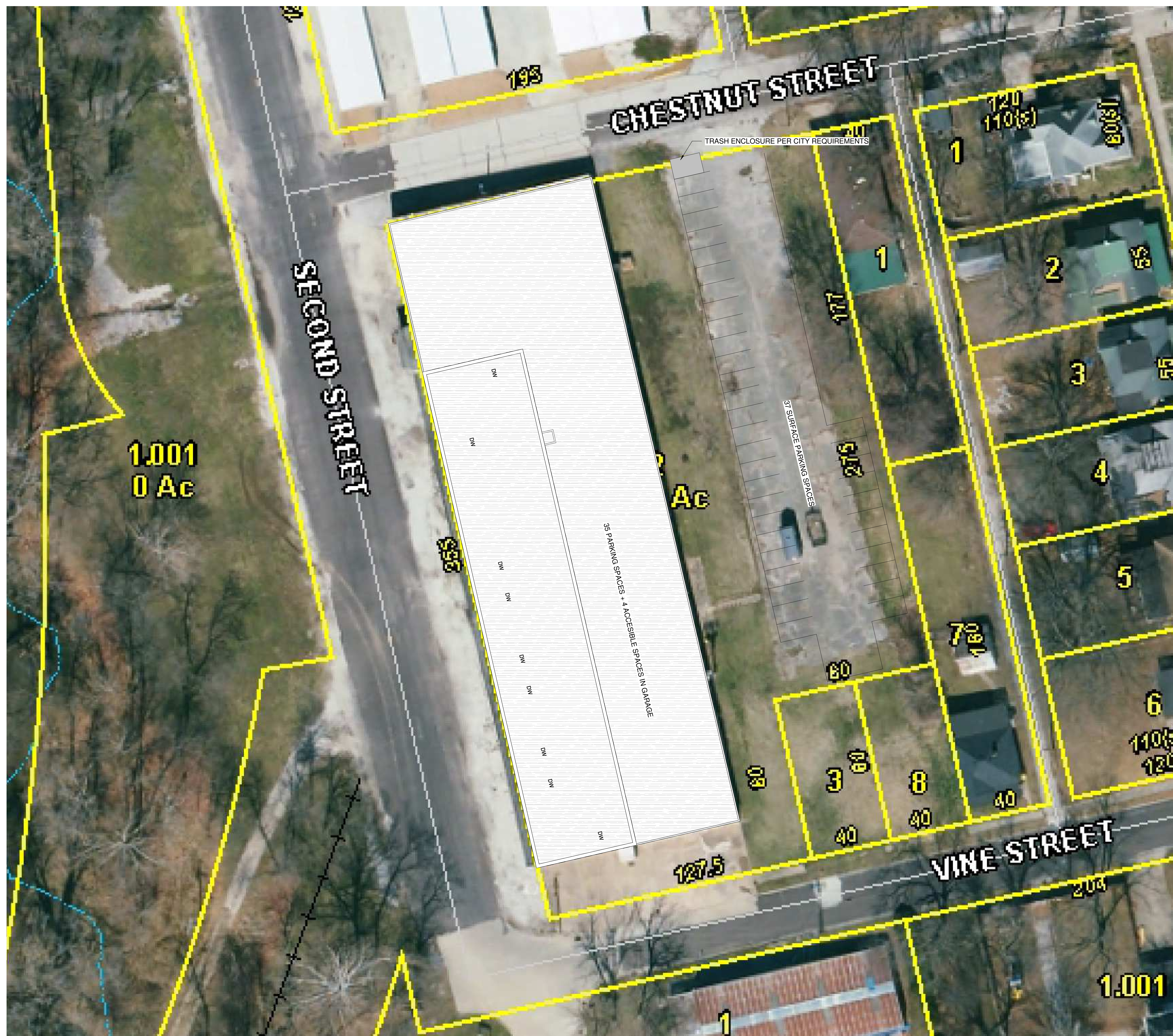
No.	Revision:	Date:

PROJECT NUMBER: 24070
SUBMISSION DATE: 03/18/2025
SHEET NUMBER: G000
1 of 2



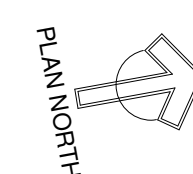
RETROFIT® GYPSUM PANEL (UL TYPE SCX) JOB, STAGGERED, 8\" (203 MM) O.C. INSULATION RETROFIT® GYPSUM PANEL (UL TYPE SCX)	
	GENERAL WALL NOTES: - REFER TO APPLICABLE CODES REQUIREMENTS TO ENSURE COMPLIANCE PRIOR TO CONSTRUCTION. - FOR THE MOST UP-TO-DATE DETAILS, INCLUDING CONSTRUCTION VARIATIONS, REFER TO THE PUBLISHED DESIGN. - WHERE DESIGN NO. INDICATES PER®, THE FIRE RATING IS BASED ON LABORATORY TEST DATA OF THE REFERENCED SIMILARLY CONSTRUCTED ASSEMBLIES. - STUD SIZES AND INSULATION THICKNESS ARE MINIMUM UNLESS OTHERWISE STATED IN THE PUBLISHED ASSEMBLY. - STUD AND FASTENER SPACINGS ARE MAXIMUM UNLESS OTHERWISE STATED IN THE PUBLISHED ASSEMBLY. - PANEL ORIENTATION SHALL BE AS SPECIFIED IN THE PUBLISHED DESIGN. - FIRE RATINGS ARE FROM BOTH SIDES UNLESS OTHERWISE STATED. - FIRE RATINGS ARE MAINTAINED WITH ONE OR MORE OF THE FOLLOWING MODIFICATIONS: INCREASE STUD DEPTH, INCREASE STUD MATERIAL THICKNESS, DECREASE STUD SPACING, DECREASE FASTENER SPACING, INCREASE INSULATION THICKNESS UP TO CAVITY DEPTH. - WHERE ACOUSTICAL PERFORMANCE IS PROVIDED IN AN ESTIMATED RANGE, THE VALUES ARE BASED ON LABORATORY TEST DATA OF SIMILARLY CONSTRUCTED ASSEMBLIES. - SOUND RATINGS ARE MAINTAINED WITH ONE OR MORE OF THE FOLLOWING MODIFICATIONS: INCREASE STUD DEPTH, DECREASE STUD MATERIAL THICKNESS, INCREASE STUD SPACING, INCREASE FASTENER SPACING, INCREASE INSULATION THICKNESS UP TO CAVITY DEPTH. MODIFICATIONS MUST NOT EXCEED LIMITATIONS OF FIRE RATING. ISSUE RECORD: Revision Date 10/05/2021 11:06:00 PM SHEET INFORMATION W-P-1-55





ARCHITECTURAL SITE PLAN

NOTE: FINAL NUMBER OF PARKING SPACES (OUTSIDES) TO BE DETERMINED/VERIFIED BY OTHERS



KURT J FLICKINGER, AIA, NCARB
P. O. BOX 449 - SUNRISE BEACH MO 650
573 434 1632 - kflickinger@live.com

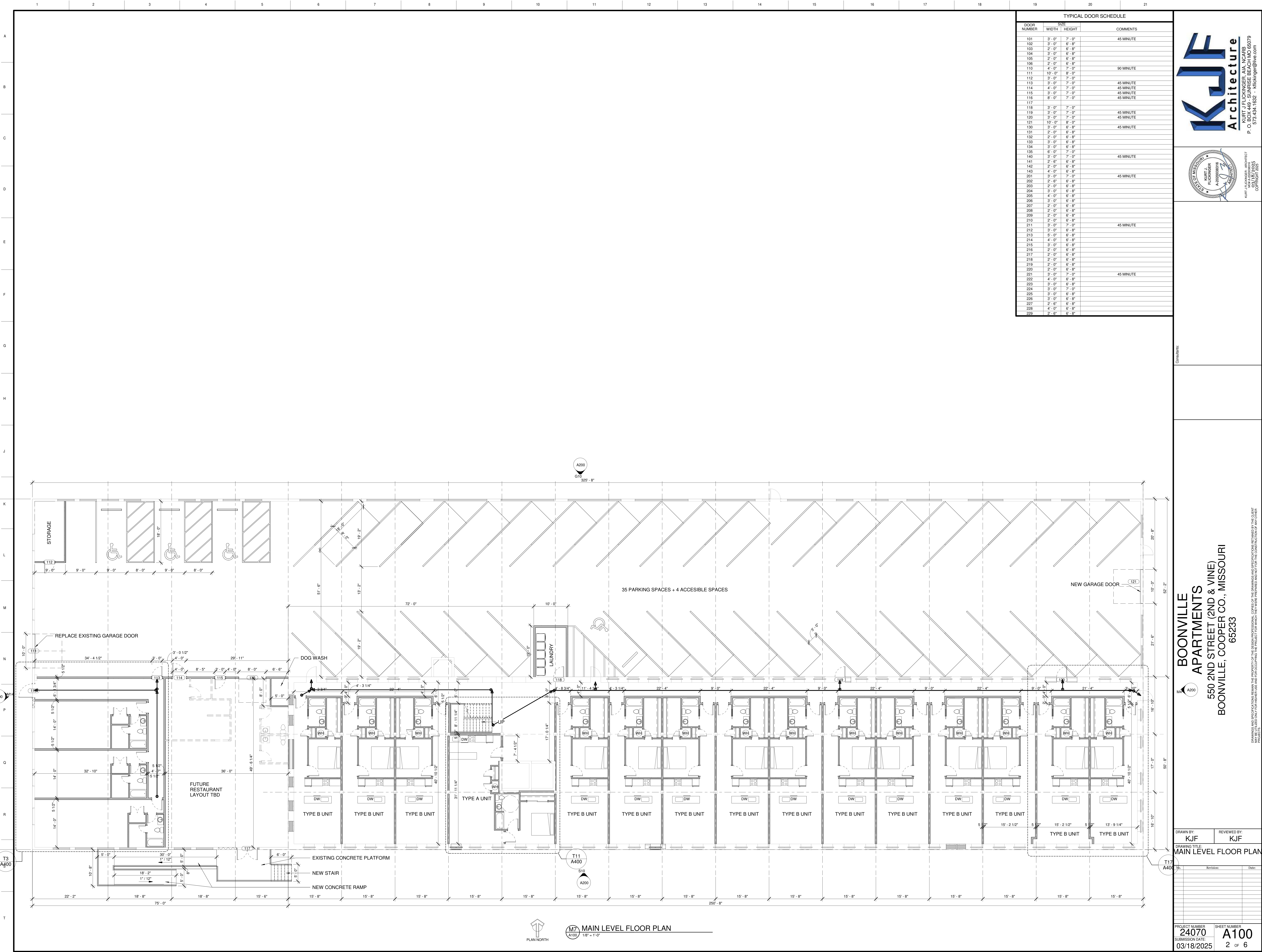
FOR
REFREN
ONLY

ART J FLICKINGER - ARCHITECT
MO# A-2020038316
03/18/2025

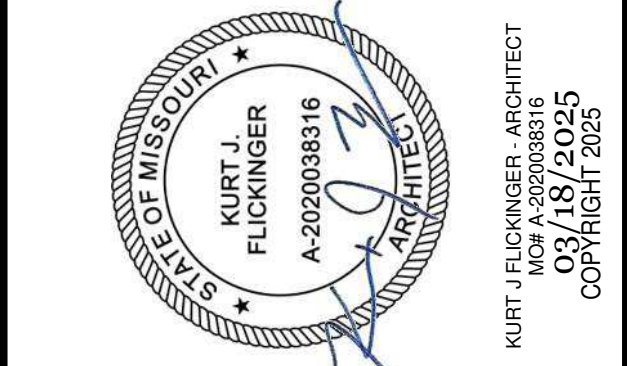
**BOONVILLE
APARTMENTS**
550 2ND STREET (2ND & VINE)
BOONVILLE, COOPER CO., MISSOURI
65233

DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL. COPIES OF THE DRAWINGS AND SPECIFICATIONS RETAINED BY THE CLIENT ARE TO BE USED ONLY FOR THE PROJECT AND NOT FOR ANY OTHER PROJECT. ANY REUSE OF THE DRAWINGS OR SPECIFICATIONS FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGN PROFESSIONAL IS STRICTLY PROHIBITED. ANY REUSE OF THE DRAWINGS OR SPECIFICATIONS FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGN PROFESSIONAL IS STRICTLY PROHIBITED.

[illegible]



TYPICAL DOOR SCHEDULE			
DOOR NUMBER	SIZE		COMMENTS
	WIDTH	HEIGHT	
101	3'-0"	7'-0"	45 MINUTE
102	3'-0"	6'-8"	
103	2'-0"	6'-8"	
104	3'-0"	6'-8"	
105	2'-0"	6'-8"	
106	2'-0"	6'-8"	
110	4'-0"	7'-0"	90 MINUTE
111	10'-0"	8'-0"	
112	3'-0"	7'-0"	
113	3'-0"	7'-0"	45 MINUTE
114	4'-0"	7'-0"	45 MINUTE
115	3'-0"	7'-0"	45 MINUTE
116	6'-0"	7'-0"	45 MINUTE
117	3'-0"	7'-0"	
118	3'-0"	7'-0"	
119	3'-0"	7'-0"	45 MINUTE
120	3'-0"	7'-0"	45 MINUTE
121	10'-0"	8'-0"	
130	3'-0"	6'-8"	45 MINUTE
131	2'-0"	6'-8"	
132	2'-0"	6'-8"	
133	3'-0"	6'-8"	
134	3'-0"	6'-8"	
135	6'-0"	7'-0"	
140	3'-0"	7'-0"	
141	2'-6"	6'-8"	45 MINUTE
142	2'-0"	6'-8"	
143	4'-0"	6'-8"	
201	3'-0"	7'-0"	45 MINUTE
202	2'-6"	6'-8"	
203	2'-0"	6'-8"	
204	3'-0"	6'-8"	
205	4'-0"	6'-8"	
206	3'-0"	6'-8"	
207	2'-0"	6'-8"	
208	2'-0"	6'-8"	
209	2'-0"	6'-8"	
210	2'-0"	6'-8"	
211	3'-0"	7'-0"	45 MINUTE
212	3'-0"	6'-8"	
213	5'-0"	6'-8"	
214	4'-0"	6'-8"	
215	5'-0"	6'-8"	
216	2'-0"	6'-8"	
217	2'-0"	6'-8"	
218	5'-0"	6'-8"	
219	2'-0"	6'-8"	
220	2'-0"	6'-8"	
221	3'-0"	7'-0"	45 MINUTE
222	4'-0"	6'-8"	
223	3'-0"	6'-8"	
224	3'-0"	7'-0"	
225	3'-0"	6'-8"	
226	3'-0"	6'-8"	
227	5'-0"	6'-8"	
228	4'-0"	6'-8"	
229	2'-6"	6'-8"	



Consultants:

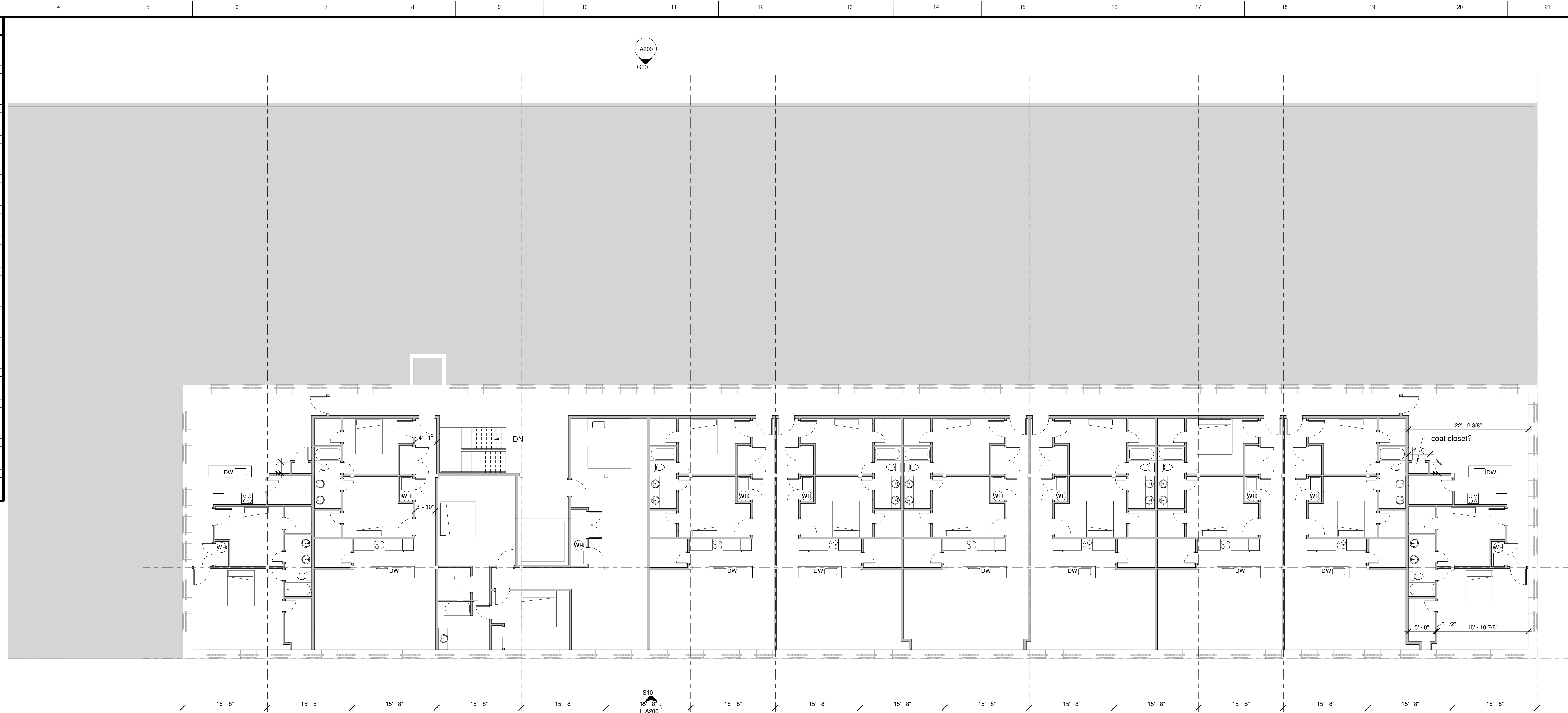
BOONVILLE APARTMENTS
550 2ND STREET (2ND & VINE)
BOONVILLE, COOPER CO., MISSOURI 65233

DRAWN BY: KJF
REVIEWED BY: KJF
DRAWING TITLE: MAIN LEVEL FLOOR PLAN

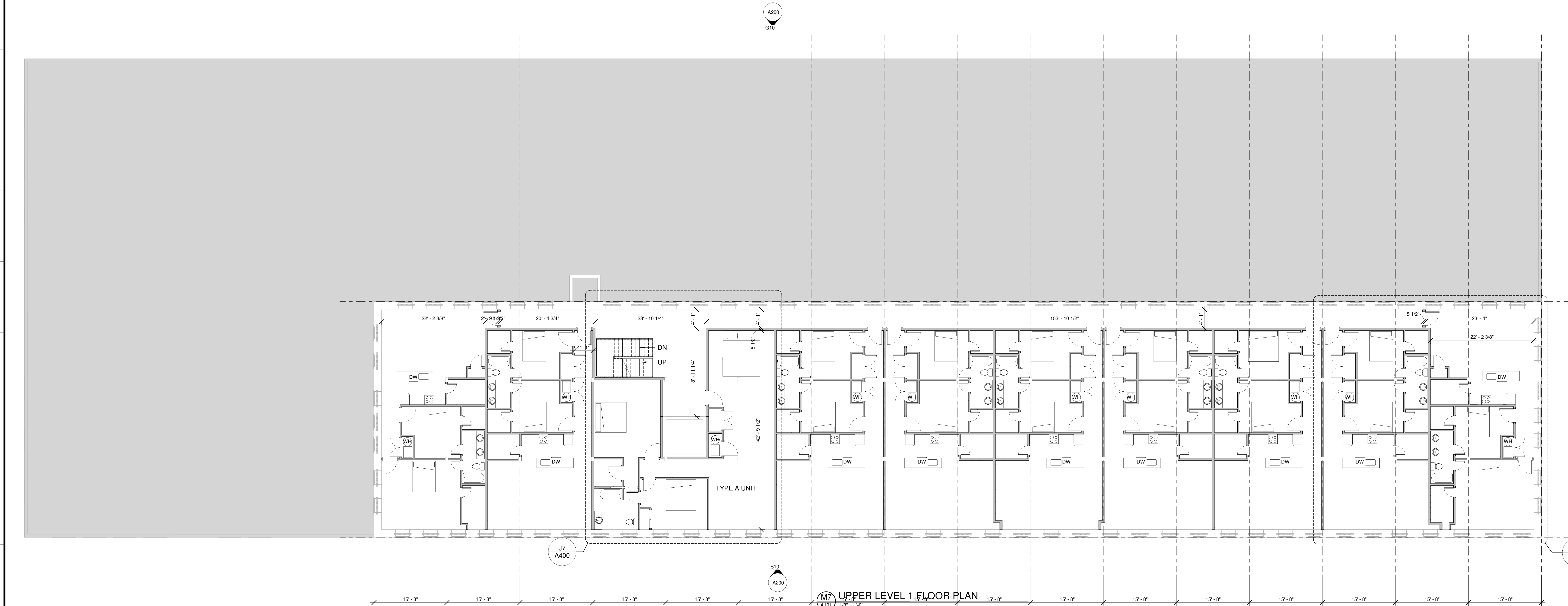
PROJECT NUMBER: 24070
SUBMISSION DATE: 03/18/2025
SHEET NUMBER: A100
2 OF 6

CONTRACT NO. 24070-01
DRAWING NO. 24070-01-01
DATE: 03/18/2025
BY: KJF
CHECKED: KJF
APPROVED: KJF
SCALE: 1/8" = 1'-0"

TYPICAL DOOR SCHEDULE			
DOOR NUMBER	SIZE		COMMENTS
	WIDTH	HEIGHT	
101	3'-0"	7'-0"	45 MINUTE
102	3'-0"	6'-8"	
103	2'-0"	6'-8"	
104	3'-0"	6'-8"	
105	2'-0"	6'-8"	60 MINUTE
106	2'-0"	6'-8"	
110	4'-0"	7'-0"	
111	10'-0"	8'-0"	
112	3'-0"	7'-0"	45 MINUTE
113	3'-0"	7'-0"	
114	4'-0"	7'-0"	
115	3'-0"	7'-0"	
116	8'-0"	7'-0"	45 MINUTE
117			
118	3'-0"	7'-0"	45 MINUTE
119	3'-0"	7'-0"	
120	3'-0"	7'-0"	
121	10'-0"	8'-0"	
130	3'-0"	6'-8"	45 MINUTE
131	2'-0"	6'-8"	
132	2'-0"	6'-8"	
133	3'-0"	6'-8"	
134	3'-0"	6'-8"	45 MINUTE
135	6'-0"	7'-0"	
140	3'-0"	7'-0"	
141	2'-6"	6'-8"	
142	2'-0"	6'-8"	45 MINUTE
143	4'-0"	6'-8"	
201	3'-0"	7'-0"	
202	2'-6"	6'-8"	
203	2'-0"	6'-8"	45 MINUTE
204	3'-0"	6'-8"	
205	4'-0"	6'-8"	
206	3'-0"	6'-8"	
207	2'-0"	6'-8"	45 MINUTE
208	2'-0"	6'-8"	
209	2'-0"	6'-8"	
210	2'-0"	6'-8"	
211	3'-0"	7'-0"	45 MINUTE
212	3'-0"	6'-8"	
213	3'-0"	6'-8"	
214	4'-0"	6'-8"	
215	3'-0"	6'-8"	45 MINUTE
216	2'-0"	6'-8"	
217	2'-0"	6'-8"	
218	2'-0"	6'-8"	
219	2'-0"	6'-8"	45 MINUTE
220	2'-0"	6'-8"	
221	3'-0"	7'-0"	
222	4'-0"	6'-8"	
223	3'-0"	6'-8"	45 MINUTE
224	3'-0"	7'-0"	
225	3'-0"	6'-8"	
226	3'-0"	6'-8"	
227	2'-6"	6'-8"	45 MINUTE
228	4'-0"	6'-8"	
229	2'-0"	6'-8"	
230	2'-0"	6'-8"	



1 UPPER LEVEL 2 FLOOR PLAN
A101 1/8" = 1'-0"



UPPER LEVEL 1 FLOOR PLAN

