



BOONVILLE

City of Boonville

June 16, 2025

7:00 PM

City Council Chambers

525 E. Spring Street

Boonville MO 65233

PUBLIC HEARING AT 7:00 P.M. FOR ANNEXATION OF 17120 JACKSON ROAD, AND ASSOCIATED TRACTS

Meeting Live streamed <https://www.youtube.com/user/cityofboonvillemo> & Channel 3 with Suddenlink Cable TV

I. Call to order – Pledge and Prayer

A. Steve Young

II. Roll Call

III. Hearing of Citizens' Comments

IV. Approval of Minutes

A. June 2 minutes

V. Consent Items

A. Consider Pay App No. 7 in the amount of **\$9243.21** to GloveCon for City Hall Renovations

VI. Presentation of Accounts and Claims

A. Appropriations

VII. Unfinished Business

A. Second Reading of Bill No. 2025-009 Approving Annexation of Ballparks Central at 17120 Jackson Road and associated tracts

VIII. New Business

A. First reading of Bill No. 2025-010 Approving a Final Plat of a Minor Subdivision at 913 Santa Fe Trail

- B.** First Reading of Bill No. 2025-011 Authorizing and approving a rezoning of 911 Kemper Drive from R-3 to C-P
- C.** First Reading of Bill No. 2025-012 Approving a Preliminary Site Plan for 98 Investments LLC
- D.** First Reading of Bill No. 2025-013 Adopting a Procedure for considering redevelopment plan and tax abatement or exemption pursuant to Chapter 353 of the Revised Statutes of Missouri

IX. Reports of Standing Committees

- A.** Planning and Zoning 6.10.25 (Sy Harvell)
- B.** Fire Board Meeting (Tanner Bechtel)

X. Reports of City Officials

- A.** Mayor
- B.** City Administrator
 - New Requirements for City Yard Waste Collection and Drop-off
 - Pumper Truck Discussion
- C.** City Clerk
- D.** City Counselor

XI. Miscellaneous

XII. Adjourn

NOTICE: The City of Boonville will comply with the Americans with Disabilities Act (ADA). Individuals who require an accommodation due to disability to attend this meeting should contact our office at (660) 882-2332 or Relay Missouri, 1-800-735-2966 TTY at least 48 hours in advance.



June 2, 2025

7:00 PM

**City Council Chambers
525 E. Spring Street
Boonville MO 65233**

I. Call to order – Pledge and Prayer

The Boonville City Council met in Regular Session on June 2, 2025, at 7:00 p.m. in the Council Chambers located at 525 East Spring Street, Boonville, Missouri. The following officers were present: Kate Fjell, City Administrator; Randy Ayers, Sergeant at Arms; Ned Beach, Mayor; City Clerk Amber Davis, and Brad Wooldridge, City Counselor. The meeting was called to order. Tanner Bechtel led the prayer after the Pledge of Allegiance.

II. Roll Call

The following council representatives were present: Barry Elbert, Whitney Venable, Drew Davis, Tanner Bechtel, Steve Young, Susan Meadows, and Sy Harvell. Andrew Cowherd was absent.

III. Hearing of Citizens' Comments

Mary Pat Abele came before the council and handed out an invitation to the Library open house event, being held on Saturday, June 28th, from 11-3.

IV. Approval of Minutes

A. May 19th minutes

The minutes stand as submitted

V. Consent Items

A. Consider Pay App No. 5 in the amount of \$201,217.23 to GBH Builders, Inc. For Johnston Field House Renovations

Mr. Davis moved, and Ms. Meadows seconded the motion to approve the consent item. Roll call was taken. Ayes: Elbert, Venable, Davis, Bechtel, Young, Meadows, and Harvell Total (8). Opposed: None. Absent (1) Cowherd. Motion Carried.

B. Consider Pay App No. 4 in the amount of \$506,100.00 to Spectrum Environmental, LLC for asbestos and lead abatement at A and D Barracks at Kemper Park.

Mr. Davis moved, and Ms. Meadows seconded the motion to approve the consent item. Roll call was taken. Ayes: Elbert, Venable, Davis, Bechtel, Young, Meadows, and Harvell Total (8). Opposed: None. Absent (1) Cowherd. Motion Carried.

VI. Presentation of Accounts and Claims

A. Appropriations

Ms. Davis read the ordinance appropriating money, in its entirety, and a second time, by title only, since a copy of the ordinance had been made available prior to the meeting.

Mr. Venable moved, and Mr. Bechtel seconded the motion to approve the ordinance appropriating money. Roll call was taken. Ayes: Elbert, Venable, Davis, Bechtel, Young, Meadows, and Harvell. Total (8). Opposed: None. Absent (1) Cowherd. Motion Carried.

VII. Unfinished Business

A. Consider Heritage Days Street Closure and Parking Restriction Requests

Ms. Meadows moved and Mr. Davis seconded the motion to approve the request. Roll call was taken. Ayes: Elbert, Venable, Davis, Bechtel, Young, Meadows, and Harvell. Total (8). Opposed: None. Absent (1) Cowherd. Motion Carried.

B. Second Reading of Bill No. 2025-08 Approving a final site plan for 1921 Legends West Ave for dog wash kiosk

Mr. Venable moved, and Mr. Bechtel seconded the motion to approve the bill. Roll call was taken. Ayes: Elbert, Venable, Davis, Bechtel, Young, Meadows, and Harvell. Total (8). Opposed: None. Absent (1) Cowherd. Motion Carried.

VIII. New Business

A. First Reading of Bill No. 2025-009 Approving annexation of Ballparks Central at 17120 Jackson Road and associated tracts

Ms. Davis read, by title only, a copy of the bill

IX. Reports of Standing Committees

None

X. Reports of City Officials

A. Mayor

None

B. City Administrator

None

C. City Clerk

None

D. City Counselor

None

E. Economic Developer

Jim Gann, Economic Developer, came before the council with his May report.

XI. Miscellaneous

None

XII. Adjourn

With no further discussion, Mr. Young moved, and Mr. Venable seconded the motion to adjourn at 7:20 p.m, and the voice vote was unanimous.

PORTER, BERENDZEN & ASSOCIATES, P.C.



A R C H I T E C T U R E

200 SOUTH HENRY CLAY BLVD.

P.O. BOX 446

ASHLAND, MO 65010

(573) 657-2022

E-MAIL: jay@pba-architecture.com

May 29, 2025

Kate Fjell – City Administrator
City of Boonville
401 Main Street
Boonville, Missouri 65233
660-882-2332

Re: Remodeling at City Hall - General Contractor Pay Application No. 7

We have reviewed the AIA Document G702 - Application for Payment No. 07 from GloveCon.
We have reviewed the amount requested and believe it to be appropriate.

We have also received Payroll Reports and Lien Waivers for previous payments to date.
We will compile all paperwork for you to be presented at the completion of the project.

There will be one final payment once the final walk is completed later this week and any deficiencies corrected.

Change Order #1 has been executed and is accounted for on this pay application.

The \$5,000 contingency was depleted in Change Order #1.

Please review the Pay Application. Please pay the 'Amount Certified' on page 1 of the Application. Please make payment directly to the contractor.

If you have any questions, please do not hesitate to contact me.

Respectfully submitted,

Jay D. Berendzen, AIA - PORTER, BERENDZEN & ASSOCIATES, P.C.

PAYMENT APPLICATION

Page 1

TO: City of Boonville 401 Main Street Boonville, MO 65233 Attn:	PROJECT NAME AND LOCATION: City of Boonville Remodeling of the City Hall Building 401 Main Street Boonville, MO 65233	APPLICATION # 7 PERIOD THRU: 05/11/2025 PROJECT #s: PBA-2413 DATE OF CONTRACT: 09/27/2024	Distribution to: ☐ OWNER ☐ ARCHITECT ☐ CONTRACTOR ☐
FROM: GloveCon, Inc. 1200 South Business 54 Fulton, Missouri 65251	ARCHITECT:		
FOR:			

CONTRACTOR'S SUMMARY OF WORK

Application is made for payment as shown below.
Continuation Page is attached.

1. CONTRACT AMOUNT	<u>\$192,940.00</u>
2. SUM OF ALL CHANGE ORDERS	<u>\$23,498.20</u>
3. CURRENT CONTRACT AMOUNT (Line 1 +/- 2)	<u>\$216,438.20</u>
4. TOTAL COMPLETED AND STORED (Column G on Continuation Page)	<u>\$203,334.50</u>
5. RETAINAGE:	
a. 5.00% of Completed Work (Columns D + E on Continuation Page)	<u>\$10,166.73</u>
b. 5.00% of Material-Stored (Column F on Continuation Page)	<u>\$0.00</u>
Total Retainage (Line 5a + 5b or Column I on Continuation Page)	<u>\$10,166.73</u>
6. TOTAL COMPLETED AND STORED LESS RETAINAGE (Line 4 minus Line 5 Total)	<u>\$193,167.77</u>
7. LESS PREVIOUS PAYMENT APPLICATIONS	<u>\$183,924.56</u>
8. PAYMENT DUE	<u>\$9,243.21</u>
9. BALANCE TO COMPLETION (Line 3 minus Line 6)	<u>\$23,270.43</u>

Contractor's signature below is his assurance to Owner, concerning the payment herein applied for, that: (1) the Work has been performed as required in the Contract Documents, (2) all sums previously paid to Contractor under the Contract have been used to pay Contractor's costs for labor, materials and other obligations under the Contract for Work previously paid for, and (3) Contractor is legally entitled to this payment.

CONTRACTOR: GloveCon, Inc.

By: Dwesa Love Date: 5/22/25

ARCHITECT'S CERTIFICATION

Architect's signature below is his assurance to Owner, concerning the payment herein applied for, that: (1) Architect has inspected the Work represented by this Application, (2) such Work has been completed to the extent indicated in this Application, and the quality of workmanship and materials conforms with the Contract Documents, (3) this Application for Payment accurately states the amount of Work completed and payment due therefor, and (4) Architect knows of no reason why payment should not be made.

CERTIFIED AMOUNT..... \$9,243.21

(If the certified amount is different from the payment due, you should attach an explanation. Initial all the figures that are changed to match the certified amount.)

ARCHITECT:

By: [Signature] Date: 05-29-2025

Neither this Application nor payment applied for herein is assignable or negotiable. Payment shall be made only to Contractor, and is without prejudice to any rights of Owner or Contractor under the Contract Documents or otherwise.

SUMMARY OF CHANGE ORDERS	ADDITIONS	DEDUCTIONS
Total changes approved in previous months	\$0.00	\$0.00
Total approved this month	\$23,498.20	\$0.00
TOTALS	\$23,498.20	\$0.00
NET CHANGES	\$23,498.20	

PAYMENT APPLICATION

Quantum Software Solutions, Inc. Document

APPROVED

By Jay D. Berendzen - May 29, 2025

CONTINUATION PAGE

Page 2 of 2

PROJECT: City of Boonville
Remodeling of the City Hall Building

APPLICATION #: 7
DATE OF APPLICATION: 05/22/2025
PERIOD THRU: 05/11/2025
PROJECT #s: PBA-2413

Payment Application containing Contractor's signature is attached.

A	B	C	D	E	F	G		H	I
ITEM #	WORK DESCRIPTION	SCHEDULED AMOUNT	COMPLETED WORK		STORED MATERIALS (NOT IN D OR E)	TOTAL COMPLETED AND STORED (D + E + F)	% COMP. (G / C)	BALANCE TO COMPLETION (C-G)	RETAINAGE (If Variable)
			AMOUNT PREVIOUS PERIODS	AMOUNT THIS PERIOD					
01	General Conditions	\$27,471.00	\$26,494.20	\$0.00	\$0.00	\$26,494.20	96%	\$976.80	\$1,324.71
02	Existing Conditions Demo	\$4,400.00	\$4,400.00	\$0.00	\$0.00	\$4,400.00	100%	\$0.00	\$220.00
03	Casework - Vanity	\$1,370.00	\$1,370.00	\$0.00	\$0.00	\$1,370.00	100%	\$0.00	\$68.50
04	Thermal & Moisture Protection on Caulking and sealants	\$200.00	\$200.00	\$0.00	\$0.00	\$200.00	100%	\$0.00	\$10.00
05	Openings	\$1,140.00	\$1,140.00	\$0.00	\$0.00	\$1,140.00	100%	\$0.00	\$57.00
06	Finishes	\$72,832.00	\$69,473.60	\$0.00	\$0.00	\$69,473.60	95%	\$3,358.40	\$3,473.68
07	Plumbing	\$1,750.00	\$1,750.00	\$0.00	\$0.00	\$1,750.00	100%	\$0.00	\$87.50
08	HVAC	\$59,777.00	\$59,777.00	\$0.00	\$0.00	\$59,777.00	100%	\$0.00	\$2,988.85
09	Electrical	\$29,000.00	\$29,000.00	\$0.00	\$0.00	\$29,000.00	100%	\$0.00	\$1,450.00
10	Contingency	(\$5,000.00)	\$0.00	(\$5,000.00)	\$0.00	(\$5,000.00)	100%	\$0.00	(\$250.00)
11	Change Order # 1	\$4,935.70	\$0.00	\$4,935.70	\$0.00	\$4,935.70	100%	\$0.00	\$246.79
12	Change Order # 2	\$7,744.00	\$0.00	\$7,744.00	\$0.00	\$7,744.00	100%	\$0.00	\$387.20
14	Change Order # 4	\$10,818.50	\$0.00	\$2,050.00	\$0.00	\$2,050.00	19%	\$8,768.50	\$102.50
	TOTALS	\$216,438.20	\$193,604.80	\$9,729.70	\$0.00	\$203,334.50	94%	\$13,103.70	\$10,166.73

CONTINUATION PAGE

Quantum Software Solutions, Inc. Document

ORDINANCE APPROPRIATING MONEY

Be it Ordained by the Council of the City of Boonville as follows:

Section 1: For the purpose of paying salaries and various accounts against the City of Boonville, which have been allowed by the Council, at the regular meeting thereof on **June 16, 2025** the sum of **\$694,987.41**

General Fund	\$284,244.20
Sanitation	\$44,387.81
CIP Tax	\$14,856.30
Water Works	\$38,232.78
Capital Projects	\$39,483.79
Waste Water	\$71,755.02
Tourism	\$11,822.77
Gaming	\$141,992.32
Parks/Water	\$20,712.42
Kemper Sales Tax	\$27,500.00
Economic Development Projects	\$0.00

Section 2: The Accountant is hereby authorized and instructed to draw checks on the respective City bank accounts, in favor of the persons whose salaries and accounts have been allowed as above, amounting to **\$694,987.41** being the total amount of money above appropriated.

Section 3: This ordinance shall take effect and be in force from and after its passage. First reading on **June 16, 2025** read for the second time this **June 16, 2025** since a copy was made available prior to the meeting.

Approved **June 16, 2025**

Mayor

Endorsed **June 16, 2025** : I hereby certify that a sufficient sum of money stands to the credit of the City, unappropriated, in the various funds to meet the requirements of this ordinance.

Accountant

BILL NO. 2025-009

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF BOONVILLE, MISSOURI ANNEXING CERTAIN CONTIGUOUS TERRITORY OWNED BY KIM BRADY, LOCATED AT 17120 JACKSON ROAD AND ASSOCIATED TRACTS, COOPER COUNTY, MISSOURI, INTO THE CITY OF BOONVILLE, MISSOURI; ZONING THE PROPERTY AS C-P COMMERCIAL DISTRICT; PROVIDING AN EFFECTIVE DATE THEREFORE, AND REPEALING ALL ORDINANCES IN CONFLICT WITH THIS ORDINANCE.

WHEREAS, a verified petition, herein attached as "**EXHIBIT A**" as amended and made a part hereof, signed by the owners of the real estate hereinafter described and commonly referred to as 17120 Jackson Road and associated tracts, containing approximately 20.18 and 11.00 acres, respectively, requesting annexation of said territory into the City of Boonville, Missouri was filed with the City Clerk on April 28, 2025; and

WHEREAS, the petition was amended on May 13, 2025 to include the above-referenced additional 11.00 acres adjacent to the original 20.18 acres; and

WHEREAS, the petition is requesting annexation into the City of Boonville and includes an application for the property to be zoned as a C-P Commercial District; and

WHEREAS, said real estate as hereinafter described is contiguous and compact to the present corporate limits of the City of Boonville, Missouri; and

WHEREAS, the Planning and Zoning Commission reviewed and approved the zoning application on May 13, 2025 to place the aforesaid tracts of approximately 20.18 and 11.00 acres, respectively, as herein legally described into the C-P Commercial district; and

WHEREAS, presentation and public hearings of the application for zoning and verified petition for voluntary annexation concerning said matters were held before the Planning and Zoning Commission on May 13, 2025 and a public hearing before the City Council of Boonville, Missouri on June 16, 2025 at 7:00 PM.

WHEREAS, notices of said public hearings were given by publication of notice thereof, on May 15, 2025, in the Columbia Daily Tribune, of a general publication in Cooper County, State of Missouri and to the owners of property within 185 feet by certified mail or personal service; and

WHEREAS, at said Public Hearing, all interested persons, corporations, or political subdivisions were afforded the opportunity to present evidence regarding the proposed zoning and annexation; and

WHEREAS, no written objection to the proposed annexation was filed with the City Council of the City of Boonville, Missouri within fourteen days after the public hearing; and

WHEREAS, the City is able to furnish normal municipal services to said area within a reasonable time after annexation; and

WHEREAS, the City Council of the City of Boonville, Missouri, does find and determine that said annexation is reasonable and necessary to the proper development of the City of Boonville.

NOW THEREFORE, be it ordained by the City Council of the City of Boonville, Missouri, as follows:

SECTION 1: Pursuant to the provisions of Section 71.012 RSMo as amended, the real estate described to wit in "**EXHIBIT A**" as amended and attached hereto and made a part hereof, is hereby annexed into the City of Boonville, Missouri.

SECTION 2: The boundaries of the City of Boonville, Missouri are hereby altered so as to encompass the real estate described to wit in "**EXHIBIT A**" as amended, lying contiguous and compact to the present corporate limits.

SECTION 3: The City Council of the City of Boonville, Missouri does place this property in **District C-P Commercial District** as recommended by the Planning and Zoning Commission.

SECTION 4: This property will be placed in Ward 3 of the City of Boonville, Missouri.

SECTION 5: The City Clerk of the City of Boonville is hereby ordered to cause three certified copies of this ordinance to be filed with the Cooper County Clerk, one copy recorded with the Cooper County Recorder of Deeds and one copy forwarded to the City Engineer for updating City maps and boundaries.

SECTION 6: This ordinance shall take effect and be in force from and after its passage.

SECTION 7: All ordinances or parts of ordinances in conflict with this ordinance are hereby repealed.

FIRST READING: JUNE 2, 2025

SECOND READING: JUNE 16, 2025

THIRD READING: JULY 7, 2025

READ FOR THE THIRD TIME THIS 7th DAY OF JULY 2025 AFTER A COPY OF THIS ORDINANCE AND EXHIBITS REFERENCED HEREIN HAVE BEEN MADE AVAILABLE FOR PUBLIC INSPECTION PRIOR TO ITS FIRST READING AND PUBLIC HEARINGS ON THE ZONING AND ANNEXATION MATTERS WERE PROPERLY HELD.

PRESIDENT OF THE COUNCIL

APPROVED THIS 7th DAY OF JULY, 2025.

NED BEACH, MAYOR

ATTEST:

AMBER DAVIS, CITY CLERK



SAMPLE
VERIFIED PETITION TO THE CITY OF BOONVILLE, MISSOURI
FOR THE ANNEXATION AND
APPLICATION FOR ZONING OF PROPERTY

Ballparks Central, husband and wife / single, residing at
(name)
24194 Hwy 90 in Cooper County, Boonville, Missouri,
(street address)

65233 hereby presents this as their verified Petition for Annexation of Real Estate into the City of Boonville, Missouri (the "City"), pursuant to Section 71.012 RSMo., and their Application for the zoning of said real estate under the Ordinances of the City of Boonville. The Owners/Petitioners hereby request the City of Boonville as follows:

1. **Real Estate ("Property"):** The Real Estate (the "Property") to which this Petition relates is a 20.18 acre tract as described in a General Warranty Deed which was filed of record in the office of the Recorder of Deeds of Cooper County, Missouri on 11-8-2024 in Book 2022, Page 1758. The real property which is the subject of this Petition is legally described on Exhibit A, which is attached hereto and incorporated herein by reference.
(size of tract) (date recorded) (book #) (page #) (exhibit letter)
2. **Contiguity:** The above described and referenced real property is contiguous with and compact to the existing corporate limits of the City of Boonville, Missouri.
3. **Ownership:** The undersigned Owners/Petitioners are the owner of the fee simple interest in the above referenced Real Estate.
4. **Annexation Requested:** Owners/Petitioners request that the above referenced real estate be annexed into the corporate limits of the City of Boonville, Missouri, and submits that this annexation request by Owners/Petitioners is reasonable and necessary to the proper development of the City of Boonville. This 20.18 acre tract is contiguous to the City limits and provides continuity for the Wal-Mart Super Center property, also petitioning concurrently for annexation to the City. Owners/Petitioners submit that the City of Boonville has the ability to furnish normal municipal services to the above referenced real property within a reasonable time.
(size of tract) (neighboring property name)
5. **Public Hearings Requested:** Owners/Petitioners request that a public hearing concerning the request for annexation in this Petition be held not less than fourteen (14) days nor more than sixty (60) days after the date this Petition is filed with the City of Boonville, Missouri, and that such hearing be held not less than seven (7) days after the notice of such hearing is published in a newspaper of general circulation

qualified to publish notices of legal matters. Owners/Petitioners also request that the Planning and Zoning Commission of the City of Boonville schedule a public hearing in accordance with the Ordinances of the City with respect to the rezoning of the Property.

6. **No Known Objection:** Owners/Petitioners know of no objection by any qualified voter to this Annexation Petition.

7. **Zoning Requested:** Pursuant to Section 101.1. Part Ten of Ordinance No. 1948 of the City of Boonville's Code of Ordinances, Owners/Petitioners request that the Property be categorized and zoned in the C-P
(zoning code and zoning district name)

8. **Authority:** The undersigned Owners/Petitioners represent and warrant that they have full power and authority to execute this Petition and Application and that same has been executed and delivered to the City of Boonville, Missouri, as the free act and deed of Owners/Petitioners, and that this Petition has been duly verified in the manner required by the laws of the state of Missouri and ordinances of the City of Boonville. The undersigned Owners/Petitioners also represent that the tract described herein is currently being marketed for sale and that any purchaser shall be apprised of the pending petition, hearings and obligations including the requirement and costs for hooking onto the sewer line that is to be placed in the adjacent road right-of-way. In the event the annexation proceedings are not completed prior to any closing and new ownership of the property, the Owners/Petitioners shall immediately notify the City in order to take the necessary legal steps to verify new ownership and substitute parties for a valid annexation.

9. **Procedural Matters:** In addition to the foregoing petition and request, the Owners/Petitioners submit the following:

a. No portion of the Property is within the incorporated boundaries of any other municipality.

b. The Property is not presently zoned because Cooper County does not have a zoning ordinance or planning and zoning.

c. The proposed uses of the Property are substantially similar to and compatible with adjacent property usage.

d. Petitioners submit that the zoning requested is proper and necessary in order to permit the Property to be used in the manner hereafter described.

e. The names and addresses of owners of property located within _____ feet of the subject property are attached hereto as Exhibit B.

(# of feet)

(exhibit letter)

f. A location map clearly showing the location of the property for which zoning and annexation is requested is attached hereto as Exhibit C.
(exhibit letter)

g. The Owners/Petitioners believe that their annexation and zoning application as hereby submitted is complete in all respects; however, Owners/Petitioners request permission to supplement and amend same to the extent that the City's legal counsel deems this Petition and Application to be deficient in any respect.

10. **Date of Petition:** This Petition and Application has been submitted to the City of Boonville, Missouri in the manner required by the Ordinances of the City of Boonville on this 28th day of April 2025

Kim A. Brady
Name of Petitioner

Name of Petitioner

Verification

The undersigned, Kim A. Brady, husband and wife / single,
(name)
being of lawful age and being duly sworn, state and verify that the undersigned have reviewed the foregoing Petition for Annexation and Application for Zoning and that they are, for the purposes of this application, the Owners of the above referenced real estate and state, affirm, verify and acknowledge that they are duly authorized to execute the foregoing Petition and Application and hereby verify that the matters and facts set forth in the foregoing Petition are true and correct to the best of their knowledge and belief.

IN WITNESS WHEREOF, the Owner/Petitioner has executed this verification for the foregoing intents and purposes.

Kim A. Brady
Petitioner Name

Petitioner Name

State of Missouri)
) ss.
County of Cooper)

On this 28 day of April 2025, before me, a Notary Public, in and for said county and state, personally appeared Kim Brady, known to be to
(name)

be the persons who executed the foregoing Petition for Annexation and Application for Zoning and who upon their oath and upon being duly sworn, verified and acknowledged to me that they executed the same as their free act and deed for the purposes therein stated, and that the facts therein stated are true to the best of their knowledge and belief.

Jean M Hampton
Notary Public
Commissioned in Saline County, MO

My commission expires: 5-24-27

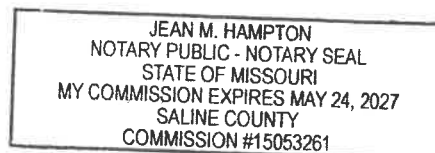


EXHIBIT A
TO PETITION FOR ANNEXATION AND REZONING

Legal Description – Ballparks Central Property
(name)

Lot # _____ of _____ as shown and designated on the Recorded Plat of said
(subdivision)
subdivision as Recorded in Survey Book 2022, Page 1758 in the Office of Cooper
(book #) (page #)
County Recorder. Subject to Easements and Restrictions of Record.

EXHIBIT B
TO PETITION FOR ANNEXATION AND REZONING

Owners within Feet of Subject Properties
(# of feet)

101001003001001001

MARTIN, CODY WAYNE TRUST & WEBER, A

17024 RYAN ST

CODY MARTIN PH #573-489-9547



101001003001001003
LTEAD INVESTMENTS LLC

LARRY VEST PH #660-621-1663



101001003001001000

EMMR LLC

AND

101001003001001002

BOONVILLE SECURE STORAGE LLC

BRYCE EVANS PH #660-815-7692



EXHIBIT C
TO PETITION FOR ANNEXATION AND REZONING

Location Map

WD BK 2021,
PG 3717

SEC 2-T48N-R17W

SEC 1-T48N-R17W

559.25'

N1°01'50"E, 1331.92'

S1°01'50"W, 1231.92'

N1°01'50"E

POINT ON LINE

572.67'

30' OFFSET

N1°01'50"E

23.78'

N89°05'50"E, 206.12'

POINT OF BEGINNING LOT 3A

POINT OF COMMENCEMENT LOT 3B

EXISTING DRILL HOLE IN CONCRETE SW

CORNER OF SEC 1-T48N-R17W AS

SHOWN BY SURVEY IN BK 2022, PG 1215

SET DRILL HOLE IN CONCRETE

N89°05'50"E, 561.39'

SEC 1-T48N-R17W

SEC 12-T48N-R17W

S85°06'00"W, 69.38'

S1°34'00"W, 56.80'

APPROXIMATE

EDGE OF GRAVEL

JACKSON ROAD

L=233.11', R=1383.26

Ch=N80°52'20"E, 232.83'

N76°01'35"E

143.26'

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EXISTING STONE AND 1/2" PIPE 1.1' W OF
STONE, ACCEPTED AS THE SW CORNER OF THE
NW 1/4 OF THE SW 1/4 OF SECTION 1-48-17,
AS SHOWN THE SURVEY RECORDED IN BOOK 8,
PAGE 305 AND BOOK 2021, PG 3165.

WD BK 2021,
PG 3717

SURVEY RECORDED IN BOOK 2021, PAGE 3165

N89°30'25"E, 746.50'

QUARTER QUARTER SECTION LINE

S89°30'25"W, 181.47'

N1°01'50"E
100.00'

LOT 3B
1.71 AC. +/-
WD BK 2022,
PG 1758

S1°01'50"W
100.00'

S89°30'25"W, 746.50'

POINT OF BEGINNING
LOT 3B



0 100 200

SCALE: 1"=100'

WD BK 2022,
PG 1758

LEGEND

- S SET
- F FOUND
- DH DRILL HOLE
- PM PERMANENT MONUMENT
- 1/2" IRON ROD OR PIPE
- 5/8" OR LARGER IRON
- + DRILL HOLE OR CHISEL +
- △ RIGHT OF WAY MARKER
- STONE MONUMENT
- CORNER POST
- X FENCE LINE
- (91/387) BK/PG OF RECORD PLAT/SURVEY
- M MEASURED DISTANCE
- R RECORD DISTANCE
- OHE OVERHEAD ELECTRIC
- GAS LINE
- SEWER LINE
- LOT NUMBERS FROM PRIOR SUBDIVISIONS/SURVEYS

TRACT 2A OF THE SURVEY RECORDED IN BOOK 2022, PAGE 1215

A SURVEY FOR
EMMR LLC. & KIM & ERIC BRADY
A PORTION OF TRACT 2A OF THE SURVEY RECORDED IN BOOK 2022, PG 1215.
LOCATED IN THE SOUTHWEST QUARTER OF
SECTION 1, TOWNSHIP 48 NORTH, RANGE 17 WEST
COOPER COUNTY, MISSOURI

DESCRIPTION: LOT 3A

A TRACT OF LAND BEING A PORTION OF TRACT 2A OF THE SURVEY RECORDED IN BOOK 2022, PAGE 1215. LOCATED IN THE SOUTHWEST QUARTER OF SECTION 1, TOWNSHIP 48 NORTH, RANGE 17 WEST, COOPER COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A DRILL HOLE IN CONCRETE AT THE SOUTHWEST CORNER OF SAID SECTION 1;
THENCE N89°05'50"E, 206.12 FEET ALONG THE SOUTH LINE OF SAID SECTION 1 TO A DRILL HOLE IN CONCRETE;
THENCE LEAVING SAID SECTION LINE N1°01'50"E, 23.78 FEET;
THENCE 175.70 FEET ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 1067.00 FOOT AND WITH A CHORD OF N80°44'35"E, 175.50 FEET;
THENCE N76°01'35"E, 143.26 FEET;
THENCE 233.11 FEET ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 1383.26 FOOT AND WITH A CHORD OF N80°52'20"E, 232.83 FEET;
THENCE N1°01'50"E, 111.54 FEET;
THENCE S89°30'30"W, 746.50 FEET TO THE WEST LINE OF SAID SECTION 1;
THENCE WITH THE SAID WEST SECTION LINE S1°01'50"W, 1231.82 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED TRACT OF LAND CONTAINS 20.18 ACRES MORE OR LESS AND IS A PORTION OF THE SAME LAND DESCRIBED BY DEED RECORDED IN BOOK 2022 PAGE 1758 OF THE COOPER COUNTY RECORDS. SUBJECT TO ANY EASEMENT OR RESTRICTION OF RECORD OR NOT OF RECORD, IF ANY.

DESCRIPTION: LOT 3B

A TRACT OF LAND BEING A PORTION OF TRACT 2A OF THE SURVEY RECORDED IN BOOK 2022, PAGE 1215. LOCATED IN THE SOUTHWEST QUARTER OF SECTION 1, TOWNSHIP 48 NORTH, RANGE 17 WEST, COOPER COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A DRILL HOLE IN CONCRETE AT THE SOUTHWEST CORNER OF SAID SECTION 1; THENCE N1°01'50"E ALONG THE WEST SECTION LINE OF SAID SECTION 1 AND THE WEST LINE OF THE SURVEY IN BOOK 2022, PAGE 1215, 1231.92 FEET TO THE POINT OF BEGINNING;
THENCE CONTINUE N1°01'50"E ALONG THE WEST SECTION LINE OF SAID SECTION 1 AND THE WEST LINE OF THE SURVEY IN BOOK 2022, PAGE 1215, 100.00 FEET TO THE SOUTHWEST CORNER OF THE SURVEY IN BOOK 2021, PAGE 3165;
THENCE N89°30'25"E ALONG THE SOUTH LINE OF SAID SURVEY, 746.50 FEET;
THENCE LEAVING THE SOUTH LINE OF SAID SURVEY, S1°01'50"W, 100.00 FEET;
THENCE S89°30'25"W, 746.50 FEET TO THE POINT OF BEGINNING;

THE ABOVE DESCRIBED TRACT OF LAND CONTAINS 1.71 ACRES MORE OR LESS AND IS A PORTION OF THE SAME LAND DESCRIBED BY DEED RECORDED IN BOOK 2022 PAGE 1758 OF THE COOPER COUNTY RECORDS. SUBJECT TO ANY EASEMENT OR RESTRICTION OF RECORD OR NOT OF RECORD, IF ANY.

NOTES:

THE BASIS OF BEARINGS IS GRID NORTH AS DETERMINED BY GPS OBSERVATION.
THIS SURVEY WAS EXECUTED TO COMPLY WITH THE ACCURACY STANDARDS FOR A RURAL, CLASS PROPERTY NOVEMBER, 2024

ROADWAY(S) AND/OR DRIVEWAY(S) SHOWN HEREON ARE SHOWN AS LOCATED AT THE TIME OF THE SURVEY. THE SURVEYOR DOES NOT REPRESENT THAT THIS IS PUBLICLY MAINTAINED ROAD NOR THAT KNOWLEDGE OF AN EASEMENT FOR USE OF ACCESS EXISTS UNLESS PUBLISHED HEREON.

ONLY THE RECORDED DOCUMENTS REFERENCED HEREON WERE PROVIDED TO OR DISCOVERED BY THE SURVEYOR. NO ABSTRACT, CURRENT TITLE POLICY/COMMITMENT/REPORT OR OTHER RECORD TITLE DOCUMENTATION WAS PROVIDED TO SURVEYOR.

ANY FENCE LINES DEPICTED HEREON REPRESENT THE APPROXIMATE LOCATION OF AN EXISTING FENCE. THE FENCE MAY REPRESENT A POSSESSION LINE AND SHOULD NOT BE MOVED OR RECONSTRUCTED WITHOUT PRIOR CONSULTATION WITH THE ADJOINING LAND OWNERS.

THIS IS TO CERTIFY THAT AT THE REQUEST OF KIM BRADY, A SURVEY WAS EXECUTED UNDER MY PERSONAL SUPERVISION AND, I HEREBY DECLARE THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS SURVEY WAS EXECUTED IN ACCORDANCE WITH THE CURRENT MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS, AND THE RESULTS ARE REPRESENTED ON THIS PLAT OF SURVEY.

I THEN DIVIDED THE TRACT AS SHOWN ON THIS PLAT.

ANTHONY DERBOVEN, P.L.S. 2018019005
Date: NOVEMBER 5, 2024



Engineering beyond.

401 S. Cleveland St
Fayette, MO 65248
660.728.5028
weareown.com

Missouri Certificate of Authority
000062 Expires 12/31/25

JACKSON ROAD

Boonville, Cooper County, MO

DESCRIPTION: LOT 3A

A TRACT OF LAND BEING A PORTION OF TRACT 2A OF THE SURVEY RECORDED IN BOOK 2022, PAGE 1215. LOCATED IN THE SOUTHWEST QUARTER OF SECTION 1, TOWNSHIP 48 NORTH, RANGE 17 WEST, COOPER COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A DRILL HOLE IN CONCRETE AT THE SOUTHWEST CORNER OF SAID SECTION 1; THENCE N89°05'50"E, 206.12 FEET ALONG THE SOUTH LINE OF SAID SECTION 1 TO A DRILL HOLE IN CONCRETE; THENCE LEAVING SAID SECTION LINE N1°01'50"E, 23.78 FEET; THENCE 175.70 FEET ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 1067.00 FOOT AND WITH A CHORD OF N80°44'35"E, 175.50 FEET; THENCE N76°01'35"E, 143.26 FEET; THENCE 233.11 FEET ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 1383.26 FOOT AND WITH A CHORD OF N80°52'20"E, 232.83 FEET; THENCE N1°01'50"E, 1111.54 FEET; THENCE S89°30'30"W, 746.50 FEET TO THE WEST LINE OF SAID SECTION 1; THENCE WITH THE SAID WEST SECTION LINE S1°01'50"W, 1231.92 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED TRACT OF LAND CONTAINS 20.18 ACRES MORE OR LESS AND IS A PORTION OF THE SAME LAND DESCRIBED BY DEED RECORDED IN BOOK 2022 PAGE 1758 OF THE COOPER COUNTY RECORDS. SUBJECT TO ANY EASEMENT OR RESTRICTION OF RECORD OR NOT OF RECORD, IF ANY.





Cashiers Check

231678

DATE: 04/28/2025

REMITTER: BALLPARKS CENTRAL

BRANCH: 10
ORIGINATOR: RBUSH
TIME: 10:28 AM
CK AMT: \$250.00
FEE AMT: \$0.00

To: CITY OF BOONVILLE

TOTAL: \$250.00

NON-NEGOTIABLE

THE KEY TO DOCUMENT SECURITY • HEAT ACTIVATED THUMB PRINT • ADDITIONAL SECURITY FEATURES INCLUDED • SEE BACK FOR DETAILS

BTC
Community Minded...Just Like You

Cashiers Check 231678

Date: 04/28/2025
Branch: 10

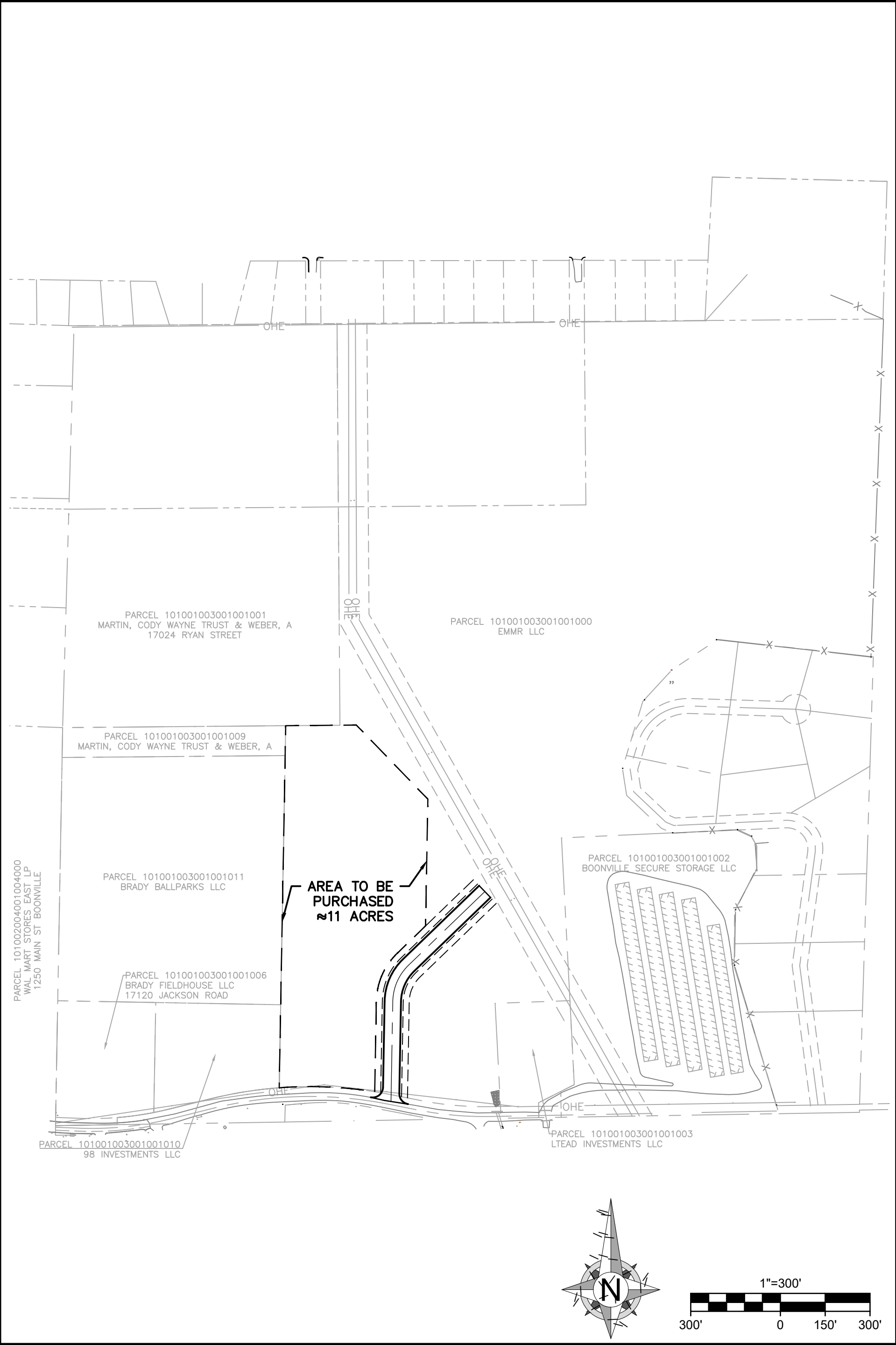
REMITTER: BALLPARKS CENTRAL

PAY TO THE ORDER OF EXACTLY ****250 AND 00/100 DOLLARS \$250.00
CITY OF BOONVILLE

Rashelle Bush - CSR

HEAT SENSITIVE
FADING WITH TOUCH

⑈231678⑈ ⑆101916307⑆ 438553⑈





4240 Philips Farm Road, Ste 101
Columbia, MO 65201
573.397.5476
COA# 00062

Engineering beyond.™

KIM AND ERIC BRADY

BALLPARKS CENTRAL

LAND PURCHASE EXHIBIT A

Jackson Road Boonville, MO 65233

DRAWN BY: BLL	FIELD BY:
DATE: 05-12-2025	FIELD BK: -



SAMPLE
VERIFIED PETITION TO THE CITY OF BOONVILLE, MISSOURI
FOR THE ANNEXATION AND
APPLICATION FOR ZONING OF PROPERTY

Ballparks Central, husband and wife / single, residing at
24194 Hwy 90 in Cooper County, Boonville, Missouri,
(name) (street address)

65233 hereby presents this as their verified Petition for Annexation of Real Estate into the City of Boonville, Missouri (the "City"), pursuant to Section 71.012 RSMo., and their Application for the zoning of said real estate under the Ordinances of the City of Boonville. The Owners/Petitioners hereby request the City of Boonville as follows:

1. 5.13.25 K.M. **Real Estate ("Property"):** The Real Estate (the "Property") to which this Petition relates is a 31 1/4 acre tract as described in a General Warranty Deed which was filed of record in the office of the Recorder of Deeds of Cooper County, Missouri on 11-8-2024 in Book 2022 Page 1758. The real property which is the subject of this Petition is legally described on Exhibit A, which is attached hereto and incorporated herein by reference.
(date recorded) (book #) (page #) (exhibit letter)

2. **Contiguity:** The above described and referenced real property is contiguous with and compact to the existing corporate limits of the City of Boonville, Missouri.

3. **Ownership:** The undersigned Owners/Petitioners are the owner of the fee simple interest in the above referenced Real Estate.

4. **Annexation Requested:** Owners/Petitioners request that the above referenced real estate be annexed into the corporate limits of the City of Boonville, Missouri, and submits that this annexation request by Owners/Petitioners is reasonable and necessary to the proper development of the City of Boonville. This 31 1/4 acre tract is contiguous to the City limits and provides continuity for the Wal-Mart Super Center property, also petitioning concurrently for annexation to the City. Owners/Petitioners submit that the City of Boonville has the ability to furnish normal municipal services to the above referenced real property within a reasonable time.
(size of tract) (neighboring property name)

5. **Public Hearings Requested:** Owners/Petitioners request that a public hearing concerning the request for annexation in this Petition be held not less than fourteen (14) days nor more than sixty (60) days after the date this Petition is filed with the City of Boonville, Missouri, and that such hearing be held not less than seven (7) days after the notice of such hearing is published in a newspaper of general circulation

BILL NO. 2025-010

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF BOONVILLE, MISSOURI APPROVING THE FINAL PLAT OF A MINOR SUBDIVISION OF PROPERTY, 913 SANTA FE TRAIL, IN THE CITY OF BOONVILLE, COOPER COUNTY, MISSOURI

WHEREAS, Earl Day has made an application to subdivide the above-referenced parcel in the City of Boonville into two (2) separate parcels; and

WHEREAS, the current base zoning of the subject 8.32-acre lot is R-2 and R-1, and the Building Inspector has determined that the proposed subdivision of the parcel qualifies as a minor subdivision, subject to the procedures in Section 2 of Appendix A – Subdivisions; and

WHEREAS, after review, the Planning and Zoning Commission voted on June 10, 2025, to approve the final plat of the minor subdivision, attached hereto and marked as **Exhibit A**. Said final plat of the minor subdivision is incorporated herein as if set forth fully in this ordinance; and

WHEREAS, the City Council is required to approve this minor subdivision before it may be recorded, in accordance with Section 89.400.1, RSMo.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BOONVILLE, MISSOURI AS FOLLOWS:

SECTION 1: That the final plat of the minor subdivision at **Exhibit A**, subdividing a tract located at 913 Santa Fe Trail, in the City of Boonville, be and is hereby approved.

SECTION 2: This ordinance shall take effect and be in full force from passage of this ordinance.

READ FOR THE FIRST TIME THE 16th DAY OF JUNE, 2025 AND PASSED THIS 7TH DAY OF JULY, 2025, AFTER A COPY OF THIS ORDINANCE AND REFERENCED FINAL PLAT OF THE MINOR SUBDIVISION HAS BEEN MADE AVAILABLE FOR PUBLIC INSPECTION PRIOR TO ITS PASSAGE.

PRESIDENT OF THE COUNCIL

APPROVED THIS 7th DAY OF JULY, 2025

NED BEACH, MAYOR

ATTEST:

AMBER DAVIS, CITY CLERK

2025-0915

GEORGIA ESSER
RECORDER OF DEEDS
COOPER COUNTY, MISSOURI
RECORDED ON:
04/25/2025 03:20:49 PM

PAGES:1

COOPER COUNTY RECORDER OF DEEDS

Boonville, Missouri

SURVEY ~ PLAT ***COVER PAGE***

Document may be found on site

GEORGIA ESSER

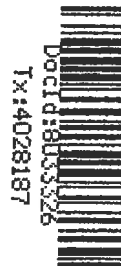


**COOPER COUNTY
RECORDER OF DEEDS**

COOPER COUNTY
COURTHOUSE
200 MAIN STREET ~ RM 26
BOONVILLE, MO 65233

660-882-2161

F 047



Cooper County, MO



Legend

- Road
 - Interstate
 - US Highway
 - Numbered State Highway
 - Lettered State Highway
 - <all other values>
- Railroad
- Parcel
- Parcel Number/Acres
- Corporate Limit Line
- Land Hook
 - DASHED LAND HOOK
 - SOLID LAND HOOK
- Original Lot
- Tract
- Original Block
- Stream
- Water Boundary
- County Boundary

Notes

This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

**A SURVEY FOR
EARL DAY**

0 50 100
SCALE: 1"=50'

LEGEND

- SET
- FOUND
- 1 DRILL HOLE
- PERMANENT MONUMENT
- 1/2" IRON ROD OR PIPE
- 5/8" OR LARGER IRON
- DRILL HOLE OR CHISEL
- RIGHT OF WAY MARKER
- STONE MONUMENT

AGREES/IT IS UNDERSTOOD BY BOTH PARTIES
X FENCE LINE

MEASURED DISTANCE
RECORD DISTANCE
OVERHEAD ELECTRIC

LOT NUMBERS FROM PRIOR
SUBDIVISIONS/SURVEYS

Summary

THE BASIS OF BEARINGS IS GRID NORTH AS DETERMINED BY GPS OBSERVATION, REFERENCED TO THE MISSOURI CENTRAL ZONE.

THIS SURVEY WAS EXECUTED TO COMPLY WITH THE ACCURACY STANDARDS FOR AN URBAN, CLASS PROPERTY APRIL, 2023.

ROADWAY(S) AND/OR DRIVEWAY(S) SHOWN HEREIN ARE SHOWN AS LOCATED AT THE TIME OF THE SURVEY. THE SURVEYOR DOES NOT REPRESENT THAT THIS IS PUBLICLY MAINTAINED ROAD NOR THAT KNOWLEDGE OF AN EASEMENT FOR USE OF ACCESS EXISTS OR HAS EXISTED HEREIN.

ONLY THE RECORDED DOCUMENTS REFERENCED HEREON WERE PROVIDED TO OR DISCOVERED BY THE SURVEYOR. NO ABSTRACT, CURRENT TITLE POLICY/COMMITMENT/REPORT OR OTHER RECORD TITLE DOCUMENTATION WAS PROVIDED TO SURVEYOR.

ANY FENCE LINES DEPICTED HEREON REPRESENT THE APPROXIMATE LOCATION OF AN EXISTING FENCE. THE FENCE MAY REPRESENT A POSSESSION LINE AND SHOULD NOT BE MOVED OR RECONSTRUCTED WITHOUT PRIOR CONSULTATION WITH THE ADJOURNING LAND OWNERS.

TRACT 2 OF THE SURVEY RECORDED IN BOOK 7, PAGE 50

THIS IS TO CERTIFY THAT AT THE REQUEST OF TROY WHEELER, A SURVEY WAS EXECUTED UNDER MY PERSONAL SUPERVISION AND I HEREBY DECLARE THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS SURVEY WAS EXECUTED IN ACCORDANCE WITH THE CURRENT MEASURING STANDARDS FOR PROPERTY BOUNDARY SURVEYS, AND THE RESULTS ARE REPRESENTED ON THIS OR AT ANY

THEN DROPPED THE TRACT AS SHOWN ON THE PHOTO

Anthony DeBoven, P.L.S. 2015019005
 2015 APR 24 2105

2025-0915
KAROLIA ROAD
STATION OF INDIA
RAILWAY, PAST
STATION OF INDIA

17E
F017

Boonville, Cooper County, MO

Riviera Drive

SHT. 1 OF 01



Engineering beyond.

401 S. Cleveland St
Foyette, MO 65248
660.728.5025
wedreem.com

Missouri Certificate of Authority
000062 Expires 12/31/26

BILL NO. 2025-011

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF BOONVILLE, MISSOURI APPROVING THE REZONING APPLICATION FOR PRECISION BUILT, LLC., LOCATED AT 911 KEMPER DRIVE FROM R-3 TO C-P; AUTHORIZING AMENDMENT OF CITY'S ZONING ORDINANCE – APPENDIX C AND THE ZONING DISTRICTS MAP; PROVIDING AN EFFECTIVE DATE THEREFORE, AND REPEALING ALL ORDINANCES IN CONFLICT WITH THIS ORDINANCE.

WHEREAS, the re-zoning application, submitted by the current owner, Precision Built, LLC, hereinafter described and commonly referred to as 911 Kemper Drive, requests rezoning 8.94-acres of said property to C-P in the City of Boonville, Missouri; and

WHEREAS, The Planning and Zoning Commission has considered the rezoning application, herein attached and incorporated by reference as **Exhibit A** at the June 10, 2025 meeting and City Council held a public hearing on July 7, 2025, having first given fifteen days' notice of the time and place of such hearing in a paper of general circulation.

WHEREAS, The property was previously rezoned from C-P to R-3 in anticipation of new owners and a housing development project, that did not come to fruition with Ordinance No. 4568 on September 20th, 2021, and the current wishes to revert to the original C-P zoning; and

WHEREAS, The City Council of the City of Boonville, Missouri does find and determines that said rezoning will not adversely impact the City or neighboring property owners, is in the best interest of the public health, safety, and welfare by providing new and expanded business opportunities in the City.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BOONVILLE, MISSOURI AS FOLLOWS:

SECTION 1: That the City Council of the City of Boonville, Missouri does place 8.94-acres of property into a C-P zoning district respectively, as detailed and described in **Exhibit A**, attached hereto, and incorporated by reference.

SECTION 2: That Sections 1.2(a) and (b) of Appendix C of the Code of Ordinances of the City of Boonville, Missouri pertaining to zoning districts are modified and amended to change the zoning classification of property herein described, portions of R-3 Residential to C-P Planned Business District.

SECTION 3: The City Engineer is hereby granted authority to amend the City zoning maps consistent with the provisions of this ordinance.

SECTION 4: The City Clerk of the City of Boonville is hereby ordered to cause three certified copies of this ordinance to be filed with the Cooper County Recorder.

SECTION 5: This ordinance shall take effect and be in force from and after its passage.

SECTION 6: All ordinances or parts of ordinances in conflict with this ordinance are hereby repealed.

READ FOR THE FIRST TIME: 16TH DAY OF JUNE 2025

**READ FOR THE SECOND TIME AND PASSED THIS 7TH DAY OF JULY, 2025,
AFTER A COPY OF THIS ORDINANCE AND REFERENCED PLANS HAVE BEEN
MADE AVAILABLE FOR PUBLIC INSPECTION PRIOR TO ITS FIRST READING.**

PRESIDENT OF THE COUNCIL

APPROVED THIS 7TH DAY OF JULY 2025.

NED BEACH, MAYOR

ATTEST:

AMBER DAVIS, CITY CLERK

Fee Waived

REZONING APPLICATION FORM

Return forms to:
City Clerk
Boonville City Hall
401 Main Street
Boonville, MO 65233
660-882-2332

For Office Use Only

Date Submitted: _____
Filing Fee: \$250 Cash _____ Check _____
Public Hearing Date: _____
Date Advertised: _____
Date Notices Sent: _____

APPLICANT: Lavern Miller PHONE: 660-621-2754

ADDRESS: 3680 State Route J EMAIL: precisionbuilt11c@proton.me
Franklin Mo 65210

LOCATION/ADDRESS OF THE PROPERTY: Kemper St. Boonville Mo

(911 Kemper Drive Address)

PRESENT ZONING R-3 REQUESTED ZONING: C-P ACREAGE 8.94

PRESENT USE OF PROPERTY: Storage

SURROUNDING LAND USE AND ZONING: C-P C-1 R-2

The following must accompany your application:

1. One copy of a statement describing the reasoning for the zoning, the impact of the proposed change (i.e. traffic, fire hazards, odors, etc), how the proposed change may affect the character of the surrounding properties, and how the proposed change will benefit the City of Boonville.
2. A certified list of names and addresses of all property owners within 185 feet of the perimeter of the property proposed to be changed
3. A map/plat of the property to be rezoned

Signature: Lavern Miller

Date: 5-19-25

This is a statement explaining the reason for re-zoning the property on Kemper Sreet

We bought this property with plans to run our construction business out of it

We have a small construction business and plan to fix up these buildings to meet our needs of an office and storage area in the smaller building including a restroom and a small break room

For the exterior details: Plans are to make the following changes on the small building

Tear off shingles and install new metal

Tear off old siding and install metal with wainscoting and some rock

Build a 16' x 8' front gabled porch with wood timbers and rock front

Remove front garage door and install new entry door and add new windows

Add concrete parking area for any potential customers

On the larger building we plan to install new metal and replace any rotten wood along with new doors

These proposed changes will greatly enhance the appearance and value of the property from the street and otherwise

Traffic will be minimal and will be limited to morning and late afternoon for most days

No fire hazards or odors are anticipated

The City of Boonville will benefit from another property being cleaned up and buildings repaired and revenue from a small business operation

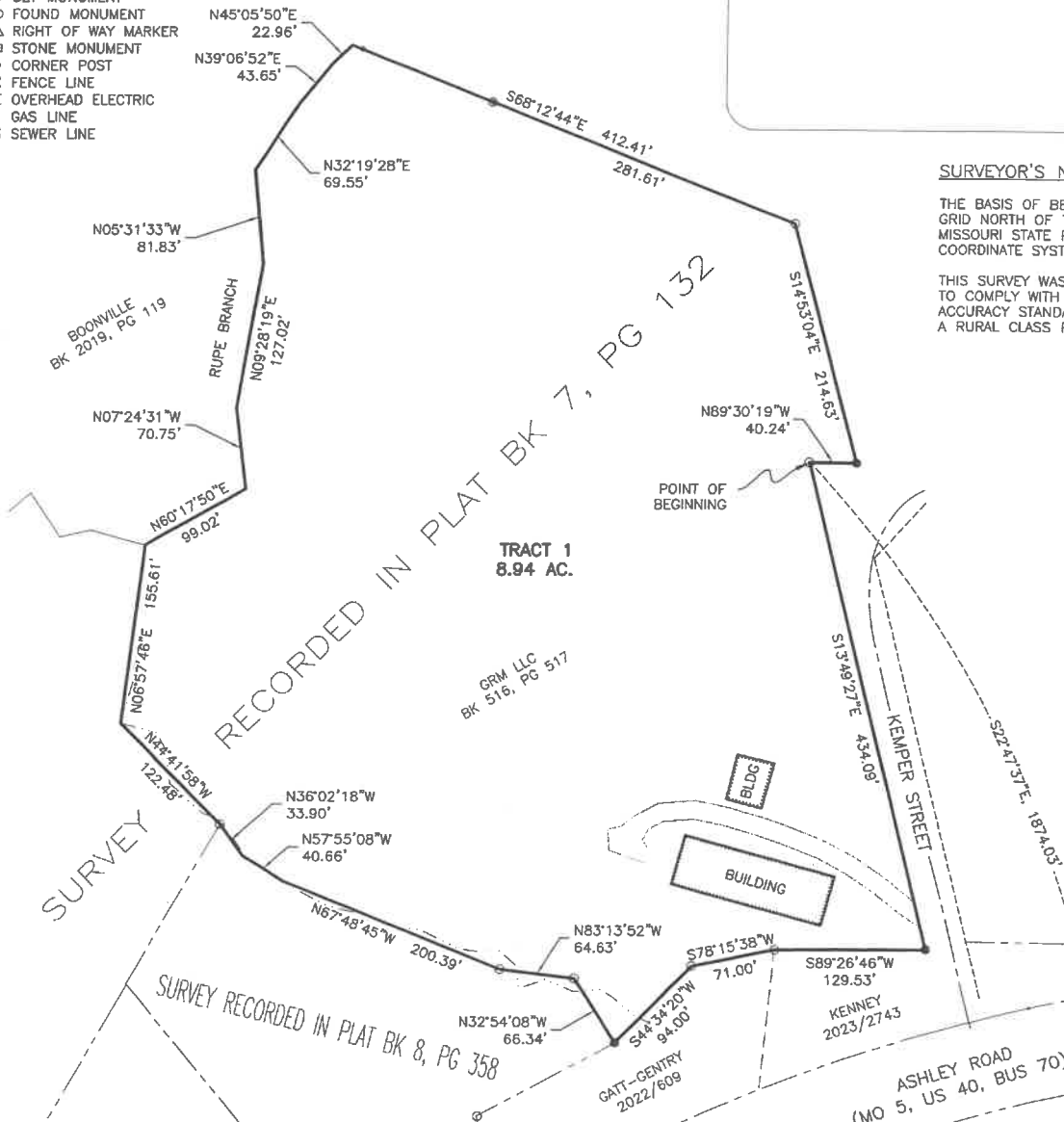
Thanks

Lavern Miller

Precision Built LLC

LEGEND

- SET MONUMENT
- FOUND MONUMENT
- △ RIGHT OF WAY MARKER
- STONE MONUMENT
- CORNER POST
- X FENCE LINE
- OHE OVERHEAD ELECTRIC
- GAS LINE
- S SEWER LINE



SURVEYOR'S NOTES

THE BASIS OF BEARING IS
GRID NORTH OF THE
MISSOURI STATE PLANE
COORDINATE SYSTEM

THIS SURVEY WAS EXECUTED
TO COMPLY WITH THE
ACCURACY STANDARDS FOR
A RURAL CLASS PROPERTY

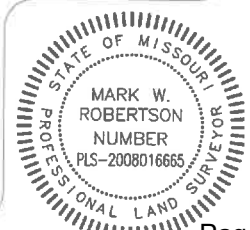
DESCRIPTION TRACT 1: A TRACT OF LAND SITUATED IN SECTION 35, TOWNSHIP 49 NORTH, RANGE 17 WEST, COOPER COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 5/8" ROD FOUND ON THE WEST LINE OF KEMPER STREET, SAID POINT BEING ON THE SURVEY RECORDED IN PLAT BOOK 7, PAGE 132, WHENCE A STONE FOUND AT THE SOUTH QUARTER CORNER OF SECTION 35 BEARS, S22°47'37"E A DISTANCE OF 1874.03'; THENCE ALONG SAID SURVEY AS FOLLOWS: S13°49'27"E, A DISTANCE OF 434.09'; TO A 1/2" ROD SET; THENCE S89°26'46"W, A DISTANCE OF 129.53' TO AN IRON ROD FOUND; THENCE S78°15'38"W, A DISTANCE OF 71.00' TO AN IRON ROD FOUND; THENCE S44°34'20"W, A DISTANCE OF 94.00' TO AN IRON ROD SET AT THE EASTERN MOST CORNER OF THE SURVEY IN PLAT BOOK 8, PAGE 358; THENCE ALONG SAID SURVEY AS FOLLOWS, N32°54'08"W, A DISTANCE OF 66.34' TO AN IRON ROD FOUND; THENCE N83°13'52"W, A DISTANCE OF 64.63' TO AN IRON ROD FOUND; THENCE N67°48'45"W, A DISTANCE OF 200.39'; THENCE N57°55'08"W, A DISTANCE OF 40.66'; THENCE N36°02'18"W, A DISTANCE OF 33.90' TO AN IRON ROD FOUND; THENCE LEAVING SAID SURVEY, N44°41'58"W, A DISTANCE OF 122.48'; THENCE N06°57'46"E, A DISTANCE OF 155.61' TO RUPE BRANCH AND THE NORTH LINE OF THE SURVEY IN PLAT BOOK 7, PAGE 132; THENCE ALONG SAID SURVEY AS FOLLOWS: N60°17'50"E, A DISTANCE OF 99.02'; THENCE N07°24'31"W, A DISTANCE OF 70.75'; THENCE N09°28'19"E, A DISTANCE OF 127.02'; THENCE N05°31'33"W, A DISTANCE OF 81.83'; THENCE N32°19'28"E, A DISTANCE OF 69.55'; THENCE N39°06'52"E, A DISTANCE OF 43.65'; THENCE N45°05'50"E, A DISTANCE OF 22.96'; THENCE LEAVING RUPE BRANCH, AND CONTINUING ALONG SAID SURVEY, S68°12'44"E, A DISTANCE OF 412.41' TO 5/8" ROD FOUND; THENCE S14°53'04"E, A DISTANCE OF 214.63' TO A 1/2" ROD SET; THENCE N89°30'19"W, A DISTANCE OF 40.24' TO THE POINT OF BEGINNING;

THE ABOVE TRACT OF LAND CONTAINS 8.94 ACRES MORE OR LESS, SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, OR NOT OF RECORD, IF ANY.

I HEREBY CERTIFY THE SURVEY
PLATTED HEREON COMPLIES WITH
THE CURRENT STANDARDS FOR
PROPERTY BOUNDARY SURVEYS.

Mark W. Robertson
MARK W. ROBERTSON, P.L.S.
L.S. # 2008016665
CORP# 2011033564



BILL NO: 2025-012

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF BOONVILLE, MISSOURI APPROVING THE PRELIMINARY SITE PLAN FOR 98 INVESTMENTS LLC, LOCATED AT 17120 JACKSON ROAD BOONVILLE, COOPER COUNTY, MISSOURI; PROVIDING AN EFFECTIVE DATE THEREFORE AND REPEALING ALL ORDINANCES IN CONFLICT WITH THIS ORDINANCE.

WHEREAS, 98 Investments LLC is proposing to build a commercial building at 17120 Jackson Road; and

WHEREAS, The owners of 98 Investments LLC have submitted a voluntary annexation request to the City of Boonville, on April 28th, 2025; and

WHEREAS, City staff met and communicated with 98 Investments LLC to discuss the proposed development plan; and

WHEREAS, The preliminary plan was considered at the Planning and Zoning Commission meeting on June 10, 2025. The plans include **Exhibit A**, herein incorporated, and attached hereto this ordinance. The Commission has recommended their approval by the Council. Said site plans, **Exhibit A**, are incorporated herein as if set forth fully in this ordinance; and

WHEREAS, The City Council has evaluated the site plans for compatibility with the use of abutting sites, the safety and convenience of vehicle and pedestrian traffic and in view of the potential economic benefit to the City of Boonville and finds them to be appropriate to further economic development of the City of Boonville.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BOONVILLE, MISSOURI AS FOLLOWS:

SECTION 1: That the preliminary plan as shown and indicated in **Exhibit A**, attached hereto, and made a part hereof, located at 17120 Jackson Road in the City of Boonville, Cooper County, Missouri should be and is hereby approved.

SECTION 2: This ordinance shall take effect and be in full force from and after its passage; and approval granted herein shall be valid for a period not to exceed 12 months thereafter.

READ FOR THE FIRST TIME 16th DAY OF JUNE, 2025

READ FOR THE SECOND TIME AND PASSED THIS 7TH DAY OF JULY, 2025, AFTER A COPY OF THIS ORDINANCE AND REFERENCED PLANS HAVE BEEN MADE AVAILABLE FOR PUBLIC INSPECTION PRIOR TO ITS READING.

PRESIDENT OF THE COUNCIL

APPROVED THIS 7TH DAY OF JULY, 2025

Ned Beach, Mayor

ATTEST:

Amber Davis, City Clerk

PARKING SUMMARY:

REQUIRED PARKING:

C-1 ZONING - 1 SPACE FOR 300 SF OF FLOOR DEDICATED TO CUSTOMER USE, ASSUMING EMPLOYEE PARKING OFFSITE.

9000 SF / 300 = 30 STALLS

PROVIDED PARKING:

40 STALLS
INCLUDING 2 ACCESSIBLE STALLS

ALL STALLS ON THIS LOT TO BE 9' X 20' PER CITY OF BOONVILLE REQUIREMENTS.

GENERAL NOTES:

1. ALL SITE DIMENSIONS TO THE EDGE OF PAVEMENT, CONCRETE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
2. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND STARTING CONSTRUCTION.
3. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
4. REFER TO STRUCTURAL PLANS FOR DEVELOPMENT OF SIDEWALKS ADJACENT TO FOUNDATIONS AND FOUNDATION STEINWALLS.
5. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
6. DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
7. SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.

PARKING NOTES:

1. PARKING STALL AND AISLE DIMENSIONS ARE MEASURED FROM THE FACE OF CURB, NOT FROM THE BACK OF CURB.
2. WHERE DISCREPANCIES EXIST BETWEEN THE APPROVED PLANS AND THE MINIMUM REQUIREMENTS TO MEET ADA, THE MORE STRINGENT OF THE TWO SHALL PREVAIL, AS DETERMINED BY THE CITY OF BOONVILLE, MISSOURI.

SAFETY NOTES:

1. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
2. THE DUTY OF THE ENGINEER OR OWNER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR THE CONSTRUCTION SITE.

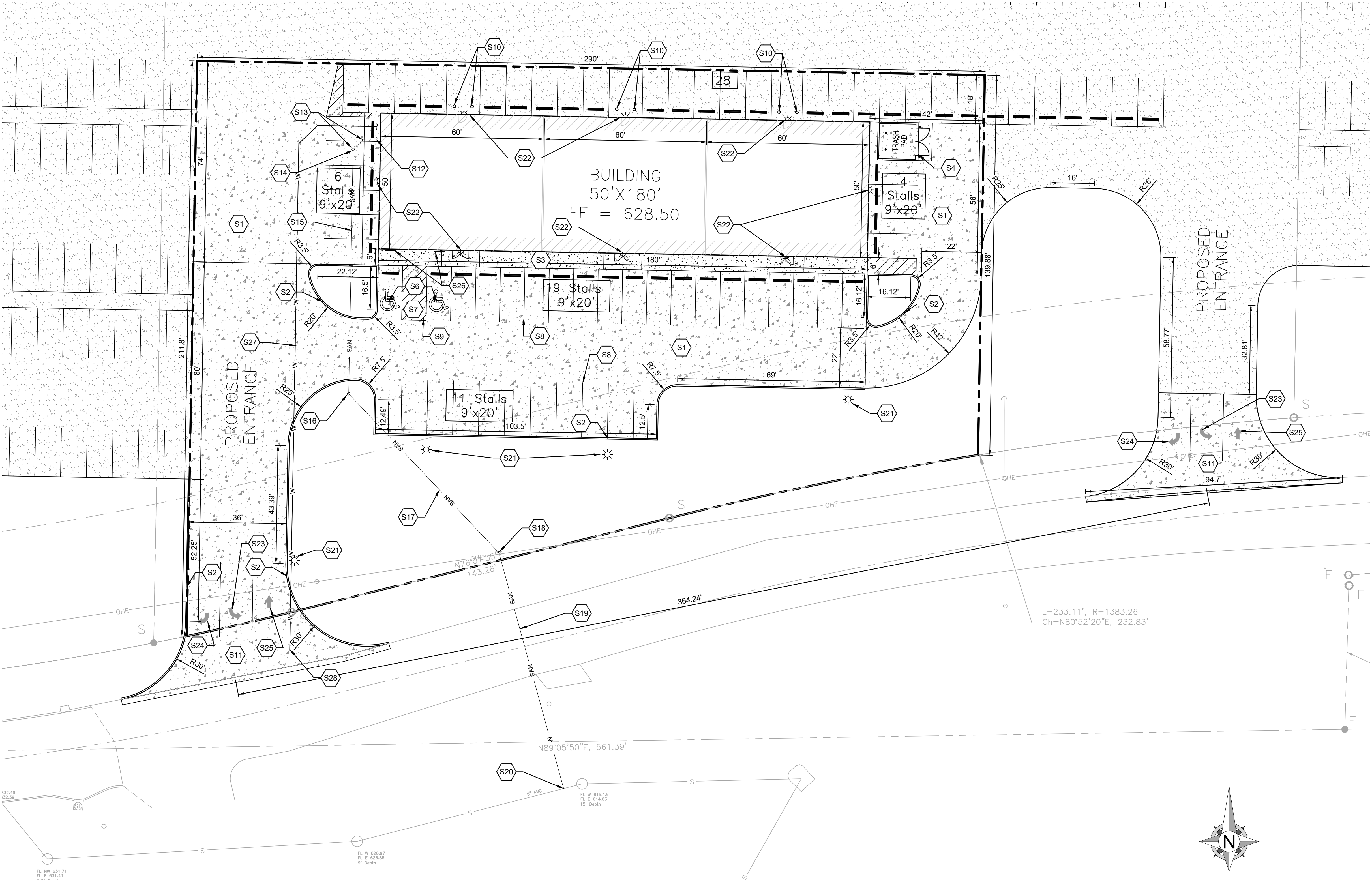
KEY NOTES:

- S1 CONCRETE PAVEMENT
REFER TO DETAIL 2/C1.4.
- S2 INSTALL CURB & GUTTER
REFER TO DETAIL X/C1.X.
- S3 INSTALL SIDEWALK
REFER TO DETAIL 1/C1.4.
- S4 TRASH PAD
REFER TO SHEETS C1.5.
- S6 ACCESSIBLE PARKING SYMBOL PAVEMENT STRIPING
REFER TO DETAIL 6/C1.4.
- S7 ACCESSIBLE PARKING SPACE WITH ACCESS AISLE
TO BE ADA COMPLIANT W/ 2% MAX SLOPE IN ALL DIRECTIONS. PROVIDE PAVEMENT MARKINGS TO MATCH STRIPING COLOR UNLESS OTHERWISE REQUIRED TO COMPLY WITH GOVERNING ACCESSIBILITY REGULATIONS.
- S8 PARKING LOT STRIPING
SINGLE WHITE HI-VIS SOLID LINE, 4" WIDE (TYP.) PER BOONVILLE STANDARDS.
- S9 PARKING LOT STRIPING
SINGLE WHITE HI-VIS SOLID LINE, 4" WIDE (TYP.) @ 24" O.C. PER BOONVILLE STANDARDS.
- S10 STEEL BOLLARD
REFER TO DETAIL 3/C1.5.
- S11 INSTALL CONCRETE DRIVEWAY APRON
REFER TO DETAIL X/C1.X.
- S12 SANITARY SERVICE CONNECTION TO BUILDING
FL 624.5'
- S13 INSTALL TWO 45° BENDS
- S14 4" SANITARY CLEANOUT
FL 624.0'
- S15 INSTALL 90 LF OF 4" PVC SANITARY SERVICE
- S16 4" SANITARY CLEANOUT
FL 621.2'
- S17 INSTALL 81 LF OF 4" PVC SANITARY SERVICE
- S18 4" SANITARY CLEANOUT
FL 618.8'
- S19 INSTALL 90 LF OF 4" PVC SANITARY SERVICE
- S20 CONNECTION TO EXISTING 8" SANITARY MAIN
PROPOSED FL 618.1'
- S21 INSTALL LIGHT POLE, TYP. SEP MEP
- S22 INSTALL WALL PACK LIGHT, TYP. SEE MEP.
- S23 INSTALL LEFT TURN ARROW
- S24 INSTALL RIGHT TURN ARROW
- S25 INSTALL STRAIGHT ARROW
- S26 ADA BUILDING MOUNTED SIGNAGE. REFER TO DETAIL 4/C1.4
- S27 INSTALL 218 LF OF DOMESTIC WATER SERVICE.
- S28 CONNECT DOMESTIC WATER SERVICE TO EXISTING WATER MAIN

LEGEND

REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS
LEGEND AND SITE CONTROL.

	NEW BUILDING CONSTRUCTION
	GRAVEL
	NEW SIDEWALK
	CONCRETE PAVEMENT



1 SITE LAYOUT AND DIMENSION PLAN
C1.1 SCALE: 1" = 20'



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Columbia, MO 65201
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weareown.com

FORMERLY ANDERSON ENGINEERING

A licensed Missouri
Engineering Corporation
COA# 00062

BALLPARK CENTRAL

JACKSON ROAD
BOONVILLE, MO

REVISIONS

NO.	DESCRIPTION	DATE

DRAWING INFORMATION

PROJECT NO: 25CO10006

DRAWN BY: CVM

CHECK BY: TPW

ISSUED DATE: 06/10/2025

FIELD BOOK:

ISSUED BY:

LICENSE NO:

SHEET TITLE

SITE LAYOUT
& DIMENSION
PLAN

SHEET NUMBER

C1.1

01 OF 05

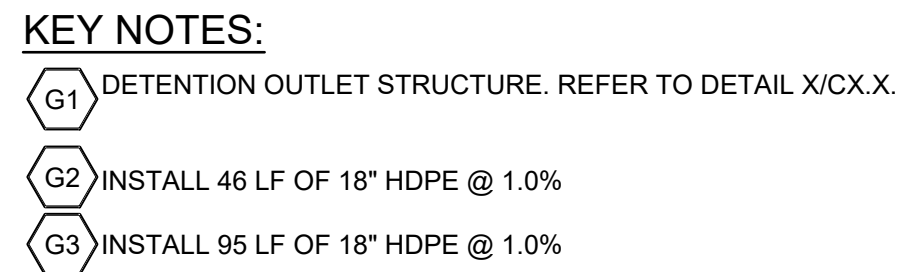
1. RETAIN FLOATABLE WIND BLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIAL WASTE IN ENCLOSURES UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES. CHECK ADJACENT AREAS DAILY AND PICK UP CONSTRUCTION WASTE MATERIALS AND DEBRIS THAT HAVE BLOWN OR WASHED OFF SITE.
2. PERMANENTLY STABILIZE ALL SURFACE AREA WITHIN AND ADJACENT TO THIS SITE THAT IS DISTURBED BY VEHICLES, GRADING AND OTHER CONSTRUCTION FOR THE PROPOSED FACILITY. STABILIZATION IS OBTAINED WHEN THE DISTURBED SURFACE IS COVERED WITH STRUCTURES, PAVING AND/OR PERENNIAL VEGETATION HAVING A UNIFORM COVERAGE DENSITY OF AT LEAST 70%. STABILIZATION OF ALL DISTURBED AREA IS REQUIRED BEFORE TERMINATING MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES.
3. CONTRACTORS SHALL INSPECT POLLUTION CONTROL MEASURES AT LEAST EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A STORM EVENT OF 1/2 INCH OR GREATER. DAMAGED MEASURES THAT PROVE TO BE INEFFECTIVE SHALL BE REPLACED WITH MORE EFFECTIVE MEASURES OR ADDITIONAL MEASURES WITHIN SEVEN DAYS. REPEATED FAILURE OF A CONTROL MEASURE REQUIRES INSTALLATION OF A MORE SUITABLE DEVICE TO PREVENT DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.
4. INSTALLATION OF ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE CITY OR STATE. CONTRACTOR TO VERIFY REQUIREMENTS PRIOR TO BEGINNING ANY WORK ON PROJECT SITE.
5. CARE SHALL BE TAKEN TO MINIMIZE THE ENCROACHMENT OF SEDIMENT INTO ALL STORM DRAIN APERTURANCES, PUBLIC STREETS, AND ONTO PRIVATE PROPERTY UNTIL IMPERVIOUS MATERIAL (ROAD/PARKING AREA SURFACE) IS APPLIED OR UNTIL PROPOSED LANDSCAPE HAS BEEN ESTABLISHED.
6. REFER TO X/C1.X FOR SILT FENCE CONSTRUCTION.
7. ALL GRASS SLOPES WHICH EXCEED 3:1 (H:V) SHALL UTILIZE CONTECH CONSTRUCTION PRODUCTS PERMANENT TURF REINFORCEMENT MAT 450 OR APPROVED EQUAL. MATS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND STANDARDS. CONTRACTOR SHALL COORDINATE INSTALLATION INSPECTION WITH MANUFACTURER.

1. CONTRACTOR TO PERFORM DETAILED SITE INSPECTION TO LOCATE ALL EXISTING UTILITIES AND VERIFY ANY POSSIBLE CONFLICTS WITH PROPOSED IMPROVEMENTS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTACT OWNER WITH ANY CONFLICTS.
2. INSTALLATION OF CONSTRUCTION ENTRANCE.
3. INSTALLATION OF EROSION CONTROL FENCE.
4. DEMOLITION OF EXISTING SITE IMPROVEMENTS.
5. REMOVAL OF EXISTING PAVEMENT ON THE SITE.
6. INSTALLATION OF ALL STORM WATER DRAINAGE IMPROVEMENTS.
7. ROUGH GRADING.
8. CONSTRUCTION OF NEW SITE IMPROVEMENTS.
9. FINAL GRADING.
10. PLACEMENT OF FINAL LANDSCAPING ITEMS AND SOD.
11. REMOVAL OF EROSION CONTROL FENCE.

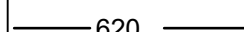
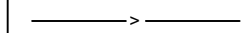
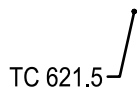
SPECIAL NOTE:

SPECIAL NOTE:
CONTRACTOR SHALL FIELD VERIFY PROPOSED GRADES
MATCH EXISTING PAVEMENT AT DRIVEWAY ENTRANCES,
SIDEWALK CONNECTIONS, AND ALL CONNECTION POINTS
PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR
SHALL NOTIFY ENGINEER IF DISCREPANCY OCCURS.

1. THE CONTRACTOR IS OBLIGATED TO INSPECT FOR EXISTING CONDITIONS/INSTALLATIONS AND AVAILABLE INFORMATION PRIOR TO SUBMITTING A BID, REFER TO SPECIFICATIONS ALSO.
2. EXISTING INSTALLATIONS (SUCH AS WATER MAINS/LINES, GAS MAINS/LINES, SEWER MAINS/LINES, TELEPHONE LINES, POWER LINES, AND UTILITY STRUCTURES IN THE VICINITY OF THE WORK TO BE DONE) ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT THAT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO OR DISCOVERED BY THE ENGINEER IN PREPARING THE DRAWINGS. THERE IS NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION, AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS THEREOF IS EXPRESSLY DISCLAIMED.
3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING ALL EXISTING INSTALLATIONS.
4. ANY DELAY, ADDITIONAL WORK, FEES OR EXTRA COST TO THE CONTRACTOR CAUSED BY OR RESULTING FROM DAMAGE TO OR MODIFICATION OF EXISTING INSTALLATIONS BY THE CONTRACTOR OR AFFECTED UTILITY COMPANY SHALL NOT CONSTITUTE A CLAIM FOR EXTRA WORK, ADDITIONAL PAYMENT OR DAMAGES.
5. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION PRIOR TO SUBMITTING HIS BID. NO EXTRAS WILL BE PAID DUE TO UNANTICIPATED EXISTING CONDITIONS/INSTALLATIONS.

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PROJECT NO: 25CO10006
DRAWN BY: CVM
CHECK BY: TPW
ISSUED DATE: 06/10/2025
FIELD BOOK:

LEGEND	
REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND AND SITE CONTROL.	
	EXISTING GRADE LINES
	PROPOSED NEW GRADE LINES
	NEW BUILDING CONSTRUCTION
	DRAINAGE SWALE
	NEW SPOT ELEVATIONS LIST GRADE SIDEWALK TOP OF WALL BOTTOM OF WALL TOP OF CURB TOP OF PAVEMENT NEW GRADE CONCRETE EXISTING TOP OF CURB EXISTING GRADE EXISTING PAVEMENT EXISTING SIDEWALK LADOT PAVEMENT (+3.5") FLOW LINE TOP OF BERM <u>ABBREVIATION</u> NONE SW TW BW TC PVT GD CONC ETC EGD EPVT ESW NPVT FL TOP

GRADING PLAN

C1.2

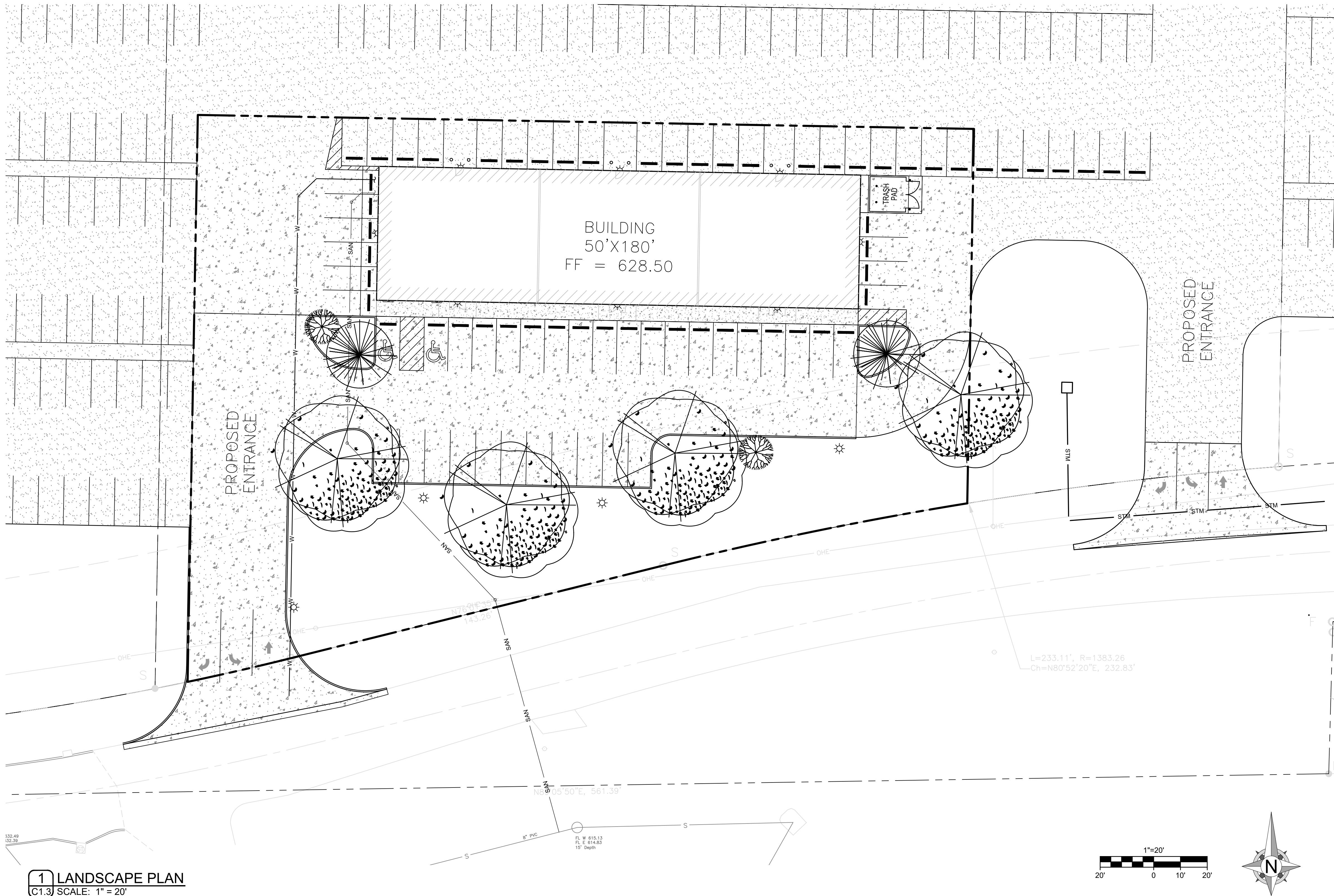
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1. THE CONTRACTOR SHALL FOLLOW ALL LOCAL CODES THAT PERTAIN TO LANDSCAPE INSTALLATION, AND SHALL NOTIFY THE DESIGNER REGARDING ANY DISCREPANCIES BETWEEN LOCAL CODES, PLANS, AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
3. THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES, UNDERGROUND UTILITIES AND SITE LIGHTING CONDUITS WITHIN THE PROJECT SITE BEFORE LANDSCAPE CONSTRUCTION BEGINS.
4. THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM RUBBISH AND ALL DEBRIS ASSOCIATED WITH THE WORK AT ALL TIMES. ALL UNUSED MATERIALS AND DEBRIS SHALL BE REMOVED FROM THE SITE.
5. THE CONTRACTOR SHALL BE REQUIRED TO PERFORM A WATER PERMEABILITY TEST TO DETERMINE SOIL QUALITY. TEST IS TO BE COMPLETED BY DIGGING A SHARP SHOOTER SPADE 18" INCHES INTO THE GROUND. FILL THE HOLE WITH WATER. RETURN TO THE TEST SITE AFTER 18 HOURS TO VISUALLY CONFIRM IF THE HOLE STILL RETAINS WATER. IF THE HOLE RETAINS WATER, THE SOIL IS DETERMINED TO BE TOO POOR FOR PLANTING CONDITIONS. TO REMEDY POOR SOIL CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO OVER EXCAVATE THE SOIL TO THE DEPTH OF THE ROOT BALL AND REPLACE THE SOIL WITH QUALITY PLANTING SOIL AS SPECIFIED ON THE PLANS PRIOR TO PLANTING TREES OR SHRUBS.
6. ALL LANDSCAPE MATERIALS TO BE WATERED BY CONTRACTOR UNTIL ESTABLISHED.

7. PLANT MATERIAL:
 - a. SHALL BE INSTALLED BY THE CONTRACTOR PER DETAILS (REFER TO DETAIL SHEETS) AND CLIENT'S SPECIFICATION OR REQUIREMENTS OF THE REGULATORY AUTHORITY HAVING JURISDICTION WHICHEVER IS MORE STRINGENT.
 - b. THE CONTRACTOR ACCEPTS ALL LIABILITY FOR THE INSTALLATION AND LANDSCAPING DICTATED ON THESE PLANS AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION LETTER IS ISSUED AND/OR ACCEPTANCE OF FINISHED JOB. ALL DEAD OR DAMAGED PLANT MATERIAL SHALL BE REPLACED ONE TIME WHEN DISCOVERED AT THE CONTRACTOR'S EXPENSE.
 - c. QUALITY SHALL COMPLY TO THE HIGHEST STANDARDS IN THE NURSERY INDUSTRY. GRASS SOIL AND PLANTS SHALL BE REASONABLY CLEAN AND FREE OF WEEDS, PESTS, DISEASES.
 - d. SHALL NOT BE PLANTED IN FROZEN GROUND.
8. ANY EXISTING TREES DESIGNATED TO BE SAVED MUST BE PRESERVED DURING CONSTRUCTION.
9. ALL PLANTING BEDS AND TREE PLANTING PITS TO BE FILLED WITH A MIXTURE OF 30% COMPOST (COW, MUSHROOM OR COTTON-BUD), 20% PEAT MOSS AND 50% TOPSOIL BY VOLUME. ALSO, MIX IN 1LB / 10-20 LB SLOW RELEASE PLANT FERTILIZER PER 100 SQ. FT. OR RECOMMENDED RATE BY THE SOIL ANALYSIS.
10. STAKES FOR TREE SUPPORT SHALL BE STEEL "T" BAR FENCE POST, 6' LONG, PAINTED DARK GREEN WITH TOP 6" PAINTED WHITE. TREE SYSTEMS SHALL BE EASILY ADJUSTABLE, STRONG IN ALL WEATHER, AND EASILY ATTACHED AND REMOVED. HOSE AND WIRE ARE NOT

11. ALL PLANTING BEDS AS DESIGNATED ON THESE PLANS SHALL BE BORDERED BY $\frac{1}{8}$ " X 4" PAINTED BROWN STEEL EDGING AND RYERSON OR APPROVED EQUAL WITH INTEGRATED STAKES THROUGH SLOTS IN THE EDGING. (REFER TO DETAIL SHEETS FOR ACCEPTED EDGING MATERIAL)
12. MULCH ALL TREE PLANTINGS AND PLANTING BEDS WITH 4" OF EITHER SHREDDED HARDWOOD BARK MULCH OR CYPRESS MULCH. IN THE SEASONAL FLOWER BEDS USE EITHER CYPRESS OR PINE BARK MULCH; DO NOT USE HARDWOOD MULCH IN SEASONAL FLOWER BEDS.
13. ALL PLANTING AREAS SHALL RECEIVE A THREE INCH (3") TOP DRESSING OF MULCH OVER THE ENTIRE EDGE TO "WEEDPROOF" FABRIC BY "EASY GARDENER" OR DEWITT WEED BARRIERS. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND (REFER TO PLANTING DETAILS).
14. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION, EXCEPT THOSE OCCUPIED BY BUILDINGS, STRUCTURES, OR PAVING SHALL BE GRADED SMOOTH AND 4" (INCHES) OF TOPSOIL APPLIED. (REFER TO THE EROSION CONTROL DETAIL SHEET(S) FOR TOPSOIL AND SEEDING SPECIFICATIONS).
15. CONTRACTOR SHALL FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH 10-10-10 TIME RELEASE FERTILIZER.

16. IF REQUIRED BY THE CLIENT'S SPECIFICATIONS OR REQUIREMENTS OF THE REGULATORY AUTHORITY HAVING JURISDICTION, WHICHEVER IS MORE STRINGENT, THE CONTRACTOR SHALL REPAIR, REPLACE AND/OR AUGMENT EXISTING IRRIGATION SYSTEM AS NECESSARY THAT PROVIDES SEPARATE ZONES AND HEAD PLACEMENT FOR SHRUB AREAS AND TURF AREAS. 100% HEAD TO HEAD COVERAGE WILL BE REQUIRED. THE CONTRACTOR WILL SUBMIT AS-BUILT DRAWINGS FOR THE LANDSCAPE IRRIGATION SYSTEM AND WILL ACCEPT RESPONSIBILITY FOR THE THE IRRIGATION SYSTEM. PROVIDE SUBMITTALS AS REQUIRED.
17. ALL PLANTING TYPES SHALL COMPLY WITH LOCAL GOVERNING CODES AND REGULATIONS. CONFORM TO REQUIREMENTS OF PLANT LIST AND TO THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARD OF NURSERY STOCK" AND "HORTICULTURAL STANDARDS" AS TO SPECIES, AGE, SIZE, AND PLANTING RECOMMENDATIONS
18. LANDSCAPE CONTRACTOR SHALL OBTAIN AN ORIGINAL PRINT OF THIS PLAN TO ENSURE THAT ALL LINE WEIGHTS, LINE TYPES AND SHADED COLORS ARE COMPLETELY LEGIBLE AS ORIGINALLY PRINTED.
19. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
20. PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
21. QUANTITIES OF MATERIALS SHOWN ON LANDSCAPING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON PLANT SCHEDULE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON LANDSCAPING PLAN.
22. FIRE CODE LANDSCAPE GUIDELINES: COMBUSTIBLE LANDSCAPING MATERIALS SHALL NOT BE WITHIN 18 INCHES OF ANY COMMERCIAL BUILDING. (2018 IFC AMENDED 320.4) ----- COMBUSTIBLE LANDSCAPING MATERIALS SHALL NOT BE WITHIN 18 INCHES RADIUS AROUND GAS METERS. (2018 IFC AMENDED 320.4) ----- RECEPTACLES FOR DISCARDED SMOKING MATERIALS SHALL BE NO CLOSER THAN 18 INCHES TO COMBUSTIBLE LANDSCAPE MATERIAL / MULCH AND SHALL BE EMPTIED REGULARLY. (2018 IFC AMENDED 320.5)



NO BUFFER YARD REQUIRED

The diagram shows three circular cross-sections of trees, each with a different internal structure representing its canopy or growth form. The top circle, labeled 'CANOPY TREE', is divided into several large, irregular segments, some of which are filled with small dots. The middle circle, labeled 'ORNAMENTAL TREE', is divided into many small, radial segments. The bottom circle, labeled 'UNDERSTORY TREE', is divided into many small, radial segments, with the outermost segments being larger and more prominent than the inner ones.

CONTRACTOR TO COORDINATE WITH OWNER, UTILITY PROVIDERS AND THE CITY OF BOONVILLE ON WHICH TREES/SHRUBS TO BE SELECTED AND WHERE THEY MAY BE PLACED.



FORMERLY ANDERSON ENGINEERING

A licensed Missouri
Engineering Corporation
COA# 00062

JACKSON ROAD
BOONVILLE, MO

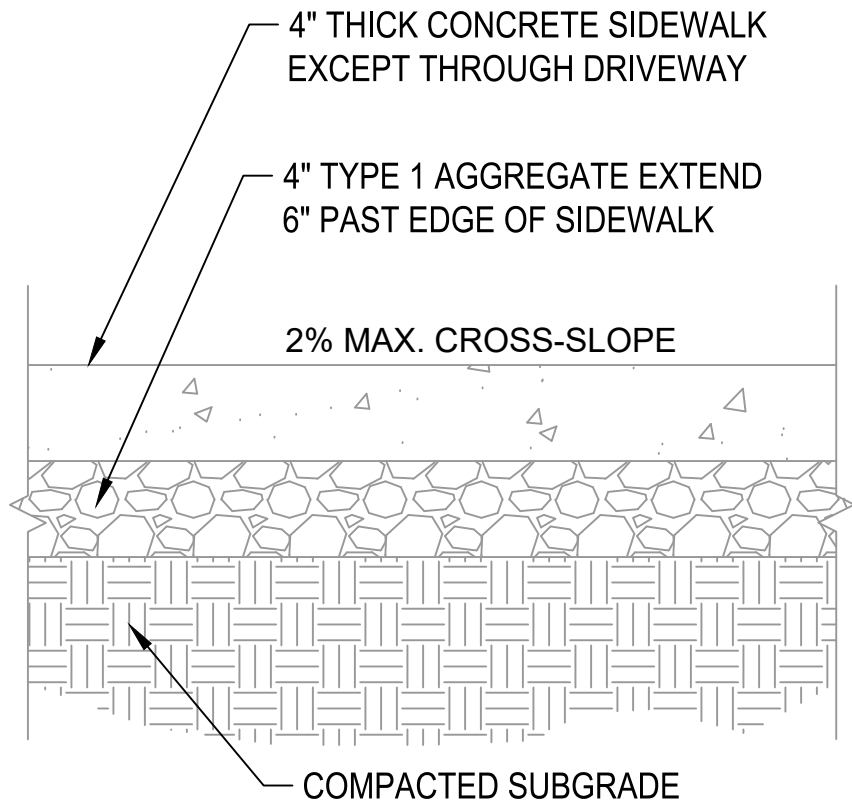
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PROJECT NO: 25CO10006
DRAWN BY: CVM
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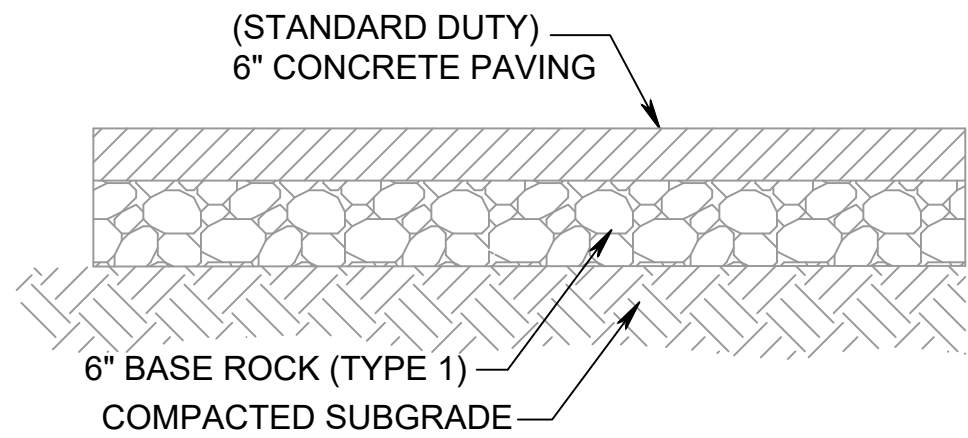
LANDSCAPE PLAN

C1.3
03 OF 05



- NOTES:
1. ALL SIDEWALKS ARE TO BE BUILT PER 2009 MISSOURI STANDARD PLANS FOR HIGHWAY CONSTRUCTION.
 2. CONTROL JOINTS AT 4'-6\"/>
 3. EXPANSION JOINTS EVERY 100' AND 18\"/>
 4. ASPHALT DRIVEWAYS - IF CROSS-SLOPE < 2%, SAWCUT EXISTING PAVEMENT AND INSTALL SIDEWALK. IF CROSS-SLOPE > 2%, DRIVEWAY MUST BE REMOVED AS REQUIRED TO PROVIDE 2% CROSS-SLOPE.
 5. CONCRETE DRIVEWAYS - IF CROSS-SLOPE < 2%, EXISTING PAVEMENT IS ACCEPTABLE AS SIDEWALK. IF CROSS-SLOPE > 2%, DRIVEWAY MUST BE SAWCUT AND REMOVED AS REQUIRED TO INSTALL SIDEWALK WITH A MAXIMUM 2% CROSS-SLOPE.
 6. GRAVEL DRIVEWAYS - INSTALL SIDEWALK ACROSS DRIVEWAY AS SHOWN IN PLAN.
 7. SEE DETAIL 4/C1 FOR RESIDENTIAL DRIVEWAY SIDEWALK CROSSING DETAILS.
 8. NO SIDEWALK CROSS-SLOPE CAN EXCEED 2%, INCLUDING SIDEWALKS ACROSS DRIVEWAYS.
 9. THE MAXIMUM RUNNING SLOPE OF SIDEWALKS ARE 5%. IF A RUNNING SLOPE ON A SIDEWALK NOT CLASSIFIED AS A RAMP EXCEEDS 5%, HANDRAILS WILL BE REQUIRED.
 10. THE MAXIMUM RUNNING SLOPE ON A SIDEWALK CLASSIFIED AS A RAMP IS 8.33%. NO RUNNING SLOPE ON ANY SECTION OF SIDEWALK CAN EXCEED 8.33%.
 11. ALL SIDEWALK AND CURB RAMPS MUST COMPLY WITH FEDERAL LAWS AND ADA GUIDELINES. NON-COMPLIANT WORK WILL BE REMOVED AND REPLACED AT CONTRACTOR'S EXPENSE.

1 TYPICAL SIDEWALK CROSS-SECTION
C1.4 SCALE: N.T.S.

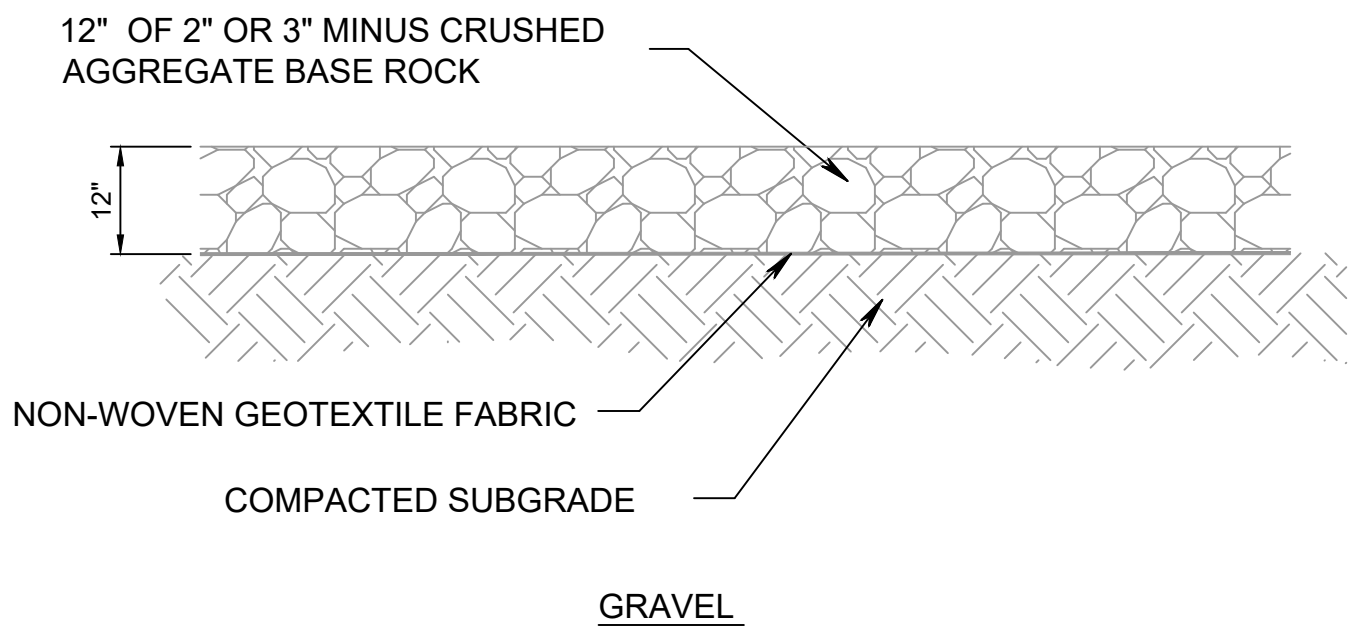


PROVIDE 7\"/>

PROVIDE CONTROL JOINTS AT 10' O.C. (25% SLAB THICKNESS)

- NOTES:
1. SUBGRADE MUST BE STABLE AND HARD UNDER PROOF ROLLING WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO INSTALLING BASE ROCK.
 2. SOILS MUST BE PLACED AND COMPACTED TO A MINIMUM OF 95% MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698 WITH MAXIMUM LOOSE LIFT OF 8\"/>
 3. THE MAXIMUM COMPACTED THICKNESS OF ANY ONE LAYER OF BASE ROCK MATERIAL SHALL NOT EXCEED 6 INCHES WITH EACH LIFT COMPACTED TO 100% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698 (STANDARD PROCTOR).
 4. CONCRETE PAVEMENTS SHOULD MEET THE REQUIREMENTS OF SECTION 502 OF THE MODOT STANDARD SPECIFICATIONS FOR PORTLAND CEMENT CONCRETE PAVEMENTS.
 5. CARE MUST BE TAKEN TO DEVELOP POSITIVE DRAINAGE ACROSS AND FROM AROUND THE PAVEMENT EDGES. WATER ALLOWED TO POND ON OR ADJACENT TO PAVEMENTS WOULD INCREASE THE POTENTIAL FOR MOISTURE INTRUSION INTO THE SUBGRADE SOILS AND COULD RESULT IN PREMATURE PAVEMENT FAILURE.
 6. A MAINTENANCE PROGRAM THAT INCLUDES SURFACE SEALING, JOINT CLEANING AND SEALING AND TIMELY REPAIR OF CRACKS AND DETERIORATED AREAS WILL HELP PRESERVE THE PAVEMENT LIFE.
 7. 28 DAY COMPRESSIVE STRENGTH TO BE 4000 PSI.
 8. THE BASE ROCK SHOULD MEET THE REQUIREMENTS OF SECTION 1007 FOR TYPE V AGGREGATE OF THE MODOT STANDARD SPECIFICATIONS.

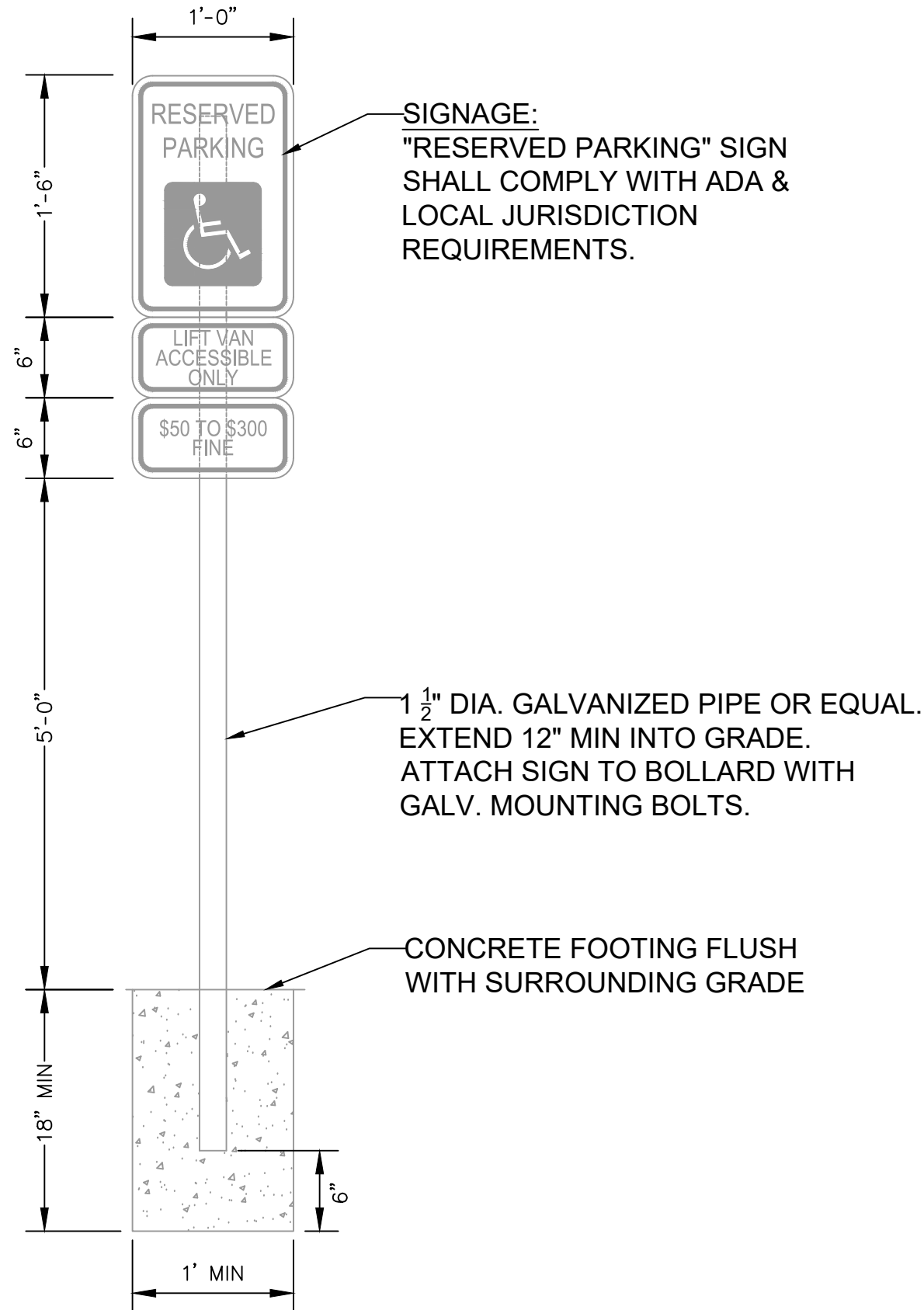
2 CONCRETE PAVEMENT
C1.4 SCALE: N.T.S.



GENERAL NOTES:

1. SUBGRADE MUST BE STABLE AND HARD UNDER PROOF ROLLING WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO INSTALLING BASE ROCK.
2. SOILS MUST BE PLACED AND COMPACTED TO A MINIMUM OF 95% MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698 WITH MAXIMUM LOOSE LIFT OF 8\"/>
3. THE MAXIMUM COMPACTED THICKNESS OF ANY ONE LAYER OF ROCK MATERIAL SHALL NOT EXCEED 6 INCHES WITH EACH LIFT COMPACTED TO 100% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698 (STANDARD PROCTOR).
4. CONTRACTOR TO MAINTAIN THICKNESS.

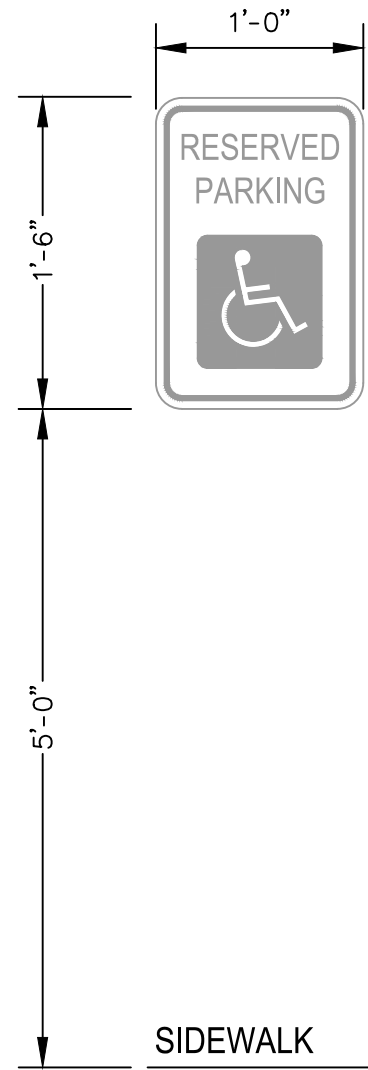
3 GRAVEL ROAD SECTION
C1.4 SCALE: N.T.S.



POLE MOUNTED

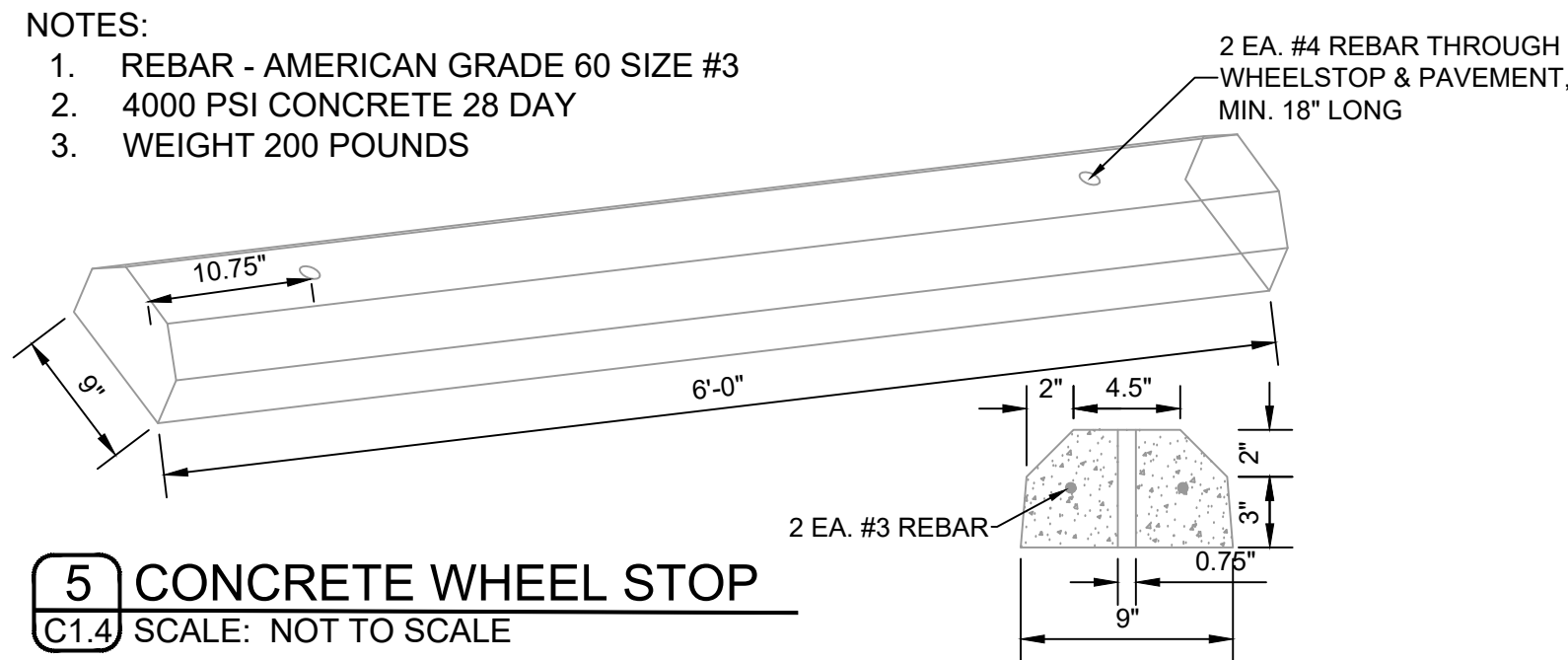
GENERAL SIGNAGE NOTE:
"RESERVED PARKING" EQUAL TO "BEST" No. SS53.
AT RIGHT HAND DISCHARGE LOCATION PROVIDE "LIFT VAN ACCESSIBLE ONLY" SIGNAGE EQUAL TO "BEST" No. SS57.
BOTTOM EDGE OF LOWEST REQUIRED SIGN TO BE 60" ABOVE GRADE.

4 ADA PARKING SIGNAGE
C1.4 SCALE: N.T.S.



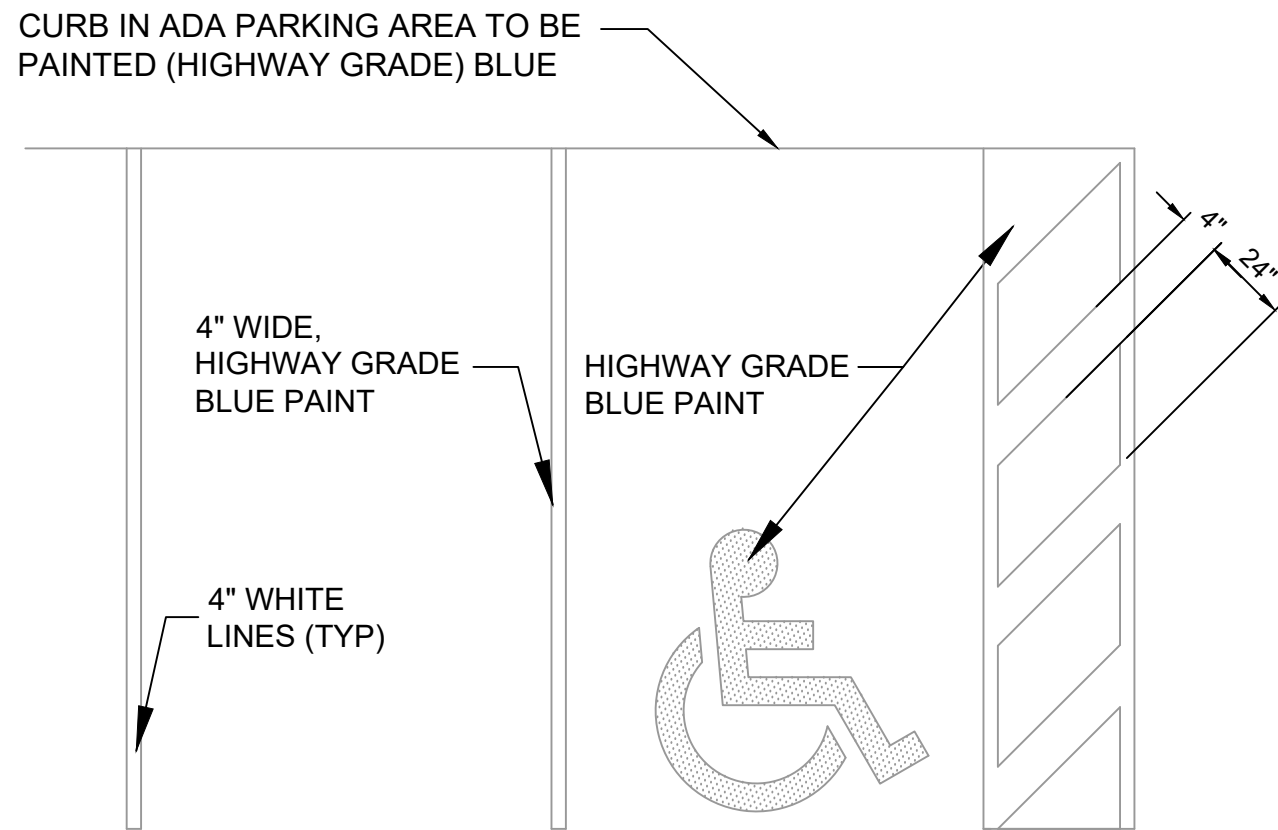
ATTACH EA. SIGN TO BUILDING W/ GALV. MOUNTING BRACKETS AND BOLTS PER SIGN MANUFACTURER'S RECOMMENDATIONS. SIGN MUST MEET LOCAL JURISDICTION CODE.

BUILDING MOUNTED



- NOTES:
1. REBAR - AMERICAN GRADE 60 SIZE #3
 2. 4000 PSI CONCRETE 28 DAY
 3. WEIGHT 200 POUNDS

5 CONCRETE WHEEL STOP
C1.4 SCALE: NOT TO SCALE



6 PARKING LOT STRIPING
C1.4 SCALE: N.T.S.

OWN
Engineering beyond.™

4240 Philips Farm Road, Suite 101
Columbia, MO 65201
573.397.5476
weareown.com

FORMERLY ANDERSON ENGINEERING

A licensed Missouri
Engineering Corporation
COA# 00062

BALLPARK CENTRAL

JACKSON ROAD
BOONVILLE, MO

REVISIONS		
NO.	DESCRIPTION	DATE

DRAWING INFORMATION

PROJECT NO: 25CO10006

DRAWN BY: CVM

CHECK BY: TPW

ISSUED DATE: 06/10/2025

FIELD BOOK:

ISSUED BY:

LICENSE NO:

SHEET TITLE
DETAILS

SHEET NUMBER
C1.4
04 OF 05



FORMERLY ANDERSON ENGINEERING

BALLPARK CENTRAL

REVISIONS

DRAWING INFORMATION

PROJECT NO: 25CO10006

DRAWN BY: CVM

CHECK BY: TPW

ISSUED DATE: 06/10/2025

FIELD BOOK:

ISSUED BY:

LICENSE NO-

SHEET TITLE

DETAILS

SHEET NUMBER

C1.5

05 OF 05

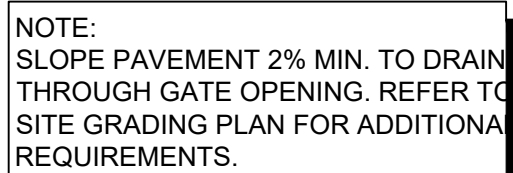


1. DIMENSIONS ARE TO ROUGH FACE OF CONCRETE, FRAMING, OR CENTER LINE OF STRUCTURE UNLESS OTHERWISE INDICATED.
2. REFER TO SITE LAYOUT PLAN FOR ADDITIONAL REQUIREMENTS.
3. REFER TO ARCHITECTURAL EXTERIOR FINISH SCHEDULE FOR MATERIAL TYPES, COLORS, AND FINISHES. UNLESS OTHERWISE INDICATED PROVIDE FINISHES AS FOLLOWS:

ALL METAL PARTS TO BE PRIMED AND PAINTED (2) COATS SHERWIN WILLIAMS PAINT. COORDINATE WITH OWNER FOR COLOR SELECTION.

EXPOSED WOOD TO BE PRIMED AND PAINTED (2) COATS OF COLOR TO MATCH BUILDING.

NOTE:
REFER TO SITE DEVELOPMENT PLAN FOR REFUS
ENCLOSURE LOCATION AND ORIENTATION.



1 WOOD SCREEN FENCE GATE DETAILS

C1.5	SCALE: NOT TO SCALE
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C1.5	SCALE: NOT TO SCALE
------	---------------------



C1.5	SCALE: NOT TO SCALE
------	---------------------

AN ORDINANCE OF THE CITY OF BOONVILLE, MISSOURI, ADOPTING A PROCEDURE FOR CONSIDERING REDEVELOPMENT PLANS AND TAX ABATEMENT OR EXEMPTION PURSUANT TO CHAPTER 353 OF THE REVISED STATUTES OF MISSOURI.

WHEREAS, Chapter 353 of the Revised Statutes of Missouri, known and referred to as The Urban Redevelopment Corporations Law (“Chapter 353”), authorizes the City to approve, by ordinance, redevelopment plans that allow for the redevelopment of blighted areas within the City and the granting of tax abatements and exemptions to encourage such redevelopment; and

WHEREAS, no tax abatement or exemption authorized by the City Council under Chapter 353 can become effective until the City Council conducts a public hearing to consider a proposed redevelopment plan and such tax abatement or exemption; and

WHEREAS, prior to the public hearing, the City Council must furnish to the political subdivisions whose boundaries for ad valorem taxation purposes include any portion of the property to be affected by tax abatement or exemption: (1) notice of the scheduled public hearing and (2) a written statement of the impact on ad valorem taxes such tax abatement or exemption will have on the political subdivisions; and

WHEREAS, Section 353.110.3 of the Revised Statutes of Missouri provides that such notice and written statement shall be as provided by local ordinance before the public hearing; and

WHEREAS, the City Council now desires to establish its procedures to provide the notice and written statement as required by Section 353.110.3 of the Revised Statutes of Missouri.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BOONVILLE, MISSOURI, AS FOLLOWS:

Section 1. Not less than ten (10) days before a public hearing to consider a redevelopment plan that provides for tax abatement or tax exemption pursuant to Chapter 353 of the Revised Statutes of Missouri, the City shall furnish to the political subdivisions whose boundaries for ad valorem taxation purposes include any portion of the property to be affected by tax abatement:

A. Notice of the scheduled public hearing, which shall include:

- (1) the time, date, and place of the public hearing,
- (2) a general description of the boundaries of the proposed redevelopment area,
- (3) a general description of the proposed redevelopment plan,
- (4) an invitation to submit comments to the City Council prior to the date of the public hearing concerning matters that will be discussed at the public hearing, and to appear at the public hearing and provide comments, and
- (5) a statement that all interested persons and all political subdivisions will have the opportunity to be heard on such grant of tax abatement or exemption; and

B. A written statement of the impact on ad valorem taxes such tax abatement or exemption will have on the political subdivisions, which shall be prepared by or at the direction of the applicant and

shall include an estimate of the amount of ad valorem tax revenues of each political subdivision which will be affected by the proposed tax abatement or exemption, based on the estimated assessed valuation of the real property involved as such property would exist before and after it is redeveloped.

Section 2. The applicant for tax abatement or exemption under Chapter 353 shall provide or cause to be provided to the City: a complete list of all political subdivisions whose boundaries for ad valorem taxation purposes include any portion of the property to be affected by tax abatement or exemption; the written statement specified in Section 1.B above, in a form approved by the City Administrator; and any other information deemed necessary by the City Administrator or her designee to evaluate the proposed redevelopment plan and comply with the requirements of this Ordinance.

Section 3. This Ordinance will take effect and be in full force from and after its adoption by the City Council and approval by the Mayor.

FIRST READING: JUNE 16TH, 2025

**READ FOR THE SECOND TIME AND PASSED THIS 16TH DAY OF JUNE, 2025,
AFTER A COPY OF THIS ORDINANCE HAS BEEN MADE AVAILABLE FOR PUBLIC
INSPECTION PRIOR TO ITS FIRST READING.**

APPROVED THIS 7TH DAY OF JULY, 2025.

Ned Beach, Mayor

Amber Davis, City Clerk

**CITY OF BOONVILLE
PLANNING AND ZONING COMMISSION MEETING
MINUTES OF JUNE 10, 2025**

VOTING MEMBERS PRESENT

- 1) Clark Greis
- 2) Ernie Ueligger
- 3) Sy Harvell
- 4) Brooks Rapp
- 5) Steve Hage

VOTING MEMBERS ABSENT: Josh Snoddy and Ned Beach

STAFF/PRESENTERS/GUESTS

Jeff Ditto
Kate Fjell
Kim Brady
Eric Brady
Bobby Laird, OWN Engineering
Scotty Vogler

1. CALL TO ORDER: Mr. Hage called the meeting to order at 6:10 p.m. Roll call was taken with five (5) of eight (8) members present constituting a quorum.
2. MINUTES: Mr. Ueligger moved, and Mr. Rapp seconded a motion that the minutes be approved. Motion passed unanimously.
3. HEARING OF PUBLIC COMMENTS:
None
4. OLD BUSINESS:
None
5. NEW BUSINESS:

a. Rezoning Request for 911 Kemper Street, Boonville, MO

Mr. Hage opened the discussion, explaining that in 2021 a prospective buyer and the owner requested a rezoning of this property from C-P to R-3 for housing development. Ultimately, that housing development did not come to fruition and Mr. Miller has recently purchased the property. Mr. Hage stated that Mr. Miller is the owner of Precision Build, LLC and desires to operate the business out of the existing buildings on this lot. Mr. Hage stated that in the larger building that was once a cart shed, Mr. Miller plans to reskin the metal and utilize that building to store equipment and material. Mr. Hage stated that he also plans to improve the smaller building, putting a porch on the front and utilizing it for an office.

Mr. Hage stated that Mr. Miller is asking for the zoning to revert to C-P, which it was prior to 2021. Mr. Hage stated that staff did not see any issues.

Ms. Fjell stated that the Commission would need to request of the Council to hold a public hearing and also recommend or not recommend the zoning change to Council.

Mr. Ueligger moved and Mr. Brooks seconded a motion to recommend the zoning change to the Council and request the Council to hold a public hearing on the matter on July 7th. Ayes: Rapp, Greis, Harvell, Ueligger, Hage(5); Nays: None (0); Abstain: None (0)

b. Minor subdivision request for 913 Santa Fe Trail

Mr. Hage explained that Mr. Day has owned the lot at 913 for some time and there is a small piece that touches Riveria Drive. Mr. Day has someone interested in purchasing that small lot that touches Riveria Drive, measuring approximately 80x189 feet. Mr. Hage stated that the owners of the lot will have a driveway off Riveria Drive. Mr. Day will still have access to his house off Santa Fe Trail. Mr. Hage stated that it meets all of the requirements for a minor subdivision.

Mr. Harvell asked if any new roads will be necessary for the development. Mr. Hage stated that since it is a single family dwelling, there is only a driveway necessary.

Mr. Ueligger moved and Mr. Brooks seconded a motion to approve the minor subdivision request at 913 Santa Fe Trail. Ayes: Rapp, Greis, Harvell, Ueligger, Hage(5); Nays: None (0); Abstain: None (0)

c. Preliminary Plan Review for 98 Investments

Mr. Hage stated that Kim and Eric Brady have presented a preliminary plan for the commercial frontage at the acreage along Jackson Road, that is also currently being considered for annexation. Mr. Hage stated that the updated plan has been provided at this meeting. The proposed plan has sufficient parking spaces required for the commercial frontage and the engineers are still working through the connection to utilities. Mr. Hage said the final plan for the development may be reviewed at the next planning and zoning meeting. Mr. Hage asked Mr. Vogler if he had any comments. Mr. Vogler stated that it was adequate for a preliminary plan.

Mr. Hage asked if the commission has any questions. With no questions, Mr. Ueligger moved and Mr. Gried moved to approve the preliminary site plan. Ayes: Rapp, Greis, Harvell, Ueligger, Hage(5); Nays: None (0); Abstain: None (0)

6. MISCELLANEOUS:

None

7. ADJOURN

Mr. Greis moved, and Mr. Rapp seconded a motion to adjourn the meeting. The motion passed unanimously. The Meeting adjourned at 6:30 PM

Respectfully submitted,

Kate Fjell, City Administrator



DATE: June 12, 2025

TO: Mayor and City Council

From: Planning and Zoning Commission

RE: Rezoning request for Precision Built 911 Kemper Drive

At the Tuesday, June 10th Planning and Zoning meeting, the Commission reviewed the zoning request for the Precision Built, LLC on Ashley Road/Kemper Drive. The site is currently zoned R-3, it was zoned this in 2021, and the new property owner is requesting to return the zoning to C-P. The owner plans to use this tract of land for his business location. The Commission is recommending to Council approval of the rezoning request following a public hearing. The Commission respectfully asks for you to set a public hearing on the rezoning request for **Monday, July 7th, 2025, at 7:00 PM** prior to the Council meeting.

Fire Board Minutes
June 12, 2025
0845 am

Present: Chris Howard, Bill Hilden, Danny Taft, Chief Tim Cooper

Absent: 2 Open expired seats, Councilmen Bechtel (Out of town, prior commitment)

Meeting called to order at 0845AM

Public Comments: No public comments

Old Business: No old business since the last meeting was in 2022.

New Business:

Chief Cooper briefed the board on changes and action that have taken place since his start on April 21st.

- . Changed cross lays to the minuteman load and added hydrant wrench and adapters to the end of the supply hose
- . Changed rotating engines to having one frontline truck and keeping second in reserve.
- . The addition of the training recording program. Crews recorded a total of 83 combined training hours last month
- . Policy change limiting Volunteers response in POVs to any call on a public roadway.
- . Hiring process with a written test, physical agility, and an interview. Full-time positions were offered to Justin Swope and Brad Drew. Swope started on June 3rd. Brad Drews proposed start date is June 17th. This will bring the total number of FFs to 2 on duty everyday except in instances of time off. Have been supplementing crews on the weekends with volunteers.
- . 13 new helmets were ordered to replace those that expired in 2014 and 2018
- . Discussion and photo review of the proposed new fire truck. Chief Cooper traveled to Huntsville AL to view truck. Will meet Boonville needs very well.
- . Chris Howard asked about the status of portable radio upgrade. Chief Cooper has received a bid from Motorola for the replacement of 7 current portable radios that were purchased in 2004. The returned bid was for 60,000\$. Most of the county is going to the "Moswin" system that requires a lot of upgrades to radios in all units as well as a repeater in one dedicated unit.

Discussion was held on possible grants available for this upgrade, but none are currently available.

. Danny Taft asked if the FD has any plans to start doing business inspections as this is something that needs to be done for fire prevention. Chief Cooper mentioned that this would also provide crews access to buildings and the ability to “Preplan” for any incident that might occur in these buildings. This led to a discussion on a program called Tablet Command that allows for preplans to be uploaded in one area for the crews to be able to access these plans while enroute to a call. This program also allows for the building of different map layers through ArcGIS such as hydrant locations, water mains and building footprints. Included is instant call notification with instantly updated sensitive call notes and driving directions. This program would benefit the entire county as radio communication in Boonville is very strained due to the geography.

. Bill Hilden asked if the grease trap inspections were still being done by the FD and if so, why isn't this being done by the health department. Chief Cooper stated that these have not started yet due to time constraints and could not answer why it wasn't being done by the Health Department but would try and get the answer to why.

Miscellaneous: None

Adjourn: Chris Howard made motion to adjourn, seconded by Bill Hilden. All in favor.
Adjourned at 1020 AM



June 11, 2025, 2025

To: Mayor and City Council
From: Kate Fjell, City Administrator
Re: City Council Meeting Notes and Comments

We have a slate of first readings on the agenda tonight, as you can see the planning and zoning commission has been busy!

Ballparks Central/98 Investments

The project on Jackson Road with Brady's is moving forward on several fronts. First, we will have the public hearing for the annexation of the approximate 32 acres. As a reminder, the Bradys amended their annexation petition to include an additional 11 acres that they purchased from EMMR. In addition to the annexation, they have submitted their preliminary plan for the commercial frontage which is on the Council agenda tonight. Likely, there may be some overlap in plan approvals for this development in the coming council meetings as we anticipate getting a final development plan for the commercial frontage in July as well as preliminary plans for the ballpark complex. They hope to be operating in 2026; so there will be a flurry of work to bring this development to fruition. The development will be an asset to the community and hopefully spur additional commercial growth.

Please note that the annexation ordinances 2025-13 have been amended since the first reading, due to the amended petition that was filed and the sale of additional 11 acres. This will be discussed in greater detail during the public hearing. The Planning and Zoning Commission did recommend the annexation of the 20.18 and the additional 11 acres condition on closing on the property, which has occurred.

913 Santa Fe Trail Minor Subdivision

Mr. Day has requested a minor subdivision at his property. He intends to sell a lot on Riveria Drive for someone to build a house on this lot. It will be a single-family dwelling. The request meets all requirements.

911 Kemper Drive Rezoning

We have had a rezoning request at 911 Kemper Drive. The new owner is requesting to revert to the original zoning C-P. The zoning was initially changed back in 2021, as part of a potential housing development project that did not occur. The rezoning will allow Mr. Miller to operate his home building business. There is a memo from the P and Z Commission requesting that Council set a public hearing for July 7th.

New Requirements for City Yard Waste

Jeff Ditto and I have been discussing for a couple months that we believe it is time to make a requirement that leaves/small sticks/loose compostable debris should not be put into a plastic bag for pick up or drop off at the yard waste. The problem is that these plastic bags are obviously not compostable and it is not realistic for staff to have to cut open and dump material. Therefore, we will be instituting a rule that bags can only be compostable paper bags. These bags are offered for

sale locally at Tractor Supply and Walmart locally. This rule will go into place on July 6th, we will put information out on KWRT, BDN and the website.

Pumper Truck Discussion

Tim Cooper will provide a short presentation on the equipment inventory at the fire department and discuss a potential opportunity to address some of these issues.



REPORT OF OPERATIONS

Boonville, Missouri

Water & Wastewater Treatment Plant

May 2025

Submitted by Alliance Water Resources, Inc.

OUR MISSION

We partner with communities to deliver the finest water and wastewater services available at a competitive price. We are committed to keeping water safe and clean while serving people and taking care of communities with improved technical operations, careful management and financial oversight, and ensured regulatory compliance.

Alliance Water Resources, Inc.

**206 S. Keene St.
Columbia, MO
65201**

(573)874-8080

May 2025

Administrative

- None at this time.

Repair and Chemical Expense Report May 2025

<u>Description</u>	<u>Budgeted</u>	<u>Actual Spent</u>	<u>Remaining</u>
<u>WT Repair Expense</u>	<u>\$38,800.00</u>	<u>\$5,470</u>	<u>\$27,490</u>
<u>WT Chemical Expense</u>	<u>\$328,550.00</u>	<u>\$23,333.4</u>	<u>\$264,549</u>
<u>WWT Repair Expense</u>	<u>\$40,000.00</u>	<u>\$2,404</u>	<u>\$35,939</u>
<u>WWT Lift station Expense</u>	<u>\$20,000.00</u>	<u>\$1,400</u>	<u>\$17,130</u>
<u>WWT Biosolids Expense</u>	<u>\$30,000.00</u>	<u>\$3,393</u>	<u>\$25,701</u>
<u>WWT Chemical Expense</u>	<u>\$95,000.00</u>	<u>\$0.00</u>	<u>\$95,000.00</u>

Treatment and Operations

- Following pages have Treatment and Operations information for both Water and Wastewater Plants.

Plant Maintenance Updates

- Water Treatment Plant Mainstreet Pump VFD installed (electrical component that controls the pump in auto).
- Water treatment Plant repaired the AC unit in the lab.
- Water Treatment Plant has 2 new personnel in class for their water treatment license certification.
- Wastewater Treatment Trojan UV contractor helped repair the UV system fault and get bank 2 back to 100% operational
- Wastewater treatment repaired pumps at Lift stations 1, 2 and Industrial Lift station.

Safety

- The staff conducted its Monthly Safety meeting and Inspections.

Regulatory

- All Labs results are within regulations.

Concerns for the Month.

- None at this time.

PHOTOS



Industrial Lift station pump being cleaned out. Rags and wood and trash stuck in the impeller.



New impellar and housing being installed on the motor at Industrial Lift station.

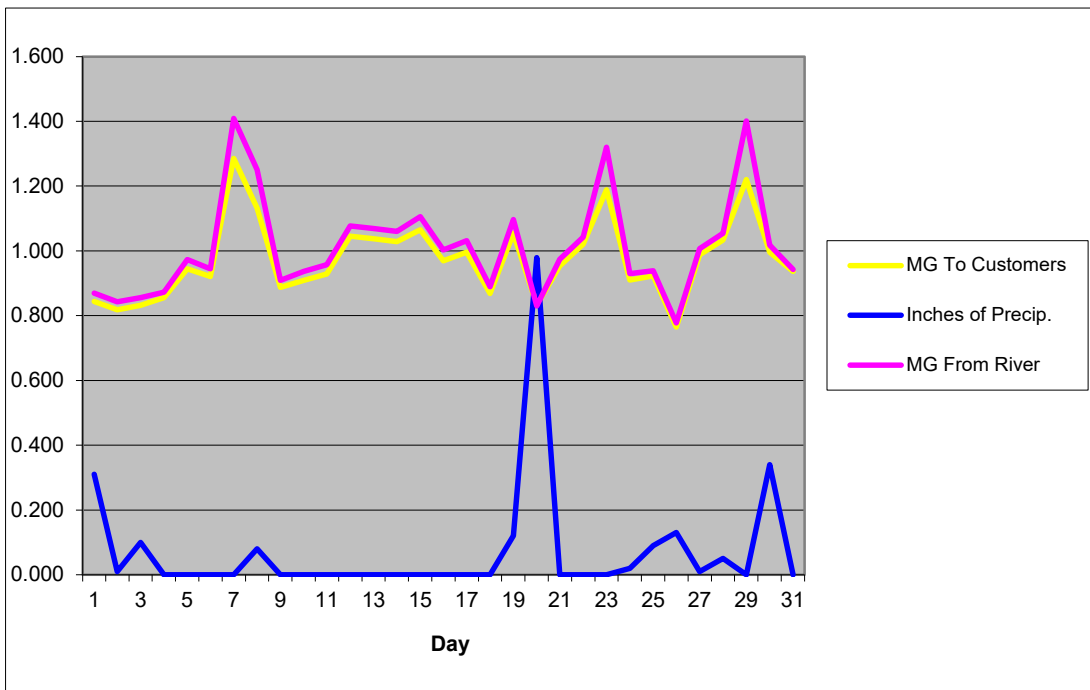


Changing the oil on the lift station pump at Lift station #1.



Changing the oil on the lift station pump at Lift station #2.

Date	MG From River	MG To Customers	Inches of Precip.
1	0.869	0.844	0.31
2	0.843	0.818	0.01
3	0.856	0.832	0.10
4	0.872	0.856	0.00
5	0.973	0.945	0.00
6	0.945	0.921	0.00
7	1.409	1.286	0.00
8	1.251	1.132	0.08
9	0.909	0.887	0.00
10	0.937	0.909	0.00
11	0.957	0.929	0.00
12	1.077	1.045	0.00
13	1.069	1.037	0.00
14	1.060	1.029	0.00
15	1.106	1.065	0.00
16	1.003	0.969	0.00
17	1.031	0.996	0.00
18	0.889	0.868	0.00
19	1.097	1.054	0.12
20	0.830	0.833	0.98
21	0.974	0.953	0.00
22	1.042	1.021	0.00
23	1.320	1.189	0.00
24	0.930	0.910	0.02
25	0.939	0.923	0.09
26	0.778	0.765	0.13
27	1.007	0.988	0.01
28	1.054	1.033	0.05
29	1.401	1.220	0.00
30	1.018	0.996	0.34
31	0.943	0.937	0.00
TOTAL	31.389	30.190	2.24
AVERAGE	1.013	0.974	0.072258065
MAX	1.409	1.286	0.98
MIN	0.778	0.765	0

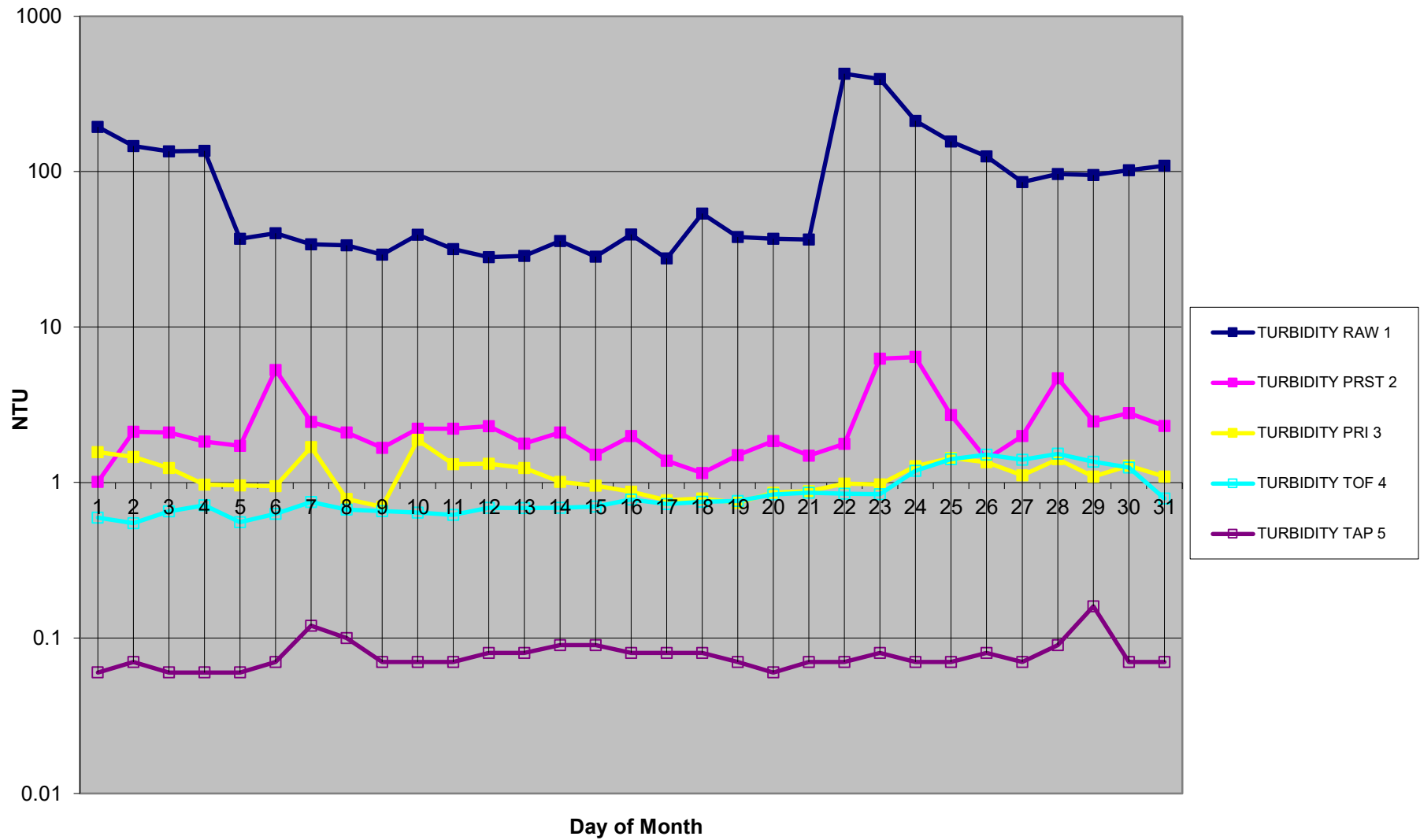


ALLIANCE WATER RESOURCES BOONVILLE DIVISION

May 2025

WEATHER & RIVER CONDITIONS						
1. River Stage:	Average:	7.97	Maximum:	11.93	Minimum:	5.9
4. Precipitation:		2.24	liquid inches			
PUMPING						
1. Million Gallons Pumped From River:	31.389		Average /day:		1.01	
2. Million Gallons To Customers:	30.19		Average /day:		1.08	
3. Hours #1 River Pump Operated:	137.5		Average /day:		6.25	
4. Hours #2 River Pump Operated:	56.75		Average /day:		6.31	
5. Total Hours River Pumps Operated:	194.25		Average /day:		12.56	
6. Main St. Booster Station Gallons Pumped:	1.663		Average /day:		0.053645161	
FILTRATION						
1. Hours Transfer Pumps Operated:	150.75		Average/day:		4.86	
2. Hours Tower Pump Operated:	0.00		Average/day:		0.00	
3. Filters Washed:	18					
4. Gallons Washwater Used:	0.652					
5. % Treated water used in backwashing:	2.16					
MATERIALS PRECIPITATED DURING TREATMENT (IN TONS)						
Polymer	4.5235					
Others	0					
Total	4.5235					
Effect Of Materials Precipitated On Missouri River						
Increase In River Water Suspended Solids:	0.0010988782114	mg/L				
LABORATORY ANALYSIS						
TESTS	RAW	PRESET	PRIMARY	FILTERS	BOF	TAP
Temperature	X	X	X	X	X	20 ° C
Fluoride (ppm)	X	X	X	0.45	X	0.50
Free Cl ₂ Residual (ppm)	X	X	X	1.34	0.17	0.13
Total Cl ₂ Residual (ppm)	X	X	X	1.64	X	1.57
Turbidity (NTU)	97	2.4	1.1	0.86	X	0.08
pH	8.2	8.3	8.3	8.1	X	7.9
Total Alkalinity (ppm)	X	160	X	X	X	156
Total Hardness (ppm)	X	X	X	X	X	214
Calcium Hardness (ppm)	X	X	X	X	X	126
Magnesium Hardness (ppm)	X	X	X	X	X	88
Total Iron (ppm)	0.01	X	X	X	X	0.00
Manganese (ppm)	0.02	X	X	0.05	X	0.01
Copper (ppm)	X	X	X	X	X	0.00
Total Dissolved Solids (ppm)	X	X	X	X	X	490
Bacteriological Samples Examined:				10		
Bacteriological Samples Positive:				0		
Bact. Samples Below 0.2 ppm Cl ₂ :				0		
Average Free Chlorine in Dist. System at time of Bact. Samples (ppm):				#DIV/0!		
Average Total Chlorine in Dist. System at time of Bact. Samples (ppm):				1.875		
Total # tap turbidity samples taken for month:				189		
Average # of tap turbidity samples taken daily:				6.1		
Total # tap turbidity samples taken for month below 0.3 NTU:				189		
Total # tap turbidity samples taken for month above 1.0 NTU:				0		
Total # tap turbidity samples taken for month above 5.0 NTU:				0		
Average lowest Total Chlorine to distribution system:				1.57		
Duration Total Chlorine fell below 1.0 ppm:				0		

Turbidities



WEATHER CONDITIONS

4. Precipitation: 2.24 liquid inches

FLOW

1. Million Gallons Flowed from City:	Daily Max:	1.06
2. Million Gallons Flowed from City:	Daily Min:	0.370
3. Million Gallons Flowed from City:	Monthly Average:	0.782
4. Million Gallons Flowed from City:	Monthly Total:	24.24

SLUDGE REMOVAL/CHEMICAL USAGE

CHEMICALS	LBS	TONS OF SLUDGE HAULED	
Polymer	58		
		Total:	18.47

LABORATORY ANALYSIS

TESTS	INFLUENT	EFFLUENT	CHANNEL 1	CHANNEL 2	CHANNEL 3	DIGESTER
Temperature	X	X	18.9	18.96	19.13	21.30
BOD (Week)	X	4.20	X	X	X	X
BOD(MONTH)	134	3.03	X	X	X	X
BOD Percentage Removal	X	98%	X	X	X	X
PH (Max)	7.58	7.70	X	X	X	X
PH (Min)	7.20	7.24	X	X	X	6.30
Total Suspended Solids (TSS)(wk)	X	5.00	X	X	X	X
Total Suspended Solids (TSS)(MTH)	202.00	2.75	X	X	X	X
Total Suspended Solids % Removal	X	99%	X	X	X	X
Ammonia (Monthly)	23.80	0.05	X	X	X	X
Ammonia (Daily)	X	0.14	X	X	X	X
Ecoli	X	178.20	X	X	X	X
Phosphorus	4.84	0.94	X	X	X	X
Total Kjeldahl Nitrogen (TKN)	30.10	1.39	X	X	X	X
Nitrite+Nitrate (N+N)	0.219	6.80	X	X	X	X
Dissolved Oxygen (DO)	X	X	1.28	2.19	2.12	2.03

REQUIREMENTS FOR EFFLUENT

Total Flow Measured: Monitoring Required for Daily Max and Monthly Average

BOD: Weekly Avg 45 and Monthly Avg 30 mg/L

TSS: Weekly Avg 45 and Monthly Avg 30 mg/L

N+N: Monitoring Required

Phosphorus: Monitoring Required

TKN: Monitoring Required

PH: Min- 6.5 Max - 9.0 SU

BOD: Percent removal Monthly Avg 85%

TSS: Percent removal Monthly Avg 85%

Ammonia: Daily Max- 12.1 and Monthly Avg 3.1 mg/L

Public Works Monthly Report
May 2025

WWTP:

Total flow processed - 25,700,000 gals

Average daily flow - 829,000 gals

Sludge disposed – 137.85 Tons

- Loves Lift station replaced a volt monitor that went bad due to an electrical surge during the storm.
- Belt Press pump maintenance; drained sludge line and checked ball bearings and gears replaced grease and packing put back together.
- Water leak on Bar screen water line; repaired line added insulation and caulking around pipe to keep from freezing.

WTP:

Plant Influent from River: 29,977,000 gals

Plant Effluent to System: 28,771,000 gals

- Replaced batteries in the Generator at the High service pump building as the generator would not start and batteries were found to be the cause.
- Cleaned screens on Aerator and turned on Aerator for the spring startup

Water Distribution / Sewer Collection:

New water service at Boone Point

Vactored out Fire Station pit

Replaced fire hydrant at 7th Street & Sycamore Street

Fixed sewer backups at 1117 6th Street, QT and 300 E Spring Street

Installed 48 new meters

Street Department:

Storm Drain repair on Main Street

Concrete repair for Water Department Street Cuts

Painted Streets

Patch potholes

Street Sweeping

Picked up yard waste

Central Garage:

Vehicles serviced and inspected – 6

Vehicle and equipment repairs – 12

Weather:

Average Temperature –64°

High Temperature – 85° May 15th & 16th, 2025

Low Temperature – 45° May 5th, 2025

Total Rain – 2.13”

Maximum Rain – 0.95” May 20th, 2025