



City Of **BOONVILLE**

*City of Boonville*

**February 2, 2026**

**7:00 PM**

**City Council Chambers**

**525 E. Spring Street**

**Boonville MO 65233**

Meeting Live streamed <https://www.youtube.com/user/cityofboonvillemo> & Channel 3 with Suddenlink Cable TV

- I. Call to order – Pledge and Prayer**
- II. Roll Call**
- III. Hearing of Citizens' Comments**
- IV. Approval of Minutes**
  - A. January 20 Council Minutes
- V. Consent Items**
  - A. Consider Pay App No. 4 in the amount of \$89,728.19 to C.L. Richardson Construction for Water and Sewer Improvements 2025
  - B. Consider Change Order No. 3 in the amount of \$0.00 to CL Richardson Construction for Water and Sewer Improvements 2025.
- VI. Presentation of Accounts and Claims**
- VII. Unfinished Business**
  - A. Second Reading of Bill No. 2026-002 Approving a final site plan for 2150 Main Street, Walmart Addition
- VIII. New Business**
  - A. Consider Resolution R2026-02 Authorizing and Approving an Agreement with Cooper County Tax Collector for Tax Collection
  - B. Consider Resolution R2026-03 Authorizing and Approving an Agreement with the Cooper County Clerk for Tax Collection
- IX. Reports of Standing Committees**
- X. Reports of City Officials**
  - A. Mayor
  - B. City Administrator
  - C. City Clerk

D. City Counselor

E. Economic Developer

XI. **Miscellaneous**

XII. **Adjourn**

**NOTICE:** The City of Boonville will comply with the Americans with Disabilities Act (ADA). Individuals who require an accommodation due to disability to attend this meeting should contact our office at (660) 882-2332 or Relay Missouri, 1-800-735-2966 TTY at least 48 hours in advance.



City Of est. 1839  
**BOONVILLE**

*City of Boonville*

**January 20, 2026**

**7:00 PM**

**City Council Chambers**

**525 E. Spring Street**

**Boonville MO 65233**

**I. Call to order – Pledge and Prayer**

**A. Drew Davis**

The Boonville City Council met in Regular Session on January 20, 2025, at 7:00 p.m. in the Council Chambers located at 525 East Spring Street, Boonville, Missouri. The following officers were present. Randy Ayers, Sergeant at Arms; Kate Fjell, City Administrator; Ned Beach, Mayor; Amber Davis, City Clerk; and Brad Wooldridge, City Counselor. The meeting was called to order. Drew Davis led the prayer after the Pledge of Allegiance.

**II. Roll Call**

The following council representatives were present: Barry Elbert, Whitney Venable, Drew Davis, Tanner Bechtel, Steve Young, Susan Meadows, Andrew Cowherd, and Sy Harvell.

**III. Hearing of Citizens' Comments**

- Mike Watts- 50-year graduating class time capsule

Mike Watts, John Warren, and Vernon Sharp appeared before the council and stated that the classes of 1976 and 2026 are preparing to bury a time capsule on the courthouse lawn.

**IV. Approval of Minutes**

**A. January 5th Council Minutes**

The minutes stand as submitted

**V. Consent Items**

- A. Consider Pay App No. 9 in the amount of \$24,073.00 to Hydrovac of Missouri for the Lead Line Survey Inventory**

Mr. Venable moved, and Mr. Cowherd seconded the motion to approve the consent item. Roll call was taken. Ayes: Elbert, Venable, Davis, Bechtel, Young, Meadows, Cowherd, and

Harvell. Absent: None  
Opposed: None. Motion Carried.

**VI. Presentation of Accounts and Claims**

**A. Appropriations**

Ms. Davis read the ordinance appropriating money in its entirety and a second time by title only, since a copy of the ordinance had been made available prior to the meeting. Mr. Venable moved, and Mr. Davis seconded the motion to approve the ordinance appropriating money. Roll call was taken. Ayes: Elbert, Venable, Davis, Bechtel, Young, Meadows, Cowherd, and Harvell. Absent: None  
Opposed: None. Motion Carried.

**VII. Unfinished Business**

- A. Second Reading of Bill No. 2026-01 Amending Chapter 20, Streets and Sidewalks (Filling and Surfacing) and Appendix G.**

**VIII. New Business**

- A. Consider Resolution No. 2026-001 Authorizing a Mutual Aid Agreement With Boonville Fire Department and Cooper County Fire Protection District.**

Ms. Meadows moved, and Mr. Cowherd seconded the motion to approve the resolution. Roll call was taken. Ayes: Elbert, Venable, Davis, Bechtel, Young, Meadows, Cowherd, and Harvell. Absent: None. Opposed: None. Motion Carried.

- B. First Reading of Bill No. 2026-002 Approving a final site plan for 2150 Main Street, Walmart Addition**

Ms. Davis read, by title only, a copy of the bill

**IX. Reports of Standing Committees**

- A. Police Board Meeting (01/12/2026)**

The minutes are in the packet

- B. Planning and Zoning (01/13/2025)**

The minutes are in the packet

**X. Reports of City Officials**

- A. Mayor**

None

- B. City Administrator**

Ms Fjell gave her appreciation to Alliance Water for running our water plant and wastewater plants efficiently.

Ms. Fjell also thanked the city water department staff for their hard work and dedication in working on the water main breaks that had recently happened in the cold weather.

C. City Clerk

None

## **XI. Miscellaneous**

A. Public Works Monthly Report December 2025

## **XII. Adjourn**

With no further discussion, Mr. Young moved, and Mr. Cowherd seconded the motion to adjourn at 7:27 p.m, and the voice vote was unanimous.

**APPLICATION AND CERTIFICATE FOR PAYMENT  
(PAY ESTIMATE)**

Original \_\_\_\_\_ of 6  
Page \_\_\_\_\_ of

**PROJECT: Water and Sewer Improvements 2025**  
\_\_\_\_\_  
**PROJECT NO: 454-314**  
\_\_\_\_\_

**CONTRACTOR: C.L. Richardson Construction**  
**ADDRESS: 15475 US-63 S, Ashland, MO 65010**  
\_\_\_\_\_  
**OWNER: City of Boonville, MO**  
\_\_\_\_\_

**APPLICATION NO:** \_\_\_\_\_ 4  
**APPLICATION DATE:** \_\_\_\_\_ 2-Feb-26  
**PERIOD FROM:** \_\_\_\_\_ 12/20/2025 - 1/16/2026

**ORIGINAL CONTRACT SUM:** \_\_\_\_\_ \$1,710,530.69  
**NET CHANGE BY CHANGE ORDERS:** \_\_\_\_\_ \$0.00  
**CONTRACT SUM TO DATE:** \_\_\_\_\_ \$1,710,530.69  
**TOTAL COMPLETED & STORED TO DATE:** \_\_\_\_\_ \$411,754.36  
**RETAINAGE 10%:** \_\_\_\_\_ \$41,175.44  
**TOTAL EARNED LESS RETAINAGE:** \_\_\_\_\_ \$370,578.92  
**LESS PREVIOUS CERTIFICATES OF PAYMENT:** \_\_\_\_\_ \$280,850.73  
**CURRENT PAYMENT DUE:** \_\_\_\_\_ \$89,728.19  
**CONTRACT TIME LIMIT DATE:** \_\_\_\_\_

ORDER NO.	DATE APPROVED	ADDITIONS	DEDUCTIONS
1	11/17/2025	\$0.00	
2	12/1/2025	\$0.00	
TOTALS		\$0.00	\$0.00

**NET CHANGE BY CHANGE ORDERS:** \_\_\_\_\_ \$0.00

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

In accordance with the Contract Documents, based on site observations and the data comprising this application, the Engineer certifies to the Owner that to the best of the Engineer's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED OF \$ 89,728.19  
(Attach explanation if amount certified differs from the amount applied for. Initial all figures on this Application and on the Continuation Sheet that are changed to conform to the amount certified.)

**CONTRACTOR:**  
BY: David B Richardson  
DATE: 1-22-2026

**OWNER:**  
BY: \_\_\_\_\_

**ENGINEER:**  
BY: [Signature]



**MECO ENGINEERING COMPANY, INC.**  
ENGINEERS \* SURVEYORS

2701 INDUSTRIAL DRIVE  
JEFFERSON CITY, MO 65109

(573)893-5558

Pay Estimate No.4

**Base Bid**

Item No.	Description	Contract Quantity	Unit	Unit Price	Total	In Place Prev. Pay App	Installed This Period	\$ Installed This Pay App	Total in Place	Left to Finish	Unit
1	Mobilization	1	LS	\$ 29,152.10	\$ 29,152.10	1	0	\$0.00	\$29,152.10	0	LS
2	Traffic Control	1	LS	\$ 7,480.00	\$ 7,480.00	0.5	0	\$0.00	\$3,740.00	0.5	LS
3	Remove Existing Fire Hydrant Assembly (Salvage to City) (CO#2)	6	EA	\$ 926.42	\$ 5,558.52	1	3	\$2,779.26	\$3,705.68	2	EA
4	Fire Hydrant Assembly	8	EA	\$ 6,828.05	\$ 54,624.40	5	1	\$6,828.05	\$40,968.30	2	EA
5	6" Class 200 PVC Water Main	173	LF	\$ 31.23	\$ 5,402.79	92	26	\$811.98	\$3,685.14	55	LF
6	8" Class 200 PVC Water Main	3,491	LF	\$ 42.12	\$ 147,040.92	1407	422	\$17,774.64	\$77,037.48	1,662	LF
7	8" Gate Valve with Valve Box	2	EA	\$ 5,024.85	\$ 10,049.70	0	0	\$0.00	\$0.00	2	EA
8	6" Tapping Tee and Valve with Valve Box (CO #1)	5	EA	\$ 5,568.89	\$ 27,844.45	2	0	\$0.00	\$11,137.78	3	EA
9	8" Tapping Tee and Valve with Valve Box	3	EA	\$ 4,872.39	\$ 14,617.17	1	1	\$4,872.39	\$9,744.78	1	EA
10	Full Depth Granular Fill (Water Main Lines) (CO #1)	3,690	LF	\$ 20.13	\$ 74,279.70	1479	448	\$9,018.24	\$38,790.51	1,763	LF
11	Full Depth Granular Fill (Water Service Lines)	969	LF	\$ 8.62	\$ 8,352.78	163	294	\$2,534.28	\$3,939.34	512	LF
12	Water Service Line	73	EA	\$ 2,072.12	\$ 151,264.76	13	24	\$49,730.88	\$76,668.44	36	EA
13	1" Saddle and Corp. Stop w/ Curb Box	4	EA	\$ 365.62	\$ 1,462.48	0	4	\$1,462.48	\$1,462.48	0	EA
14	2" Saddle and Corp. Stop w/ Curb Box (CO#1)	2	EA	\$ 1,047.09	\$ 2,094.18	1	1	\$1,047.09	\$2,094.18	0	EA
15	Water: #12 AWG Solid Copper Clad Steel Locate Wire w/ 0.030" HDPE Blue Insulation (CO#1)	3,669	LF	\$ 0.43	\$ 1,577.67	1524	1101	\$473.43	\$1,128.75	1,044	LF
16	6" Cap on Existing Water Line	8	EA	\$ 1,250.86	\$ 10,006.88	2	0	\$0.00	\$2,501.72	6	EA
17	8" Cap on Existing Water Line	2	EA	\$ 1,706.18	\$ 3,412.36	0	2	\$3,412.36	\$3,412.36	0	EA
18	Full Depth Granular Backfill at Sewer Manholes	14	EA	\$ 554.46	\$ 7,762.44	4	0	\$0.00	\$2,217.84	10	EA
19	Full Depth Granular Backfill at Sewer Mains	2,433	LF	\$ 78.26	\$ 190,406.58	368	0	\$0.00	\$28,799.68	2,065	LF
20	Full Depth Granular Backfill at Sewer Service Lines	458	LF	\$ 48.42	\$ 22,176.36	0	0	\$0.00	\$0.00	458	LF
21	8" PVC SDR 35 Sewer Pipe 0'-6' Deep	92	LF	\$ 37.20	\$ 3,422.40	36	0	\$0.00	\$1,339.20	56	LF
22	8" PVC SDR 35 Sewer Pipe 6'-8' Deep	1,460	LF	\$ 33.48	\$ 48,880.80	153	0	\$0.00	\$5,122.44	1,307	LF
23	8" PVC SDR 35 Sewer Pipe 8'-10' Deep	711	LF	\$ 33.54	\$ 23,846.94	119	0	\$0.00	\$3,991.26	592	LF
24	8" PVC SDR 35 Sewer Pipe 10'-12' Deep	212	LF	\$ 51.57	\$ 10,932.84	41	0	\$0.00	\$2,114.37	171	LF
25	8" PVC SDR 35 Sewer Pipe 12'-14' Deep	19	LF	\$ 75.50	\$ 1,434.50	19	0	\$0.00	\$1,434.50	0	LF
26	48" Std. Manhole w/ Frame and Lid (0'-6' Depth)	15	EA	\$ 5,221.73	\$ 78,325.95	4	0	\$0.00	\$20,886.92	11	EA
27	48" Std. Manhole Additional Depth	37.4	VLF	\$ 602.67	\$ 22,539.86	15.1	0	\$0.00	\$9,100.32	22.3	VLF
28	Abandon Existing Manhole	5	EA	\$ 885.91	\$ 4,429.55	3	0	\$0.00	\$2,657.73	2	EA
29	Polyurea Liner Applied to Manholes	28.8	VLF	\$ 513.96	\$ 14,802.05	0	0	\$0.00	\$0.00	28.8	VLF
30	Sewer Service Lines	57	EA	\$ 624.94	\$ 35,621.58	0	0	\$0.00	\$0.00	57	EA
31	Remove Improvements (Concrete)	253	SY	\$ 16.89	\$ 4,273.17	0	0	\$0.00	\$0.00	253	SY
32	Subgrade Compaction	427	SY	\$ 2.92	\$ 1,246.84	0	0	\$0.00	\$0.00	427	SY
33	4" Type 5 Aggregate	152	SY	\$ 15.04	\$ 2,286.08	0	0	\$0.00	\$0.00	152	SY
34	4" Concrete Sidewalk	68	SY	\$ 162.00	\$ 11,016.00	0	0	\$0.00	\$0.00	68	SY
35	30" Type A Curb and Gutter Including MoDOT Type 5 Aggregate Base	268	LF	\$ 106.04	\$ 28,418.72	0	0	\$0.00	\$0.00	268	LF
36	18" Roll Back Curb and Gutter Including MoDOT Type 5 Aggregate Base	147	LF	\$ 91.45	\$ 13,443.15	0	0	\$0.00	\$0.00	147	LF
37	Fertilizing, Seeding and Mulching	1	LS	\$ 1,194.33	\$ 1,194.33	0	0	\$0.00	\$0.00	1	LS
38	Adjust Utilities	15	EA	\$ 237.11	\$ 3,556.65	0	0	\$0.00	\$0.00	15	EA
39	Raise Manhole Lid	20	EA	\$ 725.72	\$ 14,514.40	0	0	\$0.00	\$0.00	20	EA
40	Remove Improvements	174	SY	\$ 15.60	\$ 2,714.40	0	0	\$0.00	\$0.00	174	SY

Pay Estimate No. 4 Continued

Item No.	Description	Contract Quantity	Unit	Unit Price	Total	In Place Prev. Pay App	Installed This Period	\$ Installed This Pay App	Total in Place	Left to Finish	Unit
41	Remove Unsuitable Materials	45	CY	\$ 6.24	\$ 280.80	0	0	\$0.00	\$0.00	45	CY
42	Rock Backfill in Unsuitable Material Areas	45	CY	\$ 39.93	\$ 1,796.85	0	0	\$0.00	\$0.00	45	CY
43	Geotextile Separation Fabric	238	SY	\$ 2.40	\$ 571.20	0	0	\$0.00	\$0.00	238	SY
44	6" Type 5 Aggregate	174	SY	\$ 67.37	\$ 11,722.38	0	0	\$0.00	\$0.00	174	SY
45	Tack Coat	467	GAL	\$ 8.80	\$ 4,109.60	0	0	\$0.00	\$0.00	467	GAL
46	3" Plant Mix Bituminous Black Base	174	SY	\$ 33.41	\$ 5,813.34	0	0	\$0.00	\$0.00	174	SY
47	8" Thk PCC Pavement	84	SY	\$ 145.20	\$ 12,196.80	0	0	\$0.00	\$0.00	84	SY
48	Mill and 3" Black Base	2,820	SY	\$ 43.14	\$ 121,654.80	0	0	\$0.00	\$0.00	2,820	SY
49	2" BP-1 Overlay	9,337	SY	\$ 12.82	\$ 119,700.34	0	0	\$0.00	\$0.00	9,337	SY
50	2" Edge Mill w/ Butt Joint	1,918	SY	\$ 17.40	\$ 33,373.20	0	0	\$0.00	\$0.00	1,918	SY
51	Gravel Approach	29	EA	\$ 575.48	\$ 16,688.92	0	0	\$0.00	\$0.00	29	EA
52	Contingency (CO #2)	1	LS	\$ 69,208.61	\$ 69,208.61	0	0	\$0.00	\$0.00	1	LS
74	Locating Main at Reams & Hickman (CO #1)	1	LS	\$ 5,676.00	\$ 5,676.00	1	0	\$0.00	\$5,676.00	0	LS
75	4" Tapping Tee and Valve with Valve Box (CO #1)	1	EA	\$ 5,538.41	\$ 5,538.41	1	0	\$0.00	\$5,538.41	0	EA
76	2" Blue Polyethylene Plastic Tubing (CO#1)	25	LF	\$ 48.48	\$ 1,212.00	25	0	\$0.00	\$1,212.00	0	LF
77	2" Live Tap w/ Fittings (CO#1)	1	EA	\$ 3,516.00	\$ 3,516.00	1	0	\$0.00	\$3,516.00	0	EA
78	Onsite Coring of Manhole less than 1' (CO#2)	1	EA	\$ 400.00	\$ 400.00	1	0	\$0.00	\$400.00	0	EA
79	Onsite Coring of Manhole 3.5' (CO#2)	1	EA	\$ 1,000.00	\$ 1,000.00	1	0	\$0.00	\$1,000.00	0	EA
80	Additional Labor Resetting Manhole F4-28 (CO#2)	1	LS	\$ 7,006.50	\$ 7,006.50	1	0	\$0.00	\$7,006.50	0	LS
81	MS Plug Fast-Setting Hydraulic Cement (CO#2)	2	EA	\$ 100.00	\$ 200.00	1	0	\$0.00	\$100.00	1	EA
82	6" PVC SDR 35 Sewer Pipe (CO#2)	5	LF	\$ 94.43	\$ 472.15	5	0	\$0.00	\$472.15	0	LF
					Base Bid Total	\$ 1,523,604.35		\$100,745.08	\$411,754.36		

Alternate No. 1

Item No.	Description	Contract Quantity	Unit	Unit Price	Total	In Place Prev. Pay App	Installed This Period	\$ Installed This Pay App	Total in Place	Left to Finish	Unit
53	Mobilization	1	LS	\$ 6,051.05	\$ 6,051.05	0	0	\$0.00	\$0.00	1	LS
54	Traffic Control	1	LS	\$ 7,480.00	\$ 7,480.00	0	0	\$0.00	\$0.00	1	LS
55	Full Depth Granular Backfill at Sewer Mains	86	LF	\$ 21.49	\$ 1,848.14	0	0	\$0.00	\$0.00	86	LF
56	8" PVC SDR 26 Sewer Pipe 0'-6' Deep	32	LF	\$ 51.73	\$ 1,655.36	0	0	\$0.00	\$0.00	32	LF
57	8" PVC SDR 26 Sewer Pipe 6'-8' Deep	140	LF	\$ 38.45	\$ 5,383.00	0	0	\$0.00	\$0.00	140	LF
58	8" PVC SDR 26 Sewer Pipe 8'-10' Deep	293	LF	\$ 37.34	\$ 10,940.62	0	0	\$0.00	\$0.00	293	LF
59	8" PVC SDR 26 Sewer Pipe 10'-12' Deep	392	LF	\$ 52.48	\$ 20,572.16	0	0	\$0.00	\$0.00	392	LF
60	8" PVC SDR 26 Sewer Pipe 12'-14' Deep	106	LF	\$ 54.89	\$ 5,818.34	0	0	\$0.00	\$0.00	106	LF
61	8" PVC Restrained Joint Pipe 0'-6' Deep	66	LF	\$ 58.74	\$ 3,876.84	0	0	\$0.00	\$0.00	66	LF
62	8" PVC Restrained Joint Pipe 6'-8' Deep	17	LF	\$ 81.76	\$ 1,389.92	0	0	\$0.00	\$0.00	17	LF
63	8" PVC Restrained Joint Pipe 8'-10' Deep	27	LF	\$ 69.75	\$ 1,883.25	0	0	\$0.00	\$0.00	27	LF
64	8" PVC Restrained Joint Pipe 10'-12' Deep	33	LF	\$ 81.10	\$ 2,676.30	0	0	\$0.00	\$0.00	33	LF
65	14" Steel Casing Pipe	123	LF	\$ 171.39	\$ 21,080.97	0	0	\$0.00	\$0.00	123	LF
66	48" Std. Manhole w/ Frame and Lid (0'-6' Depth)	9	EA	\$ 5,221.83	\$ 46,996.47	0	0	\$0.00	\$0.00	9	EA
67	48" Std. Manhole Additional Depth	35.2	VLF	\$ 598.82	\$ 21,078.46	0	0	\$0.00	\$0.00	35.2	VLF
68	4" Concrete Sidewalk Including MoDOT Type 5 Aggregate Base	4	SY	\$ 276.80	\$ 1,107.20	0	0	\$0.00	\$0.00	4	SY
69	6" Concrete Replace Concrete Flume	19	LF	\$ 317.00	\$ 6,023.00	0	0	\$0.00	\$0.00	19	LF

Pay Estimate No. 4 Continued

Item No.	Description	Contract Quantity	Unit	Unit Price	Total	In Place Prev. Pay App	Installed This Period	\$ Installed This Pay App	Total in Place	Left to Finish	Unit
70	8" Concrete Pavement Replace Including MoDOT Type 5 Aggregate Base	40	LF	\$ 236.60	\$ 9,464.00	0	0	\$0.00	\$0.00	40	LF
71	Asphalt Pavement Replace	19	LF	\$ 204.60	\$ 3,887.40	0	0	\$0.00	\$0.00	19	LF
72	30" Type A Curb and Gutter Including MoDOT Type 5 Aggregate Base	16	LF	\$ 109.13	\$ 1,746.08	0	0	\$0.00	\$0.00	16	LF
73	Fertilizing, Seeding and Mulching	1	LS	\$ 5,967.78	\$ 5,967.78	0	0	\$0.00	\$0.00	1	LS
					Alternate No. 1 Total	\$ 186,926.34		\$0.00	\$0.00		
					<b>Total Contract</b>	<b>\$ 1,710,530.69</b>		<b>\$ 100,745.08</b>	<b>\$ 411,754.36</b>		

**CONTRACT CHANGE ORDER  
SECTION 00941**

Change Order No. 3  
Project No. 454-314  
Project: Water & Sewer Improvements 2025  
Recommended: MECO Engineering Co., Inc.  
(Engineer)

To: C.L. Richardson Construction Co., Inc.  
(Contractor)

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Original \_ of 6

From: City of Boonville, Missouri  
(Owner)

You are hereby directed to make the following changes:

I. Reason for change and effect on completion time (if any):

Line items 79 & 83 - EX MH E4-30 needed coring and concrete reinforcement to install the new sewer line to MH E4-65.

II. Cost of work affected by this Change Order:

Item No.	Item Description	Bid Amount			Previous Change Orders		This Change Order		Revised Contract
		Quantity/Units	Unit Price	Value	C.O. #	Quantity Changed	Increase Qty. Decrease Qty.	Amount Added or Deducted	Quantity/Unit
79	Onsite Coring of Manhole 3.5' Remodel Invert on MH E4-30	EA	\$1,000.00		2	1 EA	1 EA	\$1,000.00	\$2,000.00
83	Sycamore & 4th Street	EA	\$622.80				1 EA	\$622.80	\$622.80
52	Contingency	1 LS	\$90,000.00	\$90,000.00	1 & 2	-\$20,791.39 LS	1 LS	-\$1,622.80	\$67,585.81
<b>Total This Sheet:</b>								\$0.00	

- 1. Original Contract Amount: \$1,710,530.69
- 2. Add or Deduct This Order Totals: \$0.00
- 3. Add or Deduct Previous: \$0.00  
(Line 4 of previous order)
- 4. Total Add or Deduct to Date (2+3): \$0.00
- 5. Revised Contract Amount (1+4): \$1,710,530.69

*R. V. [Signature]* 4/27/26  
Recommended: Engineer - MECO Engineering Company Date

*[Signature]* 1/27/26  
Accepted: Contractor Date

Change Order is subject to all provisions of the Contract Documents and is not in effect unless signed by all parties.

**AN ORDINANCE OF THE CITY OF BOONVILLE, MISSOURI APPROVING THE FINAL SITE PLAN AND PARKING RATIO REDUCTION FOR WALMART, 2150 MAIN STREET, BOONVILLE, COOPER COUNTY, MISSOURI; PROVIDING AN EFFECTIVE DATE THEREFORE AND REPEALING ALL ORDINANCES IN CONFLICT WITH THIS ORDINANCE.**

**WHEREAS,** Walmart is proposing a 3,974 square foot addition to its store in Boonville; and

**WHEREAS,** City staff met and communicated with Walmart engineering representatives to discuss the proposed addition and development plan; and

**WHEREAS,** Walmart’s initial, internal site plan for the original store called for a parking ratio of 5.0 spots/1000 square feet; and,

**WHEREAS,** Walmart’s 3,974 square foot addition will result in a parking ratio of 4.7 spots/1000 square feet; and,

**WHEREAS,** The reduction in the parking ratio is not in direct conflict with the City’s original Development Agreement with Walmart; and,

**WHEREAS,** The final site plan for the store addition and the reduction in parking ratio were considered at the Planning and Zoning Commission meeting on January 12, 2026. The plans include **Exhibit A**, herein incorporated, and attached hereto. The Commission has recommended approval by the Council; and

**WHEREAS,** the City Council has evaluated the site plan for compatibility with the use of abutting sites, the safety and convenience of vehicle and pedestrian traffic and in view of the potential economic benefit to the City of Boonville and finds it to be appropriate to further economic development of the City of Boonville.

**NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BOONVILLE, MISSOURI AS FOLLOWS:**

**SECTION 1:** That the final plan and the reduction in parking ratio, as shown and indicated in **Exhibit A**, attached hereto, and made a part hereof, located at 2150 Main Street in the City of Boonville, Cooper County, Missouri should be and is hereby approved.

**SECTION 2:** This ordinance shall take effect and be in full force from and after its passage; and approval granted herein shall be valid for a period not to exceed 12 months thereafter.

**READ FOR THE FIRST TIME THIS 20<sup>nd</sup> DAY OF JANUARY 2026.**

**READ FOR THE SECOND TIME AND PASSED THIS 2<sup>ND</sup> DAY OF FEBRUARY, 2026, AFTER A COPY OF THIS ORDINANCE AND REFERENCED PLANS HAVE BEEN MADE AVAILABLE FOR PUBLIC INSPECTION PRIOR TO ITS FIRST AND SECOND READING.**

---

**PRESIDENT OF THE COUNCIL**

**APPROVED THIS 2<sup>ND</sup> DAY OF FEBRUARY, 2026.**

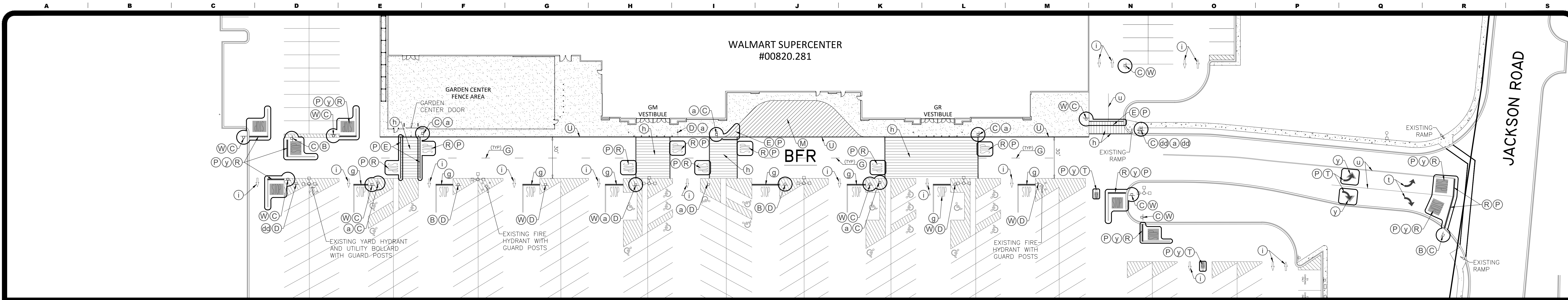
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**Ned Beach, Mayor**

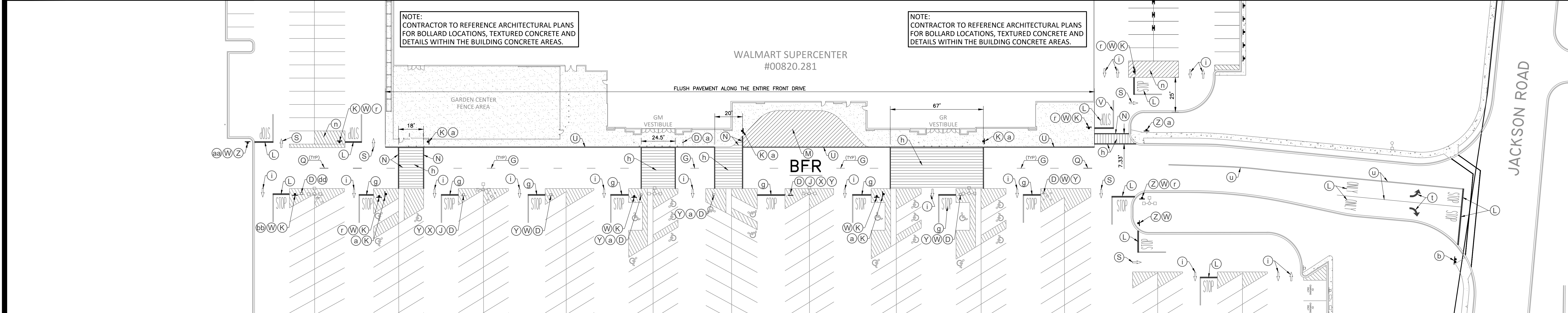
**ATTEST:**

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**Amber Davis, City Clerk**



## DEMOLITION PLAN

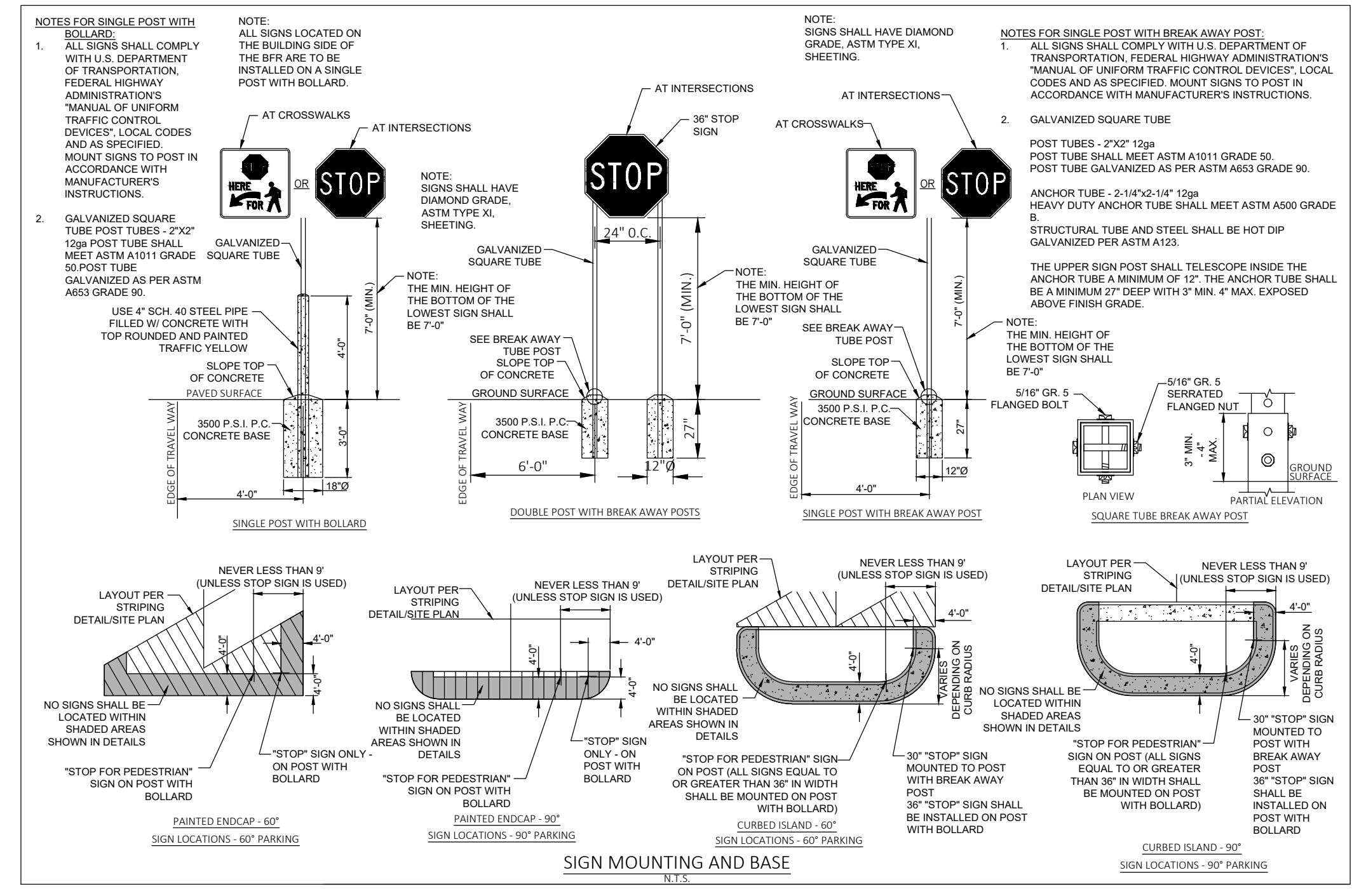


## SITE CONSTRUCTION PLAN

### SITE AND DEMOLITION LEGEND

- REFERENCE DETAIL SHEET
- (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
  - (B) EXISTING STOP SIGN TO BE REMOVED.
  - (C) EXISTING SIGN POST AND BASE TO BE REMOVED.
  - (D) EXISTING SIGN POST AND BASE TO REMAIN.
  - (E) EXISTING/FADED CROSSWALK STRIPING, ANGLED STRIPING, AND/OR FIRE LANE STRIPE TO BE REMOVED.
  - (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
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  - (K) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
  - (L) NEW "STOP" OR "ONLY" TEXT AND/OR STOP BAR WITH 4" WIDE DOUBLE SOLID YELLOW STRIPE.
  - (M) EXISTING 4" WIDE PAINTED YELLOW STRIPES AT 45° TO REMAIN / BE REFRESHED.
  - (N) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND 13'-0" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS. ENTIRE CROSSWALK SHALL BE RE-STRIPED, INCLUDING "NO PARKING FIRELANE" AND/OR RED STRIPE TO MATCH EXISTING.
  - (P) LIMITS OF SEAL COAT: ASPHALT PAVEMENT - APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT. CONCRETE PAVEMENT - REMOVE STRIPING AS SHOWN, BUT DO NOT APPLY SEAL COAT.
  - (Q) NEW 4" WIDE PAINTED YELLOW STRIPES - 6" LONG WITH 18" GAPS.
  - (R) EXISTING/FADED STOP BAR / STOP TEXT PAVEMENT MARKINGS / DOUBLE YELLOW AND/OR SINGLE WHITE STRIPE AND/OR ANY VISIBLE SEAL COAT TO BE REMOVED.
  - (S) NEW OPEN AND/OR SOLID ARROW PAVEMENT MARKINGS.
  - (T) EXISTING/FADED ARROW PAVEMENT MARKINGS AND/OR ANY VISIBLE SEAL COAT TO BE REMOVED.
  - (U) EXISTING FIRE LANE STRIPING TO REMAIN / BE REFRESHED.
  - (V) NEW 4" WIDE DOUBLE SOLID YELLOW AND/OR SINGLE SOLID WHITE STRIPE AND/OR "NO PARKING FIRELANE" WITH RED STRIPE TO MATCH EXISTING.
  - (W) EXISTING STOP SIGN TO REMAIN / BE REUSED / BE RELOCATED.
  - (X) EXISTING SIGN TO BE RAISED / RELOCATED TO MATCH CURRENT DETAILS / GUIDELINES, AND/OR STRAIGHTEN UP SIGN POST.
  - (Y) EXISTING SIGN POST AND BOLLARD TO BE REPAINTED.
  - (Z) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
  - (1) EXISTING "STOP HERE FOR PEDESTRIANS" SIGN TO REMAIN / BE REUSED / BE RELOCATED.
  - (2) NEW 36"x36" STOP SIGN WITH DOUBLE SIGN MOUNTINGS, BREAK AWAY POSTS, AND BASES.
  - (3) NEW OPD CROSSWALK MARKINGS. SEE DETAIL.
  - (4) NEW SIGN MOUNTING AND BASE WITH BOLLARD WITH BOLLARD COVER.
  - (5) NEW DOUBLE SIGN MOUNTING, BREAK AWAY POSTS, AND BASES.
  - (6) EXISTING STOP PAVEMENT MARKINGS, "STOP", "ONLY" AND/OR "ENTER" TEXT TO BE REVISED / REFRESHED TO MATCH CURRENT DETAILS.
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  - (8) EXISTING OPEN ARROW PAVEMENT MARKING TO BE REVISED / REFRESHED TO MATCH CURRENT DETAILS.
  - (9) EXISTING MISCELLANEOUS TRAFFIC AND/OR INFORMATION SIGN TO REMAIN.
  - (10) NEW 4" WIDE PAINTED YELLOW ISLAND WITH 45° STRIPES AT 5'-0" O.C.
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  - (12) EXISTING "DO NOT ENTER" SIGN TO REMAIN / BE REUSED / BE RELOCATED.
  - (13) NEW CROSS TRAFFIC DOES NOT STOP PLAQUE.
  - (14) EXISTING SOLID ARROW PAVEMENT MARKING TO BE REVISED / REFRESHED TO MATCH CURRENT DETAILS.
  - (15) EXISTING 4" WIDE DOUBLE YELLOW, WHITE AND/OR YELLOW SINGLE STRIPE TO REMAIN / BE REFRESHED.
  - (16) EXISTING FOLIAGE THAT IMPEDES VISIBILITY OF DRIVE, INTERSECTIONS, AND/OR SIGNAGE TO BE TRIMMED / PRUNED.
  - (17) CONTRACTOR TO TRIM / PRUNE FOLIAGE SELECTIVELY. IF EXTREME TRIMMING / PRUNING IS NEEDED CONTACT WALMART CONSTRUCTION MANAGER.
  - (18) EXISTING NO PARKING FIRE LANE SIGN TO REMAIN, REPLACE IF SIGN IS FADED OR DAMAGED.
  - (19) EXISTING SEAL COAT TO BE REMOVED. (SEAL COAT NOT TO BE USED ON CONCRETE PAVEMENT)
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  - (24) EXISTING ORANGE PICKUP SIGN. REFER TO OPD IMPROVEMENT PLANS FOR ADDITIONAL INFORMATION.
  - (25) EXISTING BLUE PICKUP SIGN. REFER TO OPD IMPROVEMENT PLANS FOR ADDITIONAL INFORMATION.

**SIGN SYMBOLS SHOWN ON THIS PLAN ARE FOR GENERAL SITE LOCATION PURPOSES. CONTRACTOR SHALL NOT SCALE OFF THESE PLANS FOR SIGN/STRIPING PLACEMENT. CONTRACTOR SHALL REFER TO DETAILS FOR EXACT SIGN PLACEMENT LOCATIONS. CONTRACTOR SHALL COORDINATE WITH THE CEC AND WALMART PM WHEN CONTRACTOR FEELS SITE CONDITIONS REQUIRE DEVIATING FROM STANDARD SIGN LOCATION DIMENSIONS.**



- NOTES TO CONTRACTOR:**
- REFERENCE SITE CONSTRUCTION PLAN AND DETAILS FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE. CONTRACTOR SHALL NOT SCALE OFF THESE PLANS FOR SIGN/STRIPING PLACEMENT.
  - PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
  - ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFR (BUILDING FRONTAGE ROAD) SHALL BE REMOVED. GRIND OUT ANY DIRECTIONAL ARROWS OR STOP BARS/TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
  - ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.

Three working days prior to the start of any excavation on this site the Contractor shall contact 811 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

# DEMOLITION AND SITE CONSTRUCTION PLAN

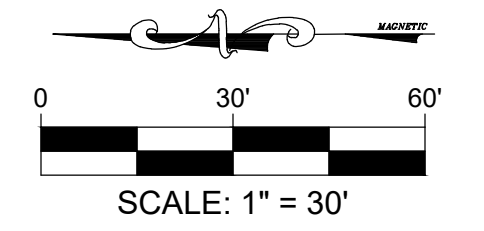
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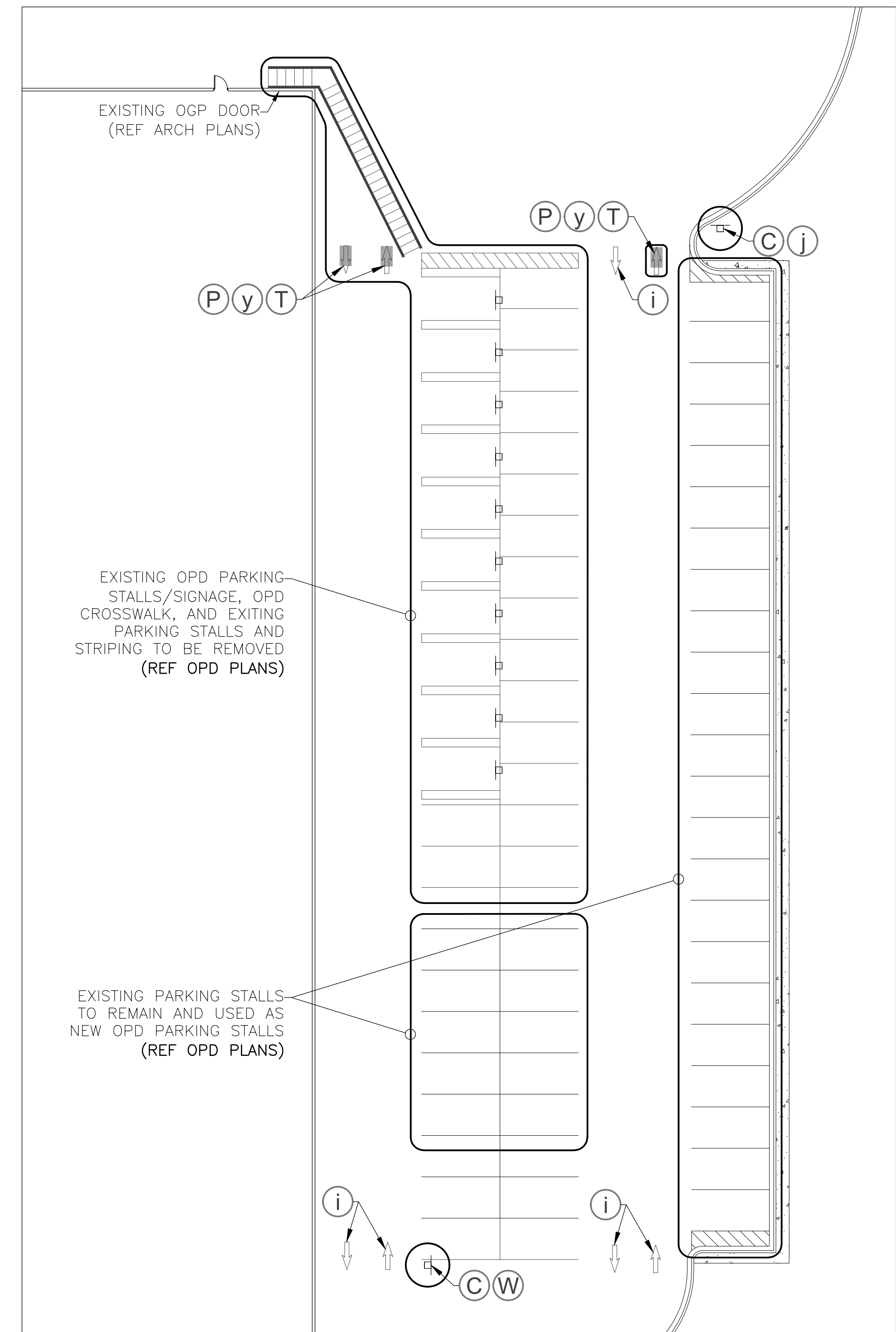
BFA  
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 TELEPHONE: (636) 239-4751  
 bfaeng.com  
 103 ELM STREET  
 WASHINGTON, MISSOURI 63090

Rick G. Rohlfing  
 Registered Professional Engineer for  
 State of Missouri  
 License No. 020202025  
 BFA, Inc. Professional Engineering Corporation #000472

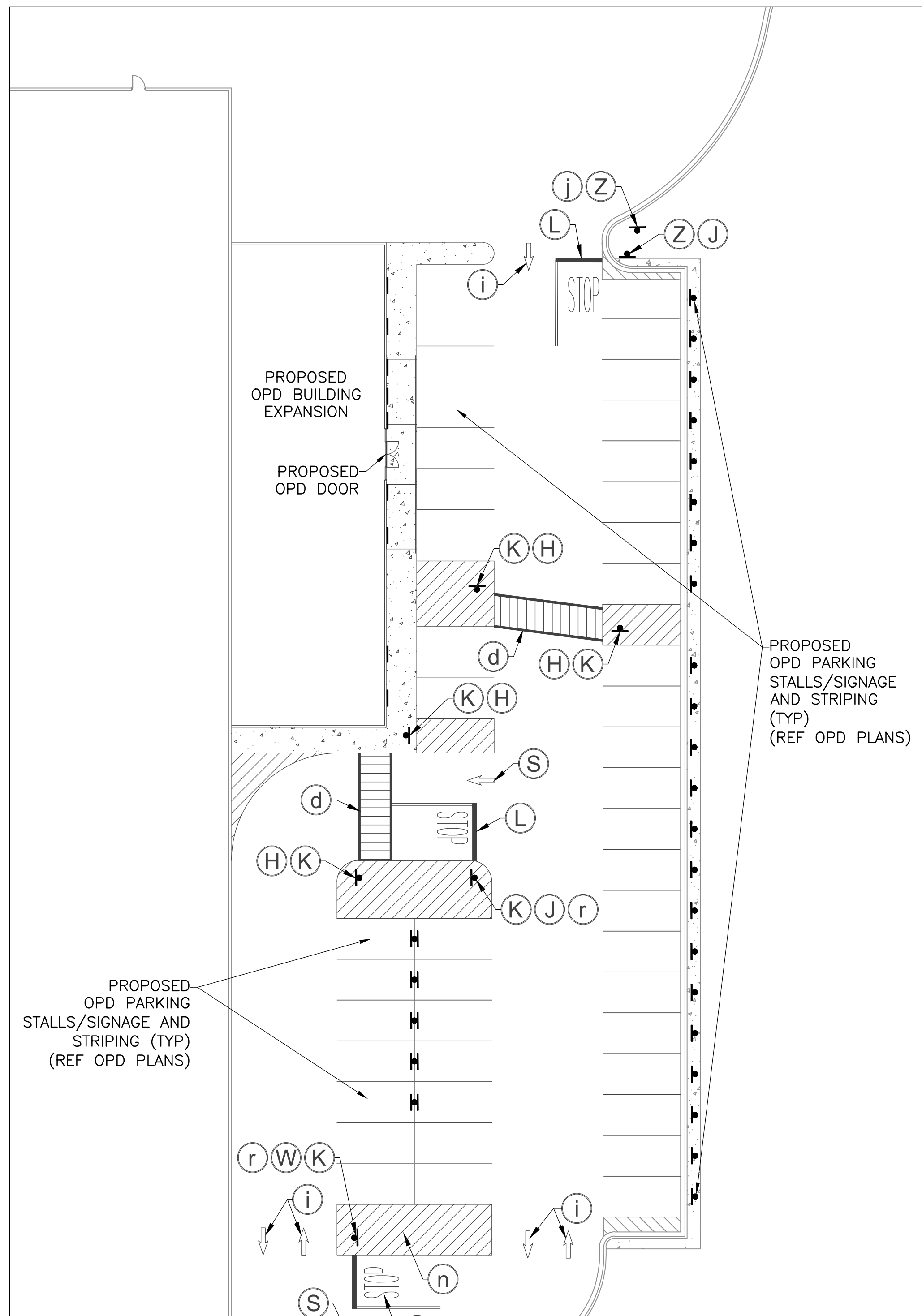
**Walmart #00820.281**  
 2150 Main Street  
 Booneville, Cooper County, Missouri  
 Walmart, Inc. 2608 SE J Street  
 Bentonville, AR 72716

DRAWN: S.A.M.  
 CHECKED: R.G.R.  
 DATE: 09/29/25  
 SCALE: 1" = 30'  
 JOB No.: 8119  
 SHEET NAME:



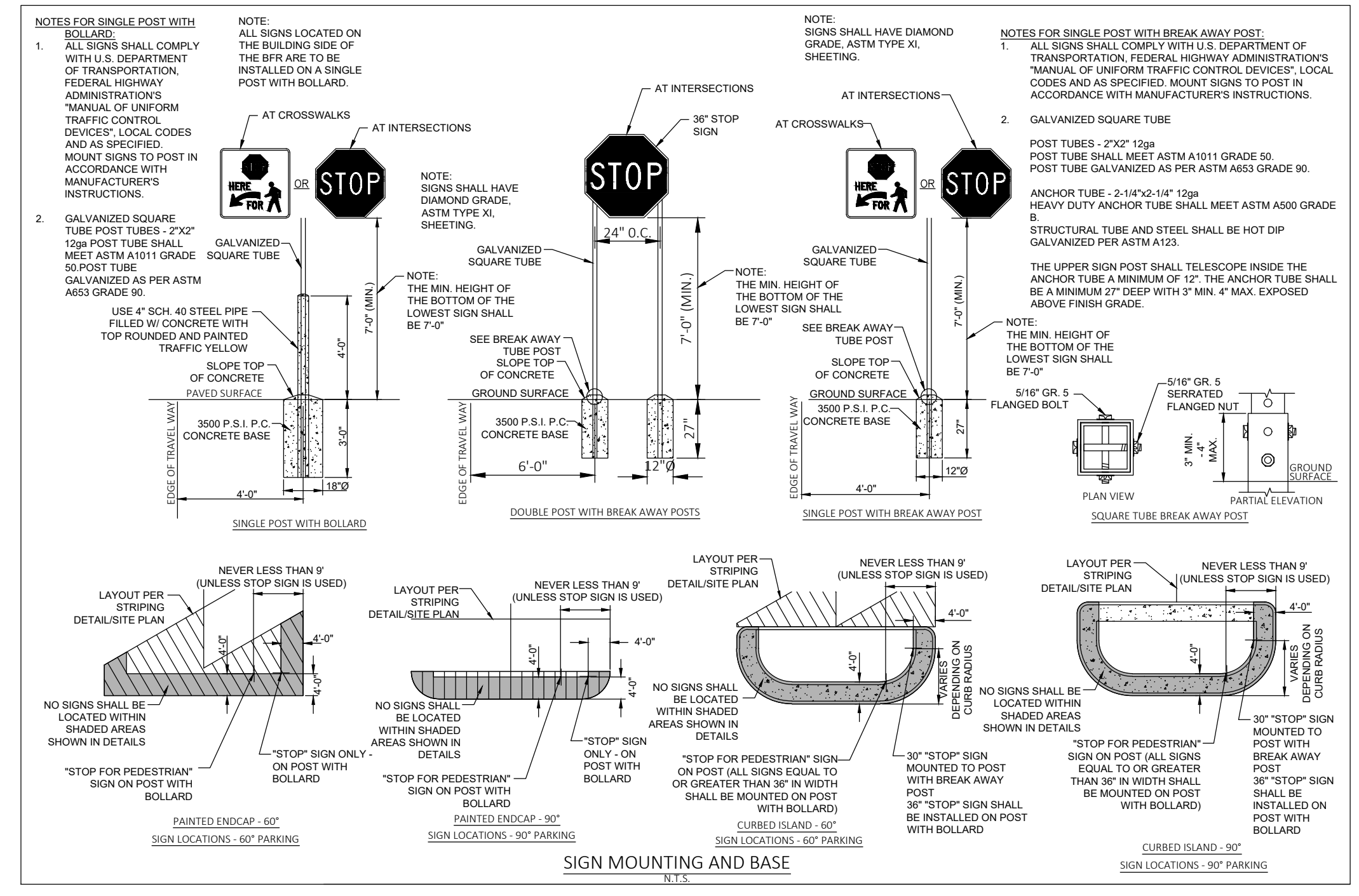


OPD DEMOLITION PLAN



OPD SITE CONSTRUCTION PLAN  
(REFER OPD IMPROVEMENT PLANS FOR ADDITIONAL DIRECTION REGARDING OPD STRIPING, SIGNAGE AND DIMENSIONS)

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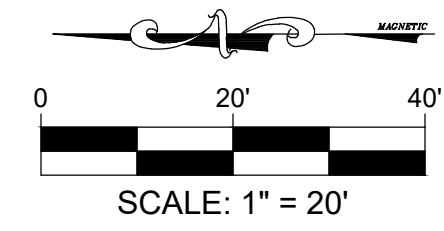
ACC DEMOLITION PLAN



ACC SITE CONSTRUCTION PLAN

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REVISIONS

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TELEPHONE: (636) 239-4751

**BFA**  
Engineering & Surveying

WASHINGTON, MISSOURI 63090

103 ELM STREET

**Bill R. Rags**

Bill R. Rags, P.E. #29409  
Registered Professional Engineer for the State of Missouri  
E-9909

Professional Engineering Corporation #000472

**Walmart** #00820-281

2150 Main Street  
Boonville, Cooper County, Missouri  
Walmart, Inc. 2608 SE J Street  
Bentonville, AR 72716

DRAWN S.A.M.  
CHECKED R.G.R.  
DATE 09/29/25  
SCALE 1"=20'  
JOB No. 8119  
SHEET NAME

**DEMOLITION AND SITE CONSTRUCTION PLAN**

**SECP-2**

SITE DEMOLITION SPECIFICATION

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
1. Demolition of structures, paving, and utilities.
2. Patching and filling voids created as a result of removals or demolition.

1.2 REGULATORY REQUIREMENTS

- A. Compliance with all laws, including Safety Laws, Environmental Laws, Stormwater Laws and Worker Verification Laws as well as requirements found within the Contract Documents and these Specifications, that pertain to Safety Compliance, Environmental Compliance, Stormwater Compliance and Worker Verification Compliance.
B. Notify affected utility companies before starting work and comply with their requirements.
C. Do not close or obstruct public or private roadways, sidewalks, or fire hydrants without appropriate permits or written authorization.
D. If hazardous, contaminated materials or other environmental related conditions are discovered, stop work immediately and notify the Wal-Mart Construction Manager for action to be taken.

1.3 PROJECT CONDITIONS

- A. Conditions existing at time of inspection for bidding purposes will be maintained by Owner as reasonably practical.
B. Unless otherwise indicated in Contract Documents or specified by the Owner, items of salvageable value to Contractor shall be removed from site and structures.

PART 2 - PRODUCTS

2.1 FILL MATERIALS

- A. Fill material shall be aggregate fill materials consisting of stone, gravel, or sand free from debris, trash, frozen materials, roots, and other organic matter.

2.2 CONCRETE

- A. Mix concrete and deliver in accordance with ASTM C 94.
B. Design mix to produce normal weight concrete consisting of Portland cement, aggregate, water reducing admixture, air entraining admixture, and water to produce following:
1. Compressive Strength: 3,500 psi, minimum at 28 days, unless otherwise indicated on the Drawings.
2. Slump Range: 1 to 3-inches at time of placement
3. Air Entrainment: 5 to 8 percent

PART 3 - EXECUTION

3.1 PREPARATION

- A. Provide, erect, and maintain erosion control devices, temporary barriers, and security devices at locations indicated on Construction Drawings.
B. Protect existing landscaping materials, appurtenances, and structures, which are to be demolished.
C. Prevent movement or settlement of adjacent structures.
D. Mark location of utilities.
E. For work on operating Walmart sites, prior to any underground excavation, contractor is expected to obtain current and representative underground utility plans from Walmart for private utilities that are not located by others.
F. Notify adjacent property owners of work that may affect their property, potential noise, utility outages, or other disruptions.

3.2 GENERAL DEMOLITION REQUIREMENTS

- A. Conduct demolition to minimize interference with adjacent structures or pavements to remain.
B. Cease operations immediately if adjacent structures appear to be in danger.
C. Conduct operations with minimum of interference to public or private access.
D. Sprinkle work with water to minimize dust.
E. Comply with governing regulations pertaining to environmental protection.
F. Clean adjacent structures and improvements of dust, dirt, and debris caused by demolition operations.

3.3 DEMOLITION

- A. Demolish site improvements designated to be removed as shown on the drawings.
B. Disconnect and cap or remove utilities to be abandoned as shown on the drawings.
C. Fill or remove piping and appurtenances as shown.
D. Demolish concrete and masonry in small sections.

3.4 PATCHING

- A. Where improvements are removed from paved areas, pavements shall be sawcut in straight lines at the perimeter and patched.
B. Pavement patches shall be paved with minimum 6" concrete, broom finished and flush with adjacent grades.

3.5 FILLING VOIDS

- A. Completely fill below grade areas and voids resulting from demolition or removal of structures, etc., using aggregate fill materials consisting of stone, gravel, or sand free from debris, trash, frozen materials, roots, and other organic matter.
B. Areas to be filled shall be free of standing water, frost, frozen or unsuitable material, trash, and debris prior to fill placement.
C. Place fill materials in lifts not to exceed 6 inches loose measure and compacted to 95 percent of maximum laboratory density per ASTM D698 with moisture content of not less than 1 percent below and not more than 3 percent above optimum moisture content.
D. Grade surface to match adjacent grades and to provide flow of surface drainage after fill placement and compaction.

3.6 DISPOSAL OF DEMOLISHED MATERIALS

- A. Remove from site debris, rubbish, and other materials resulting from demolition operations.
B. No burning of any material, debris, or trash on site or off site will be allowed.
C. Transport materials removed from demolished structures with appropriate vehicles and dispose off-site to areas that are approved for disposal by governing authorities and appropriate property owners.

END OF SECTION

PAVEMENT MARKINGS SPECIFICATION

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
1. Painting and marking of pavements, curbs, and guard posts (bollards).

1.2 REFERENCES

- A. The publications listed below form a part of this specification to the extent referenced.
B. American Association of State Highway and Transportation (AASHTO):
1. AASHTO M247 - Glass Beads Used in Traffic Paints
2. AASHTO M248 - Ready-Mixed White and Yellow Traffic Paints
C. Master Painter's Institute (MPI):
1. MPI 32 - Traffic Marking Paint, Solvent Based.
2. MPI 97 - Traffic Marking Paint, Latex.
D. ASTM International (ASTM):
1. ASTM D4414 - Standard Practice for Measurement of Wet Film Thickness by Notched Gauges.
E. Federal Specifications (FS):
1. FS A-A-2886 - Paint, Traffic, Solvent Based (supersedes FS TT-P-85 and FS TT-P-115, Type I)
2. FS TT-B-1325 - Beads (Glass Spheres) Retro-Reflective
3. FS TT-P-1952 - Paint, Traffic And Airfield Marking, Waterborne

1.3 PROJECT CONDITIONS

- A. Maintain access for vehicular and pedestrian traffic as required for other construction activities.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. Paint shall be waterborne or solvent borne, colors as shown or specified herein.
B. Waterborne Paint: Paints shall conform to FS TT-P-1952 and have MPI 97 approval.
C. Solvent Borne Paint: Paint shall conform to FS A-A-2886 or AASHTO M248 and have MPI 32 approval.
D. Glass Beads: AASHTO M 247, Type 1 or FS TT-B-1325, Type 1, Gradation A.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine the work area and correct conditions detrimental to timely and proper completion of the work.

3.2 PREPARATION

- A. Sweep and clean surface to eliminate loose material and dust.
B. Where existing pavement markings are indicated on Construction Drawings to be removed or would interfere with adhesion of new paint, a motorized abrasive device or soda blasting shall be used to remove the markings.

3.3 CLEANING EXISTING PAVEMENT MARKINGS

- A. Remove existing pavement markings which are in good condition but interfere or conflict with the newly applied marking patterns and as noted on plans.
Deteriorated or obscured markings that are not misleading or confusing or do not interfere with the adhesion of the new marking material do not require removal.

3.4 APPLICATION

- A. Apply two coats of same color of paint as specified below, at manufacturer's recommended rate, without addition of thinner, with maximum of 100 square feet per gallon or as required to provide a minimum wet film thickness of 15 mils and dry film thickness of 7 1/2 mils per coat.
B. Install pavement markings according to manufacturer's recommended procedures for the specified material.
C. Following items shall be painted with colors noted below:
1. Pedestrian Crosswalks: White
2. Exterior Sidewalk Curbs and Guard posts: Yellow
3. Exterior Light Pole Bases: Yellow (unless otherwise noted on Construction Detail).
4. Fire Lanes: Red or per local code.
5. Lane Striping where separating traffic moving in opposite directions: Yellow.
6. Lane Striping where separating traffic moving in the same direction: White.
7. ADA Symbols: Blue or per local code.
8. ADA parking space markings as shown on the drawings.
9. Parking Stall Striping: Yellow, unless otherwise noted on Construction Drawings.
10. Associate Parking Area: White, unless otherwise noted on Construction Drawings.
D. Apply glass beads at pedestrian crosswalk striping and at lane striping and arrows at driveways connecting to public streets.

3.5 FIELD QUALITY CONTROL

- A. Field quality control shall be the responsibility of the Contractor. Field quality control testing and inspection shall be at the discretion of the Contractor as necessary to assure compliance with Contract requirements.

3.6 CLEANING

- A. Waste materials shall be removed at the end of each workday. Upon completion of the work, all containers and debris shall be removed from the site.

END OF SECTION

TRAFFIC SIGNS AND SIGNALS SPECIFICATION

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
1. Traffic control signs.
B. Related Requirements:
1. Section 09900 - Painting. Painting for painted posts where shown on the Drawings.

1.2 REFERENCES

- A. The publications listed below form a part of this specification to the extent referenced.
B. ASTM International (ASTM):
1. ASTM A53 - Pipe, Steel, Black and Hot Dipped, Zinc Coated Welded and Seamless.
2. ASTM C94 - Ready Mix Concrete
3. ASTM D4956 - Retroreflective Sheeting for Traffic Control.
C. US Department of Transportation, Federal Highway Administration:
1. Manual on Uniform Traffic Control Devices (MUTCD).

PART 2 - PRODUCTS

2.1 SIGNS

- A. Conform to US Department of Transportation MUTCD, Sign classification, type, size, and color shall be as shown on the drawings
B. Retroreflectivity: Microprismatic type, diamond grade reflective sheeting conforming to ASTM D 4956, Type XI.

2.2 POSTS

- A. Square Post: Square tubular steel sign post, galvanized, 12 ga, perforated full-length with 7/16 inch holes on four sides.
B. Steel Pipe: ASTM A 53, Type E (electric-resistance welded) or Type S (seamless), Grade B, Schedule 40, size as shown on the Drawings.

2.3 CONCRETE

- A. Mix concrete and deliver in accordance with ASTM C 94.
B. Design mix to produce normal weight concrete consisting of Portland cement, aggregate, water reducing admixture, air entraining admixture, and water to produce following:
1. Compressive Strength: 3,500 psi, minimum at 28 days, unless otherwise indicated on the Drawings.
2. Slump Range: 1 to 3-inches at time of placement
3. Air Entrainment: 5 to 8 percent

PART 3 - EXECUTION

3.1 PREPARATION

- A. Field verify underground utilities prior to sign installation. Primary utilities of concern of shallow depths are lawn sprinkler systems, electric, telephone, fiber optic, cable and gas.

3.2 INSTALLATION

- A. Install signs as shown on the Drawings and in accordance with MUTCD and manufacturer's instructions.
B. Install signs of the type and at locations shown on the Drawings.
C. Install posts of the type as shown on the drawing.
D. Where shown as painted, field paint steel pipe posts in accordance with Section 09900.

END OF SECTION

SEAL COAT SHALL BE APPLIED WHERE EXISTING MARKINGS ARE REMOVED.

SMALL PROJECT SEAL COAT SPECIFICATION:

IN GENERAL:

- CRACK FILLING AND OIL SPOT TREATMENTS ARE NOT REQUIRED PRIOR TO SEAL COAT. OTHER THAN THESE EXCEPTIONS, PREPARE AND CLEAN AREA TO BE SEAL COATED CONSISTENT WITH MANUFACTURER'S INSTRUCTIONS AND SPECIFICATION.

APPROVED MATERIALS:

- 1) STAR PRODUCTS
MICRO-PAVE PRO-BLEND WITH ADDED SAND
SINGLE COAT
2) SEAL MASTER
POLYMER MODIFIED MASTERSEAL WITH ADDED SAND
SINGLE COAT
3) GEM SEAL BLACK DIAMOND XL
WITH ADDED SAND
SINGLE COAT

MATERIALS IDENTIFIED IN SPECIFICATION SECTION 02787 CAN BE USED. COAL TAR BASED SEAL COAT MATERIALS IN ANY FORM ARE PROHIBITED.

Three working days prior to the start of any excavation on this site the Contractor shall contact 811 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

Table with 2 columns: REVISIONS, Description. Includes revision numbers 1 through 4.

BFA Engineering & Surveying logo and contact information.

Professional Engineer seal for Rick G. Rohlfing, P.E. #29409, State of Missouri, License #000472.

Walmart logo and address: 2150 Main Street, Boonville, Cooper County, Missouri. Walmart, Inc. 2608 SE J Street, Bentonville, AR 72716.

Table with 2 columns: DRAWN, CHECKED, DATE, SCALE, NO SCALE, JOB No., SHEET NAME. Includes date 09/29/25 and job number 8119.

SPECIFICATIONS SHEET 1

CSS-1

SECTION 02787 (32 1236) - SEAL COAT  
PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
1. Seal coats using a polymer-modified asphalt emulsion blended with fine aggregate.
- B. Related Requirements:
1. Section 02740 – Asphaltic Concrete Paving.
  2. Section 02765 – Pavement Marking

1.2 REFERENCES

- A. The publications listed below form a part of this specification to the extent referenced. Publications are referenced within the text by the basic designation only.
- B. ASTM International (ASTM)

1. ASTM C 136 – Method of Sieve Analysis of Fine and Coarse Aggregate
2. ASTM D 217 – Method for Cone Penetration of Lubricating Grease
3. ASTM D 244 – Test Methods for Emulsified Asphalts
4. ASTM D 562 – Method for Consistency of Paints Measuring Krebs Unit (KU) Viscosity Using a Stormer-Type Viscosimeter
5. ASTM D 977 – Emulsified Asphalt
6. ASTM D 2397 – Cationic Emulsified Asphalt
7. ASTM D 2042 – Method for solubility of Asphalt Materials in Trichloroethylene
8. ASTM D 3910 – Practice for Design, Testing, and Construction of Slurry Seal
9. ASTM D 6690 – Joint and Crack Sealants, Hot Applied, for Concrete and Asphalt Pavements

1.3 ADMINISTRATIVE REQUIREMENTS

- A. Pre-installation Meeting: Convene a pre-installation meeting at the site at least two weeks prior to commencing work of this Section. Require attendance of parties directly affecting work of this Section, including, but not limited to, the Owner's representative, CTL's representative and inspector, Contractor, and job foreman.
1. Contact Wal-Mart Construction Manager three weeks prior to pre-installation conference to confirm schedule.
  2. Record discussions of meeting and decisions and agreements reached, and furnish copy of record to each party attending. Review foreseeable methods and procedures related to paving work, including the following:
    - a. Review preparation and installation procedures and coordinating and scheduling required with related work.
    - b. Review proposed sources of materials.
    - c. Tour, inspect, and discuss condition of existing pavement and other preparatory work such as patching, crack sealing, and oil spot priming/repair.
    - d. Review requirements for protecting paving work, including restriction of traffic during installation and curing period.
    - e. Review and finalize construction schedule and verify availability of materials, installer's personnel, equipment, and facilities needed to make progress and avoid delays.
    - f. Review paving requirements (drawings, specifications, and other contract documents).
    - g. Review required submittals, both completed and yet to be completed.
    - h. Review required inspections, testing procedures.
    - i. Review weather and forecasted weather conditions, and procedures for coping with unfavorable conditions.
    - j. Review health and safety precautions relating to handling and placement of seal coat.

1.4 QUALITY ASSURANCE

- A. Contractor Qualifications: The seal coat applicator shall have not less than 3 years documented experience in the application of emulsion seal coats.

1.5 SUBMITTALS

- A. Product Data: Submit the manufacturer's product information for oil spot primer.
- B. Certificates:
1. Submit manufacturer's certification that each consignment of emulsion shipped to the project meets the requirements of the applicable specification for the emulsion specified, except that the water content shall not exceed 50 percent. The certification shall also indicate the solids content of the emulsion and the date the tests were conducted.
  2. Submit certification of placement in accordance with specification requirements as specified in Part 3 Field Quality Control.
- C. Qualification Statements: Submit contractor qualifications certification.
- D. Mix Design:
1. Submit mix design and emulsion properties to the Civil Engineering Consultant of Record at least 30 days prior to beginning sealing operations. Mix designs over one year old will not be accepted.
  2. Submit approved mix designs and laboratory test results to CTL signed by the materials producer and Contractor certifying materials and mix ratios conform to the requirements specified herein.
- E. Calibration Results: Submit report of spreading equipment calibration tests.

1.6 SITE CONDITIONS

- A. Weather Limitations: Apply seal coat only under the following weather conditions:
1. The atmospheric temperature is between 50 and 90 F and is expected to remain above 50 F for 24 hours.
  2. Pavement temperature is above 55 F.
  3. Surface is dry and no moisture is expected within 24 hours.
  4. Weather and wind conditions are such that overspray is preventable and will allow proper curing and opening to traffic within a reasonable time.
- B. Maintain access for vehicular and pedestrian traffic as required by the Wal-Mart Construction Manager. Utilize temporary striping, flagmen, barricades, warning signs, and warning lights as required.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. Subject to compliance with requirements, provide seal coat products by one of the following:
1. SealMaster Pavement Products & Equipment, (800) 395-7325.
  2. Star Specialty Technology and Research, Columbus, OH (800) 759-1912.
  3. Neyra Industries, Cincinnati, OH (800) 543-7077.

2.2 PRODUCTS

- A. Water-based, polymer modified asphalt emulsion seal coat formulated for site-mixing with water and aggregate per ASTM 8099. Provide one of the following:
1. Polymer Modified Materseal (PMM), bt SealMaster, with added sand.
  2. Micro-Pave Pro-Blend Professional Grade Asphalt Emulsion Pavement Sealer, by Star, with added sand.
  3. Neyra AE Asphalt Pavement Sealer, by Neyra, with added sand.
  4. Or, Owner approved equivalent.

2.3 MATERIALS

- A. Aggregate: Aggregate shall be 100 percent passing the No. 16 (1.18 mm) sieve when tested in accordance with ASTM C 136. Aggregate shall consist of hard, washed, dry natural or manufactured particles free of dust, trash, clay, organic materials or other contaminants.
- B. Sand: Sand shall be clean, hard, and irregular silica sand, free of dust, trash, clay, organic materials or other contaminants. When tested in accordance with ASTM C 136, sand with AFS rating of 50 to 70, with less than 2% retained on 30 mesh, less than 10% retained on 140 mesh, and less than 0.3% retained on 200 mesh screen, is recommended.
- C. Asphalt Emulsion: Comply with ASTM D977 or ASTM D2397 for SS-1h or CSS-1h. The penetration of the residue from the distillation test shall be 20 to 60. Clay stabilized emulsion, with a ph not greater than 7.0, and solids content not less than 45 percent may be used. The polymer material shall be milled or blended into the asphalt or emulsifier solution prior to the emulsification process. The minimum amount and type of polymer modifier shall be determined by the laboratory performing the mix design.
- D. Coal Tar: Coal tar emulsion or coal tar/asphalt emulsion shall not be used as a substitute for asphalt emulsion.
- E. Polycyclic Aromatic Hydrocarbon (PAH): Products must contain less than 0.1% (1,000 ppm) Polycyclic Aromatic Hydrocarbon (PAH) content by weight.

F. Water: Water shall be potable and free of harmful soluble salts or reactive chemicals and any other contaminants and at least 50 F.

G. Additives: Additives shall be included and approved as part of the mix design and be compatible with the other components of the mix.

H. Crack Sealant: Crack sealant shall conform to ASTM D6690, Type II or higher and compatible with the specified seal coat emulsion.

I. Oil Spot Primer: Oil spot primer shall be a quick drying latex emulsion with suitable admixtures manufactured specifically for the purpose of isolating the asphalt seal coat from any residual oils, petroleum grease, and gasoline stained pavement. The oil spot primer shall be certified for compatibility with the specified emulsion by the manufacturer of the emulsion.

J. Pavement Primer/Tack Coat: Pavement primer/tack coat shall consist of one part SS1h emulsion diluted with four parts water applied at an undiluted emulsion rate of 0.05 to 0.10 gal/SY (diluted emulsion rate of 0.25 to 0.50 gal/SY).

2.4 COMPOSITION

A. Composition. Seal coat shall consist of a mixture of the specified emulsion, water, aggregate, and additives and be proportioned to meet the requirements shown in the following Table 1.

TABLE 1 – Undiluted Seal Coat Design Properties

Method	Minimum	Maximum
Weight (per gallon), ASTM D 244, lbs	9.0	
Cone Penetration, ASTM D 217, mm	340	700
% Non-Volatile <sup>1</sup>	50	
% Non-Volatile Residue Soluble in Trichloroethylene, ASTM D 2042	10	35
Wet Track Abrasion Loss, ASTM D 3910, g		35
Viscosity, ASTM D 562, KU	75	
Dried Film Color	Black	

<sup>1</sup>Weigh 10 g of homogeneous product into a previously tared, small ointment can. Place in an oven at 325°F for 90 minutes. Cool, reweigh and calculate non-volatile residue as a percent of the original mass.

2.5 EQUIPMENT

A. Distributors. Distributors or spray units used for the spray application of the seal coat shall be self propelled and capable of uniformly applying 0.10 to 0.30 gallons per square yard of material over the required width of application. Distributors shall be equipped with tachometers, pressure gauges, and volume measuring devices. The mix tank shall have a mechanically powered, full sweep, mixer with sufficient power to move and homogeneously mix the entire contents of the tank.

B. Spray Nozzles. Nozzles shall be free from clogs and debris and set at the same angle.

C. Mixing Equipment. The mixing machine shall have a continuous flow mixing unit capable of accurately delivering a predetermined proportion of aggregate, water, and emulsion, and of discharging the thoroughly mixed product on a continuous basis. The mixing unit shall be capable of thoroughly blending all ingredients together and discharging the material without segregation.

D. Spreading Equipment. Spreading equipment shall be a mechanical type squeegee/brush distributor attached to the mixing machine, equipped with flexible material in contact with the surface to prevent loss of slurry from the spreader box. It shall be maintained to prevent loss of slurry on varying grades and adjusted to assure uniform There shall be a lateral control device and a flexible strike off capable of being adjusted to lay the slurry at the specified rate of application. The spreader box shall have an adjustable width. The box shall be kept clean. Emulsion and aggregate build up on the box shall not be permitted.

E. Clean equipment with a petroleum solvent if previously used with a different material.

F. Hand Squeegee or Brush Application. Hand spreading application shall be used only in places not accessible to the mechanized equipment or to accommodate near trim work at curbs, etc. Material that is applied by hand shall meet the same standards as that applied by machine.

G Calibration. Spreading equipment shall be provided with a method of calibration by the manufacturer. Equipment shall be calibrated to assure that it will produce and apply a mix that conforms to the job mix formula. Calibrations shall be made with the approved job materials prior to application of the seal coat.

2.6 PREPARATION

A. A period of at least 60 days at +70 F daytime temperatures shall elapse between the placement of a hot mixed asphalt concrete surface course and the application of the seal coat except as permitted for remediation patching below.

B. Remediate distressed areas of existing pavement by saw-cutting and removing existing pavement, regrading and compacting the underlying base course and replacing with full depth asphalt at locations and as shown on the drawings.

1. Repairs not specifically shown on the plans but considered necessary by the CEC, the Geotechnical Engineer, or the CTL shall be identified and submitted as an RFI to the Construction Manager (CM) prior to commencement of repairs.
2. Repairs submitted by RFI and approved shall be performed as directed by the CEC. Cost for such work directed and performed will be paid for in accordance with the "Changes in the Work" Clause of the General Conditions.
3. Repairs shall be completed 30 days prior to the application of the seal coat.

C. Longitudinal and traverse cracks in excess of 0.25 inch, but less than 1 inch shall be sealed with a crack sealant. Cracks that contain weed or other live vegetable matter shall be treated with a locally approved, non-oil based sterilant prior to applying the crack filler.

D. Existing crack sealants in the parking lot shall be evaluated for compatibility with the specified emulsion. Report to the Engineer of Record if appearance or performance of the seal coat will be compromised by the existing crack sealant materials.

E. Remove oil drippings or grease buildup determined by the CEC to be detrimental to the subsequent seal coat performance by scraping excessive buildup and by steam cleaning. Prevent oil contaminated water from entering storm sewer inlets. After cleaning, treat cleaned areas with the oil spot primer.

F. Immediately prior to applying the primer and seal coat, the surface shall be cleared of all loose material, dirt, dust, grease, oil, vegetation and other objectionable material. If water is used, cracks shall be allowed to dry thoroughly before applying the seal coat.

G. Protect existing manholes, inlets, vaults, valve boxes, meter boxes, etc. as necessary to maintain free accessibility upon completion of seal coat application. Surfaces adjacent to seal coat application areas such as sidewalks, curb and/or gutter, storefronts, etc. shall be protected by use of felt paper anchored with clean aggregate, or by shielding components with plywood during application.

H. Apply a primer/tack coat at a rate of 0.05 to 0.10 gal/sq.yd. Remove loose gravel by sweeping prior to application of primer.

I. Coordinate limits of seal coat application operations with Owner's Construction Manager and Store Manager to avoid interruption to store operations. Protect adjacent areas of the parking lot outside of current seal coat application limits to avoid tracking onto adjacent areas. Partition off limits of current seal coat operations until surface is traffic ready.

J. Coordinate with Store Manager to deactivate lawn sprinkler systems least 48 hours prior to placing the seal coat and remain off for at least 24 hours after the seal coat application.

2.7 APPLICATION

A. Add water and sand at manufacturer's recommended rates and mix emulsion in accordance with manufacturer's instructions.

B. Apply seal coat at a total rate (undiluted) of 0.24-0.28 gal./SY.

C. The Minimum/Maximum application rate shall be between 0.10 and 0.17 gal/SY per application.

D. Dampen pavement with a fog spray of water if ambient temperatures exceed 80°F. No standing water shall remain on the surface.

E. Apply the first coat uniformly in a manner such that the combined application of the first and second coats equal the total rate specified above.

F. Suspend application when the distribution tank has less than 100 gallons left and refill to prevent irregular patterns or misses.

G. Each coat shall be allowed to dry and cure initially a minimum of 2-4 hours before applying any subsequent coats. The initial drying shall allow evaporation of water of the applied mixture, resulting in the coating being able to sustain light foot traffic. The initial curing shall enable the mixture to withstand vehicle traffic without damage to the seal coat.

H. Apply the second coat in the same manner as outlined for the first coat.

I. Apply additional coats if and where necessary as determined by the CEC.

1. Submit an RFI identifying extent of additional coats for approval prior to application.
2. Apply additional coats in accordance with RFI approval. Cost for such additional work directed and per-formed will be paid for in accordance with the "Changes in the Work" Clause of the General Conditions.

J. The finished surface shall present a uniform texture with no streaks.

K. The final coat shall be allowed to dry a minimum of eight hours in dry daylight conditions before opening to traffic, and initially cure enough to support vehicular traffic without damage to the seal coat.

L. Where marginal weather conditions exist during the eight hour drying time, additional drying time shall be allowed. The length of time shall be as specified by the supplier. The surface shall be checked after the additional drying time for trafficability before opening the section to vehicle traffic.

2.8 FIELD QUALITY CONTROL

A. Certify in writing that the seal coat placement is in accordance with specification requirements.

END OF SECTION

REVISIONS

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By: App:

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By: App:

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By: App:

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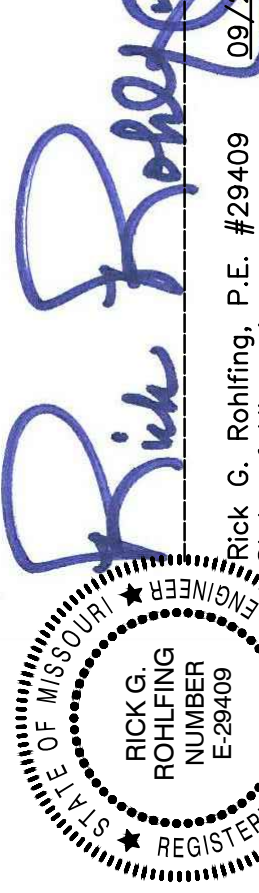
TELEPHONE: (636) 239-4751

**BFA**  
Engineering • Surveying

103 ELM STREET  
WASHINGTON, MISSOURI 63090

REGISTERED PROFESSIONAL ENGINEER  
RICK G. ROHRIG, P.E. #29409  
02/28/2025

Registered Professional Engineer for  
BFA, Inc. Professional Engineering Corporation #000472



**Walmart** #00820.281  
2150 Main Street  
Boonville, Cooper County, Missouri  
Walmart, Inc. 2608 SE J Street  
Bentonville, AR 72716

DRAWN  
S.A.M.  
CHECKED  
R.G.R.  
DATE  
09/29/25  
SCALE  
NO SCALE  
JOB No.  
8119  
SHEET NAME

Three working days prior to the start of any excavation on this site the Contractor shall contact 811 for utility location information.

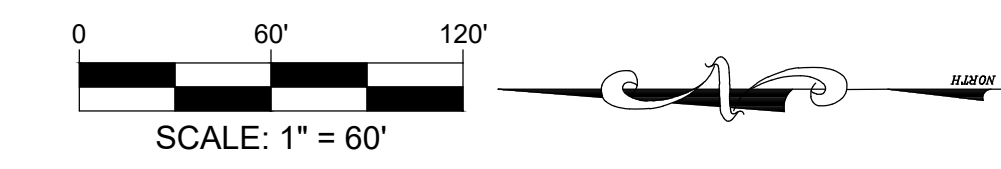
The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

**SPECIFICATIONS SHEET 2**

**CSS-2**

# OVERALL SITE PLAN

(IMAGE BASED ON GOOGLE MAPS AERIAL)



**NOTES:**  
BFA ENGINEERING'S SCOPE OF WORK FOR REVISED SITE PLAN INCLUDES DESIGN AND IMPROVEMENTS WHICH ARE LIMITED ONLY TO HIGHLIGHTED AREAS. ORIGINAL PROVIDED SITE PLAN WAS DESIGNED BY OTHERS AND/OR AERIAL PHOTO TAKEN FROM GOOGLE.

PLAN IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT TO SCALE. REFERENCE DETAILS FOR LOCATION OF SIGNAGE.

ACTUAL SITE FEATURES MAY BE DIFFERENT THAN THOSE SHOWN ON THIS AERIAL PHOTO, INCLUDING BUT NOT LIMITED TO PARKING, UTILITIES, LANDSCAPING, LIGHTING, SIDEWALKS, ETC.

PICKUP DIRECTIONAL SIGNAGE HAS ALREADY BEEN INSTALLED ON THIS SITE. CONTRACTOR SHALL REMOVE EXISTING ORANGE PICKUP SIGNAGE AND REPLACE THEM WITH NEW WALMART BLUE DIRECTIONAL SIGNAGE AS SHOWN. NEW WALMART BLUE SIGNS, POSTS, AND BASES ARE REQUIRED. THERE ARE EXISTING SIGN POSTS THAT ARE TO BE REMOVED.

PROPERTY LINE

APPROXIMATE LOCATION OF PROPOSED OPD EXPANSION

APPROXIMATE LOCATION OF PROPOSED PICKUP AREA

APPROXIMATE LOCATION OF EXISTING PICKUP AREA

EXISTING WALMART ORANGE PICKUP RIGHT SIGN WITH POST AND BOLLARD TO BE REMOVED

EXISTING WALMART ORANGE PICKUP LEFT AND PICKUP RIGHT SIGN WITH BREAK-AWAY POST TO BE REMOVED. NEW WALMART BLUE PICKUP RIGHT SIGN WITH NEW BREAK-AWAY POST.

NEW WALMART BLUE PICKUP AHEAD SIGN WITH BREAK-AWAY POST.

Pickup

Pickup

NEW WALMART BLUE PICKUP RIGHT SIGN WITH BREAK-AWAY POST

NEW WALMART BLUE PICKUP LEFT SIGN WITH POST AND BOLLARD

JACKSON RD.

MAIN ST.

BOONSLICK DR.

### CONSTRUCTION COORDINATION

CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH THE STORE MANAGER AND WALMART CONSTRUCTION MANAGER THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL PREPARE, INSTALL, MAINTAIN, AND REMOVE TEMPORARY CONSTRUCTION FENCES, BARRIERS, TRAFFIC CONTROL SIGNAGE, ETC. CONTRACTOR SHALL MAINTAIN SAFE DELIVERY TRUCK ROUTES, CUSTOMER PARKING AND DRIVES, AS WELL AS PEDESTRIAN WALKWAYS.

**DEWATERING NOTE:** WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE, AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO SITE SPECIFIC SPECIFICATIONS.

### PICKUP EXTERIOR SIGN SCHEDULE

DESCRIPTION	DIMENSIONS	QUANTITY
WAITING SPACES LEFT	18 X 24	
WAITING SPACES RIGHT	18 X 24	
WAITING SPACES AHEAD	18 X 24	
RESERVED WAITING	18 X 24	
PICKUP LEFT PHARMACY RIGHT	18 X 24	
PICKUP RIGHT PHARMACY LEFT	18 X 24	
STOP THANKS FOR ORDERING	18 X 36	
PICKUP HOURS	18 X 36	
RESERVED	18 X 18	
PHONE NUMBER	8 X 18	
VERTICAL PICKUP	18 X 36	
PICKUP LEFT	18 X 24	1
PICKUP AHEAD	18 X 24	1
PICKUP RIGHT	18 X 24	2
PICKUP BANNER AND MOUNTING HARDWARE	24 X 60	
TEMPORARY PARKING SIGN WITH PYRAMID BASE	24 X 60	

CONTRACTOR SHALL REMOVE PAVEMENT, BASE MATERIALS, AND SPOIL SPECIFICATIONS AS WELL AS APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS. STOCKPILING OF THESE MATERIALS ON THE SITE IS PROHIBITED.

### CAUTION - NOTICE TO CONTRACTOR REGARDING EXISTING UTILITIES

THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE PERFORMING ANY CONSTRUCTION ACTIVITIES TO REQUEST FIELD LOCATIONS OF THEIR UTILITIES. THE CONTRACTOR MUST BE AWARE THAT SOME EXISTING UTILITIES, SUCH AS UNDERGROUND ELECTRIC LINES SERVING PARKING LOT LIGHTING, STORM SEWER LINES, PRIVATE WATER AND SANITARY LINES, CABLES FOR SECURITY CAMERAS, ETC. MAY NOT BE LOCATED BY LOCAL OR STATE UTILITY COMPANIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE NECESSARY ACCOMMODATIONS TO ACCURATELY LOCATE ALL EXISTING UTILITIES.

ALL EXISTING UTILITIES SERVING WALMART, WALMART'S PROPERTY, OR ADJACENT DEVELOPMENTS SHALL REMAIN IN PLACE AND OPERATIONAL AT ALL TIMES DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE EXISTING UTILITIES WHEN NECESSARY TO FACILITATE THE REQUIRED IMPROVEMENTS SHOWN BY THESE PLANS. THE CONTRACTOR MUST COORDINATE ANY RELOCATIONS OR MODIFICATIONS TO THE EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANY, THE WALMART MANAGER AND WALMART CONSTRUCTION MANAGER.

Three working days prior to the start of any excavation on this site the Contractor shall call 811 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

### REVISIONS

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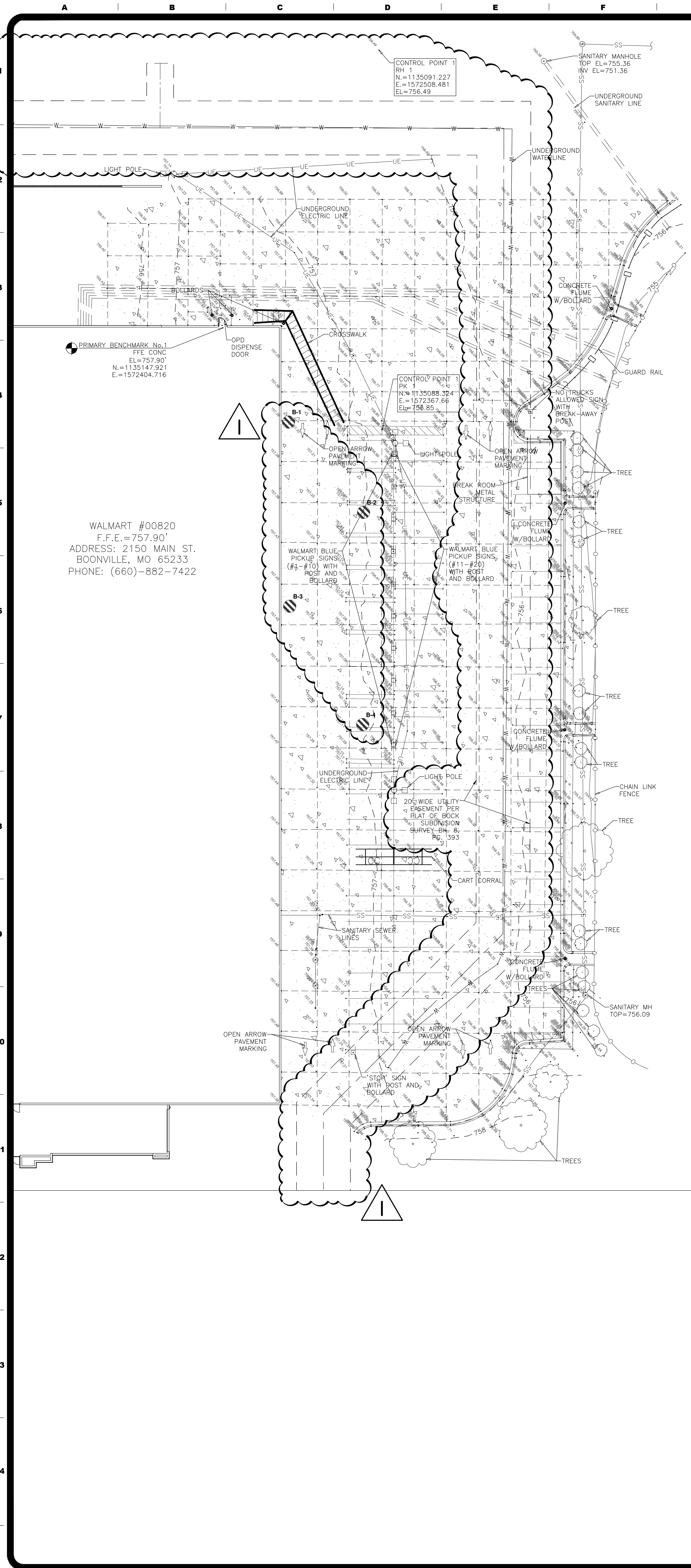
TELEPHONE: (636) 239-4751  
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WASHINGTON, MISSOURI 63090

Rick C. Rehling, P.E. #29409  
Registered Professional Engineer for State of Missouri  
BFA, Inc. Professional Engineering Corporation #000472

**Walmart** #00820-281  
2150 Main St.  
Boonville, Cooper County, Missouri  
Walmart, Inc. 2608 SE J Street  
Bentonville, AR 72716

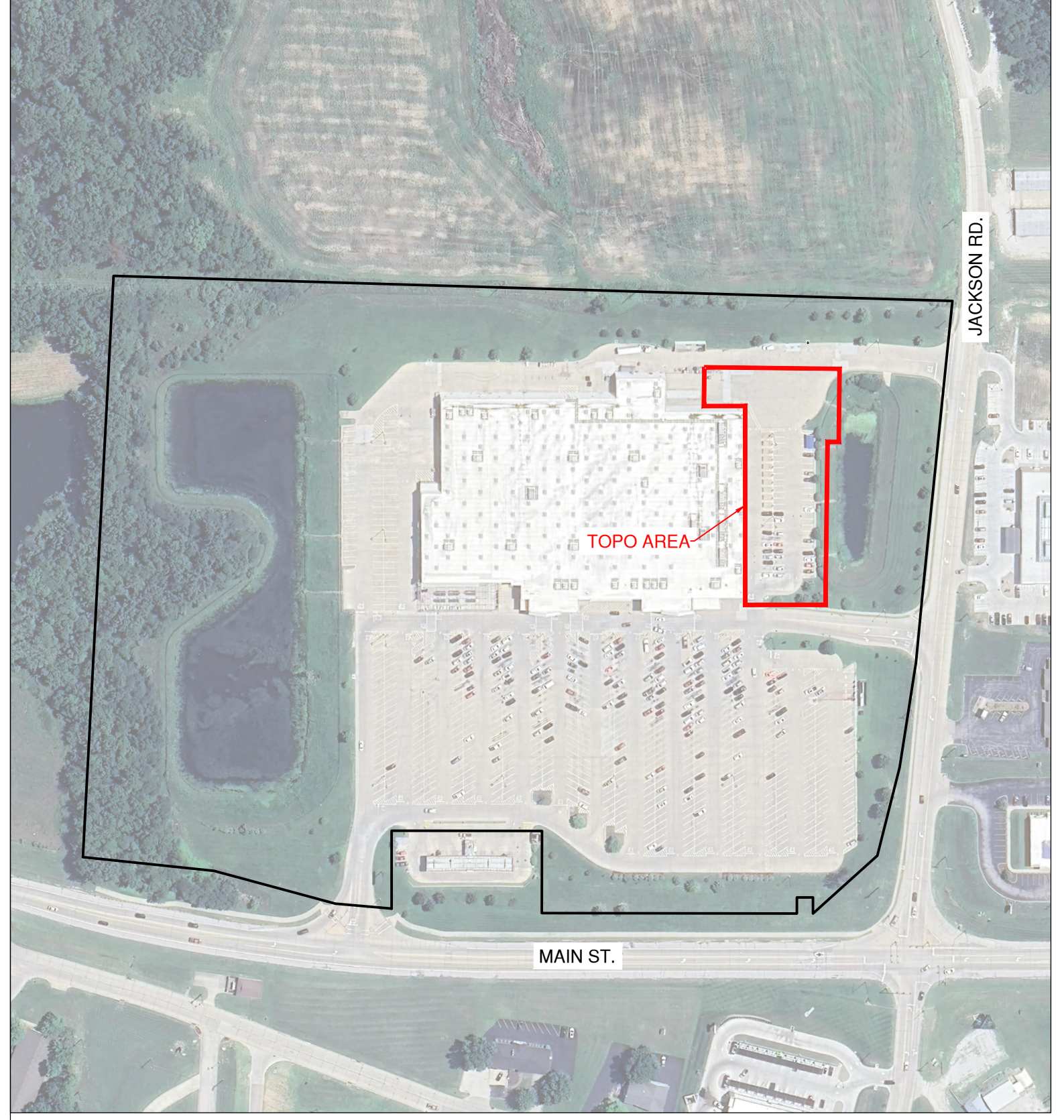
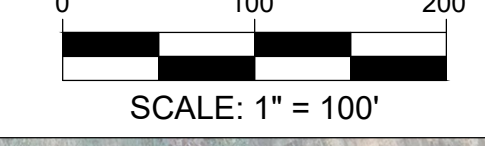
DRAWN: J.S.G.  
CHECKED: R.G.H.  
DATE: 09/29/2025  
SCALE: 1" = 60"  
JOB No.: 8119A  
SHEET NAME: OVERALL SITE PLAN

OSP-1



**KEY MAP**

(IMAGE BASED ON GOOGLE MAPS AERIAL)



**TOPOGRAPHIC SURVEY**

(THIS IS NOT A BOUNDARY SURVEY)



- TOPOGRAPHIC SURVEY NOTES:**
- Underground facilities, structures, and utilities have been plotted from available surveys and records. Therefore, their location must be considered approximate only. There may be others, the existence of which is presently not known.
  - Bearings referenced to Grid North of the Missouri Coordinate System 1983, Central Zone per GPS observations utilizing the MoDOT VRS RTK Network.
  - Field work was completed on this site by BFA Inc. on July 24, 2025.
  - Contractor shall verify elevation of temporary benchmarks based on the elevation of the primary benchmark, prior to the start of construction. Contractor shall notify engineer if elevations differ from those shown on these plans.  
Temporary Benchmark - Egress Door = 757.90
  - This site is within Zone X areas of 0.2% flooding as per Federal Emergency Management Agency Flood Insurance Rate Map, Panel 155 of 475, Community-Panel No. 22053001550, Map Date: May 3, 2011.
  - Soil boring locations shown on this plan were taken from the subsurface exploration and evaluation report prepared by SOI Engineering, Inc. dated October 29, 2025. Their locations are to be considered approximate only.
  - Existing curbs and gutters on site are vertical. Curbs and gutters along asphalt paved areas are 18" wide with 6" curb and 12" wide gutter.
  - This site is Zoned C-P "Planned Business District" as per the City of Boonville, MO.
  - Building setback lines are:  
There shall be a setback from any street of at least 30 feet for any building, and ten feet for any parking lot. Along any other property line, within or adjoining a zoned business district, there shall be a setback for any building or structure of at least ten feet, unless, for good cause shown, the City Council adjust such setback.  
Along any other property line abutting or adjoining a zoned dwelling house district, there shall be a setback of at least ten feet for any building or parking lot. The Planned Business District shall be permanently screened from such abutting or adjoining properties zoned for dwelling house use by wall, fence or other suitable enclosure at least six feet in height. The area adjacent to such wall or fence shall be planted with trees and shrubs to form an ornamental screen, and trees and shrubs shall be properly and adequately maintained by the developer.  
The building line along any street shall be consistent with the building line established in any neighboring residential districts. The Planning Commission may recommend to the City Council a reduction in the above required setbacks where the situation will reasonable warrant such reductions, and the City Council may, in their discretion, adjust such setbacks.
  - There is currently irrigation system on site.
  - Water service to this site is provided by City of Boonville.
  - Sanitary sewer service to this site is provided by City of Boonville.
  - Electrical service to this site is provided by Ameren.
  - Telephone service to this site is provided by local telephone company.
  - Natural gas service to this site is provided by gas company.
  - Public storm sewer is regulated by the City of Boonville MO
  - Existing light poles appear to be 39 feet in height with 3 feet tall bases. Actual light pole and base heights may vary throughout the site.

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2	PK 1	1135088.324	1572367.66

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UNDERGROUND TELEPHONE	—UT—
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WATERLINE	—W—
TAPER SWITCH	—SS—
SANITARY SEWER	—SS—
STORM SEWER	—SS—
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CONTOURS	—100—
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GRATED INLET	—GI—
SOIL BORING	—SB—

Three working days prior to the start of any excavation on this site the Contractor shall call 811 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

**REVISIONS**

1	CITY REVIEW		
2			
3			
4			

By: C.M.W. 12/22/2025 App: R.G.R.

By: App: 3

By: App: 4

By: App:

**BFA**  
Engineering-Surveying

TELEPHONE: (636) 239-4721  
103 ELM STREET  
BOONVILLE, MISSOURI 63009

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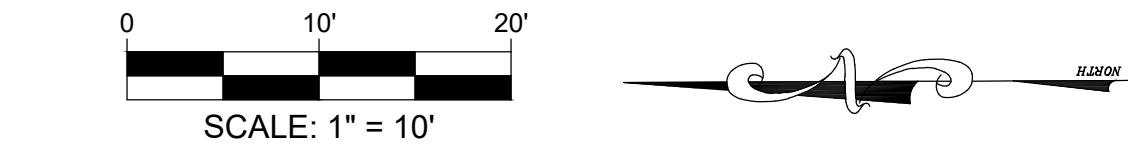
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# GRADING PLAN



- GRADING NOTES:**
- Bearings referenced to Grid North of the Missouri Coordinate System 1983, Central Zone per GPS observations utilizing the MoDOT VRS RTK Network.
  - Contractor shall verify elevation of temporary benchmarks based on the elevation of the primary benchmark, prior to the start of construction. Contractor shall notify engineer if elevations differ from those shown on these plans.

Primary Benchmark - F.F.E. = 757.90'

- This site is within Zone X area of 0.2% flooding as per Federal Emergency Management Agency Flood Insurance Rate Map, Panel 155 of 475, Central Zone No. 29053C0155C, Map Date: May 3, 2011.

- The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.

- All trenches under paved areas shall be backfilled with granular material and compacted to meet compaction requirements for the parking lot. Granular material shall be placed and compacted to a level equal to the trench depth at the time of the utility installations.

- All unsurfaced areas are to receive four inches of topsoil. Contractor to seed, mulch, water, fertilize, and maintain all areas outside of paved areas that were disturbed during construction until an acceptable stand of grass is established. Contractor shall be responsible to take whatever means necessary to establish permanent soil stabilization.

- The Contractor is responsible for keeping stormwater run-off and sediment under control during construction.

- The Contractor shall maintain the site in a well-drained manner in order to assure the shortest possible drying time after each rainfall. This will mean that pumping of standing water in low areas on the site will most likely be required during construction. Also pumping of ground water in utility trenches and deep excavations will be required during construction.

- The sitework for this project shall meet or exceed "The Site Specific Specifications".

- Layers of pavement shall be placed perpendicular to each other with the final layer perpendicular to the finished contours on parking lot.

- Prior to placement of the base rock within the parking lot, the entire area shall be proof rolled with a loaded tandem axle dump truck, having no more than 3 axles and weighing a minimum of 40,000 pounds.

- The Contractor shall grade all areas to drain in order to prevent ponding water. The minimum allowable slope on all paved surfaces shall be 1 percent.

- The minimum depth of cover on all waterlines for this site shall meet local requirements.

- The edges of all pavement and curb sections to be removed shall be sawcut. Remaining pavement and curb sections shall have smooth, clean edges. Contractor's means and methods shall ensure asphalt/concrete curbs and gutters, sidewalks, etc. is placed against a fresh, clean, sharp sawcut line. This will mean more than one sawcut may be necessary.

- Refer to Site Plan for striping and dimensions.

- Unless indicated otherwise, all waterline and sanitary sewer crossings shall have a minimum 18 inch vertical separation and 10 feet horizontal separation. The Contractor shall note that the depths of existing utilities have been plotted from information provided by various utility companies and is to be considered approximate. If the minimum separations cannot be constructed as shown the Contractor shall notify the Walmart Construction Manager and appropriate modifications shall be made.

- In the event of a vertical conflict between water lines, sanitary lines, storm lines and gas lines (existing and proposed), the sanitary line shall be ductile iron with mechanical joints at least 10' on both sides of the crossing. The waterline shall have mechanical joints with appropriate thrust blocking as required to provide a minimum of 18' clearance, meeting the requirements of ANSI A21.10 or ANSI 21.11 (AWWA C-151) (Class 50).

- Locations of all existing and proposed services are approximate and must be independently confirmed with local utility companies prior to commencement of any construction or excavation. Sanitary sewer and all other utility service connection points must be independently confirmed by the Contractor in the field prior to the commencement of construction. All discrepancies must immediately be reported in writing to the Engineer. Construction must commence with the Engineer's approval of the proposed interface points (crossings) with existing underground utilities shall be field verified by test pit prior to commencement of construction.

- Contractor must vertically and horizontally locate all utilities and services including, but not limited to, gas, water, electric, sanitary and storm sewer, telephone, cable, and/or service within the limits of disturbance or work space, whichever is greater. The contractor must use, refer to, and comply with the requirements of the applicable utility notification system to locate all the underground utilities. The Contractor is responsible for re-locating any existing utilities during construction, at no cost to the owner. Contractor shall bear all costs associated with damage to any existing utilities during construction.

- It is the Contractor's responsibility to review all construction contract documents including, but not limited to, all of the drawings and specifications associated with the project work scope prior to the initiation and commencement of construction. Should the contractor find a conflict and/or discrepancy between the documents relative to the specifications or the relative or applicable codes, regulations, laws, rules, statutes and/or ordinances, the contractor shall notify the project engineer of record, in writing, of said conflict and/or discrepancy prior to the start of construction. Contractor's failure to notify the project engineer shall constitute Contractor's full and complete responsibility to complete the scope of work as defined by the drawings and in full compliance with all federal, state and local regulations, laws, statutes, ordinances and codes and, further, contractor shall be responsible for all costs associated with same.

- The Contractor must locate and clearly and unambiguously define vertically and horizontally all active and inactive utility and/or service systems that are to be removed. The Contractor is responsible to protect and maintain all active and inactive systems that are not being removed/relocated during site activity.

- The Contractor must familiarize themselves with the applicable utility service provider regulations and is responsible for all coordination regarding utility demarcation as identified or required for the project. The Contractor must provide the owner with written notification that the existing utilities and services have been terminated and abandoned in accordance with the jurisdiction and written consent requirements of all other applicable utility services, rules, statutes, laws, ordinances and codes.

- The Contractor must install all storm sewer and sanitary sewer components which function by gravity prior to the installation of all other utilities.

- Should Contractor's means and methods require ground disturbing activities, Contractor shall install appropriate BMPs at each adjacent and down stream storm water inlet.

- Contractor is responsible for coordination of site plan documents and architectural design for exact building utility connection locations, grease trap requirements/details, door access, and exterior grading. The architect will determine the utility service sizes. The Contractor must coordinate installation of all utilities and services to avoid conflicts and to ensure that the project meets all applicable requirements, rules, statutes, laws, ordinances and codes. Subbase material for sidewalks, curb, or asphalt must be free of organic materials, shall be deemed unsuitable by owner/developer, or owner/developer's representative, subbase is to be removed and filled with approved fill material compacted as directed by the specifications. Earthwork activities including, but not limited to, excavation, backfill, and compacting must comply with the specifications and all applicable requirements, rules, statutes, laws, ordinances and codes. Earthwork activities must comply with the standard state DOT specifications for roadway construction (latest edition) and any amendments or revision thereto.

- Water service materials, burial depth, and cover requirements must be specified by the local utility company. Contractor's price for water service materials shall include all fees, taxes and/or permit fees. Contractor shall provide full and complete water service. Contractor must contact the applicable municipality to confirm the proper water meter and vault, prior to commencing construction.

- All new utilities/services, including electric, telephone, cable, tv, etc. are to be installed underground. All new utilities/services must be installed in accordance with the utility/service provider installation specifications and standards.

- Site grading must be performed in accordance with these plans and specifications. The Contractor is responsible for removing and replacing unsuitable materials with suitable materials as specified in the specifications. All excavated or filled areas must be compacted as outlined in the specifications. Moisture content at time of placement must be submitted in a compaction report prepared by a qualified geotechnical engineer, registered with the state where the work is performed, verifying that all filled areas and subgrade areas within the building and area to be paved have been compacted in accordance with these plans and specifications and all applicable requirements, rules, statutes, laws, ordinances and codes. Subbase material for sidewalks, curb, or asphalt must be free of organic materials, shall be deemed unsuitable by owner/developer, or owner/developer's representative, subbase is to be removed and filled with approved fill material compacted as directed by the specifications. Earthwork activities including, but not limited to, excavation, backfill, and compacting must comply with the specifications and all applicable requirements, rules, statutes, laws, ordinances and codes. Earthwork activities must comply with the standard state DOT specifications for roadway construction (latest edition) and any amendments or revision thereto.

- All fill compaction, and backfill materials required for utility installation must be as per the sitework specifications and must be coordinated with the applicable utility company specifications, contractor is fully responsible for earthwork balance.

- Contractor is required to secure all necessary and/or required permits and approvals for all the off site material sources and disposal facilities. Contractor must supply a copy of approvals to engineer and owner prior to initiating work any work.

- Water main piping must be installed in accordance with the requirements and specifications of the local water purveyor. In the absence of such requirements, water main piping must be cement-lined ductile iron (DIP) minimum class 52 thickness. All pipe and appurtenance must comply with the applicable AWWA Standards in effect at the time of application.

## SITE IMPROVEMENTS RESULT IN NO NEW IMPERVIOUS AREA, AND WILL HAVE A NEGLIGIBLE IMPACT ON EXISTING STORM WATER INFRASTRUCTURE

Within all construction area, existing pavements, structures, and utilities, as well as their associated backfill, shall be removed from below and at least 5 feet below the proposed building footprint unless underlining the building. Excavations resulting from the removal of existing site improvements shall be backfilled with properly compacted fill material meeting site specific specifications. Excavations shall be protected from extreme temperatures, precipitation, and construction disturbances. Areas to be cut or receive fill shall be stripped of any surface vegetation and/or organic topsoil. The stripings shall be removed from the site and/or stockpiled for later placement in landscaped or common ground areas. Prior to compaction, soils may require moisture adjustment. The entire site shall be proof-rolled by systematically passing over the subgrade to achieve complete coverage with proper compaction or loaded construction equipment, and observing the subgrade for pockets of excessively soft, wet, or otherwise unacceptable materials. Remove, replace, and/or repair unsuitable areas with suitable material prior to placement of additional fill, then proof-roll again. Proof-roll passes shall be limited, particularly on silty substrates, to reduce the potential for pumping of moisture from within the soil. Fill material shall be free of organics, debris, other deleterious material, brittle or non-brittle materials that may result in the material being classified as "contaminated", shall not contain rocks greater than three (3) inches in size, and shall be placed in loose lifts to exceed eight (8) inches in thickness. Where bearing soils within the building footprint and 2 feet (minimum) beyond consist of fat clay, they shall be removed to a minimum depth of 2 feet beneath the bearing level of the footings and 3 feet beneath the bottom of the floor slab, unless otherwise noted in the Subsurface Preparation Note. The existing structures shall not be underlined. The over-excavation shall be backfilled with properly compacted low plastic soil or 1-inch minus crushed limestone. Contractor shall remove and replace all existing structural fill material with approved fill material compacted to at least 90 percent of its Modified Proctor maximum dry density (ASTM D 1557) within a moisture content range of 2% below to 4% above the soil's optimum moisture content. Granular structural fill material shall be mechanically compacted to at least 95 percent of its Modified Proctor maximum dry density within a moisture content range of 2% above to 4% above the soil's optimum moisture content. Low plasticity material shall be low-plastic with a maximum liquid limit of 45 and a maximum plasticity index of 25. Soils that become unstable due to moisture or disturbance shall be scarified, dried, and recompacted; or undercut to a suitable bearing subgrade and replaced with compacted fill material.

**SITE IMPROVEMENTS RESULT IN NO NEW IMPERVIOUS AREA, AND WILL HAVE A NEGLIGIBLE IMPACT ON EXISTING STORM WATER INFRASTRUCTURE**

**SITE IMPROVEMENTS REQUIRE APPROXIMATELY 10,335 SF (0.24 AC) OF LAND DISTURBANCE, THUS A LAND DISTURBANCE PERMIT IS NOT REQUIRED; HOWEVER, CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE SITE IN A WELL DRAINED MANNER AND TO INSTALL BMPs AS NECESSARY TO KEEP ALL SILT ON SITE. BMPs AS SHOWN HEREON SHALL BE CONSIDERED THE MINIMUM REQUIRED. SHOULD CONTRACTOR'S MEANS AND METHODS DISTURB MORE AREA, THEY SHALL NOTIFY THE WALMART CEM AND BFA TO DETERMINE IF A LAND DISTURBANCE PERMIT IS REQUIRED.**

Three working days prior to the start of any excavation on this site the Contractor shall call 811 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

**DEWATERING NOTE:**  
WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATIONS.

**NOTE:**  
SITE GRADING WILL NOT CAUSE ADDITIONAL ADVERSE DRAINAGE IMPACTS ONTO NEIGHBORING PROPERTIES.

CONTRACTOR SHALL INSTALL PROPOSED 8" PVC STORM LINE @ 0.8% SLOPE TO DAYLIGHT IN THE SLOPE (EL.~752.00") TO THE SOUTH AND PLACE 6-12" RIP-RAP, 18" DEEP AT ITS OUTLET, IN AN AREA THAT IS 3' BY 4' LONG

## EE EROSION EEL (SEE DETAIL)

GRADING LEGEND		
DESCRIPTION	PROPOSED	EXISTING
AERIAL ELECTRIC	—AE—	—AE—
UNDERGROUND ELECTRIC	—UE—	—UE—
UNDERGROUND TELEPHONE	—UT—	—UT—
GAS LINE	—G—	—G—
WATERLINE	—W—	—W—
SANITARY SEWER	—SS—	—SS—
STORM SEWER	—SS—	—SS—
EASEMENT	—E—	—E—
PROPERTY LINE	—P—	—P—
GUIDE RAIL	—GR—	—GR—
CHAINLINK FENCE	—CF—	—CF—
BARB WIRE FENCE	—BX—	—BX—
CONTOURS	(100)	100
UTILITY POLE	—U—	—U—
GUIDE POST	—GP—	—GP—
SANITARY MANHOLE	—SM—	—SM—
WATER VALVE	—WV—	—WV—
FIRE HYDRANT	—FH—	—FH—
CATCH BASIN	—CB—	—CB—
JUNCTION BOX	—JB—	—JB—
FLARED END SECTION	—DES—	—DES—
CLEANOUT	—CO—	—CO—
GRADED INLET	—GI—	—GI—
SOIL BORING	—SB—	—SB—

SPOT GRADE LEGEND	
TOP OF CURB/CONCRETE	—000.000C—
TOP OF PAVEMENT	—000.000P—
INTERIOR PAVEMENT/ GROUND ELEVATIONS	—000.000I—
GUTTER ELEVATION @ FACE OF CURB	—000.000G—
TOP OF PAVEMENT ELEVATION/MATCH EXISTING PAVEMENT ELEVATION	—000.000M—
TOP OF RAMP	—000.000R—
TOP OF SIDEWALK	—000.000S—
BOTTOM OF RAMP	—000.000B—

**CONSTRUCTION COORDINATION**  
CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH THE STORE MANAGER AND WALMART CONSTRUCTION MANAGER THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL PREPARE, INSTALL, MAINTAIN, AND REMOVE TEMPORARY CONSTRUCTION FENCES, BARRIERS, TRAFFIC CONTROL SIGNS, ETC. CONTRACTOR SHALL MAINTAIN SAFE DELIVERY TRUCK ROUTES, CUSTOMER PARKING AND DRIVES, AS WELL AS PEDESTRIAN WALKWAYS.

STRUCTURE ABBREVIATION LEGEND	
ABBREVIATION	DESCRIPTION
DS	DOWNSPOUT
GP	GUARD POST

**CAUTION - NOTICE TO CONTRACTOR REGARDING EXISTING UTILITIES**  
THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE PERFORMING ANY CONSTRUCTION ACTIVITIES TO REQUEST FIELD LOCATIONS OF THEIR UTILITIES. THE CONTRACTOR MUST BE AWARE THAT SOME EXISTING UTILITIES, SUCH AS UNDERGROUND ELECTRIC LINES SERVING PARKING LOT LIGHTING, STORM SEWER LINES, PRIVATE WATER AND SANITARY LINES, CABLES FOR SECURITY CAMERAS, ETC. MAY NOT BE LOCATED BY LOCAL OR STATE UTILITY COMPANIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE NECESSARY ACCOMMODATIONS TO ACCURATELY LOCATE ALL EXISTING UTILITIES.  
ALL EXISTING UTILITIES SERVING WALMART, WALMART'S PROPERTY, OR ADJACENT DEVELOPMENTS SHALL REMAIN IN PLACE AND OPERATIONAL AT ALL TIMES DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE EXISTING UTILITIES WHEN NECESSARY TO FACILITATE THE REQUIRED IMPROVEMENTS SHOWN BY THESE PLANS. THE CONTRACTOR MUST COORDINATE ANY RELOCATIONS OR MODIFICATIONS TO THE EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANY, THE WALMART MANAGER AND WALMART CONSTRUCTION MANAGER.

**PRIMARY BENCHMARK No.1**  
FFE CONC  
EL=757.90'  
N.=1135147.921  
E.=1572404.716

WALMART #00820  
F.F.E.=757.90'  
ADDRESS: 2150 MAIN ST.  
BOONVILLE, MO 65233  
PHONE: (660)-882-7422

OPD EXPANSION  
3,974 SF  
F.F.E.=757.90'

TRAFFIC RATED ELECTRICAL  
PULL BOX. TOP TO BE  
FLUSH WITH PROPOSED  
FINISH GRADE (~756.79)

FOUNDATION SUBSURFACE PREPARATION  
WALMART SUPERCENTER STORE NO. 620 - OPD EXPANSION  
BOONVILLE, MISSOURI  
OCTOBER 29, 2025

UNLESS SPECIFICALLY INDICATED OTHERWISE IN THE DRAWINGS AND/OR SPECIFICATIONS, THE LIMITS OF THIS SUBSURFACE PREPARATION ARE CONSIDERED TO BE THAT PORTION OF THE SITE DIRECTLY BENEATH AND 5 FEET BEYOND THE BUILDING ADDITION AND APPURTENANCES.

APPURTENANCES ARE THOSE ITEMS ATTACHED TO THE BUILDING PROPER (REFER TO DRAWING SHEET SP1), TYPICALLY INCLUDING, BUT NOT LIMITED TO, THE BUILDING SIDEWALKS, PORCHES, RAMPS, STAIRS, TRUCK WELLS/DOCKS, COMPACTOR PADS, ETC. THE BASE DOES NOT EXTEND BEYOND THE LIMITS OF THE ACTUAL BUILDING AND THE APPURTENANCES.

ESTABLISH THE FINAL SUBGRADE ELEVATION TO ALLOW FOR THE CONCRETE SLAB AND BASE. REFERENCE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR REQUIRED SLAB THICKNESS. THE 4" THICK BASE MATERIAL SHALL CONFORM TO THE CURRENT MISSOURI DEPARTMENT OF TRANSPORTATION (MO DOT) STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION TYPE 5 AGGREGATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ACCURATE MEASUREMENTS FOR ALL CUT AND FILL DEPTHS REQUIRED. ANY PROPOSED EQUIVALENT ALTERNATIVE BASE OR SUBBASE MATERIAL MUST BE SUBMITTED FOR APPROVAL WITHIN 30 DAYS AFTER AWARD OF CONTRACT. ANY EQUIVALENT ALTERNATIVE SHALL ONLY BE USED IF APPROVED IN WRITING BY THE CEC AND ADR.

EXISTING PAVEMENTS, AND BELOW-GRADE STRUCTURES SHALL BE REMOVED FROM THE BUILDING ADDITION AREA ALONG WITH THEIR ASSOCIATED BACKFILL. OVEREXCAVATIONS SHOULD NOT UNDERMINE THE EXISTING FOOTINGS. IF THERE IS A RISK OF UNDERMINING THE EXISTING FOOTINGS, UNDERPINNING OF THE EXISTING STRUCTURE WILL BE REQUIRED.

THE EXPANSIVE CLAYS (NATIVE AND FILL) SHOULD BE REMOVED TO A DEPTH OF 3 FEET BELOW THE FLOOR SLAB AND 2 FEET BELOW THE BEARING LEVEL OF THE FOOTINGS. WE ANTICIPATE REMEDIATION IN ISOLATED AREAS BELOW THE FLOOR SLAB AND FOOTINGS AS SOME EXPANSIVE CLAY FILL LAYERS WERE MIXED IN WITHIN THE FILL. ANY UNSUITABLE EXISTING FILL IF PRESENT SHOULD ALSO BE REMOVED AT THIS TIME.

REMOVE SOFT OR OTHERWISE UNSUITABLE EXISTING FILL MATERIAL AND EXPANSIVE CLAYS (AS DISCUSSED ABOVE) FROM THE BUILDING ADDITION AREA. THE OVEREXCAVATION SHALL EXTEND 5 FEET BEYOND THE EDGE OF THE BUILDING'S FOOTPRINTS. PROOFROLL EXPOSED SUBGRADE. THE SUBGRADE AND STRUCTURAL BACKFILL MATERIAL SHALL BE FREE OF ORGANIC AND OTHER DELETERIOUS MATERIALS AND SHALL MEET THE FOLLOWING REQUIREMENTS:

LOCATION WITH RESPECT TO FINAL GRADE BUILDING AREA  
3 FEET BELOW THE FLOOR SLAB SUBGRADE AND  
2 FEET BELOW THE FOOTING SUBGRADE  
ELL MAX. < LLL MAX.>

THE FINAL EXTENT OF REMEDIATION SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEERING FIRM ON SITE DURING CONSTRUCTION.

SUBGRADE MATERIAL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8 INCHES IN THICKNESS AND COMPACTED TO AT LEAST 90 PERCENT OF ITS MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D 1557) FOR COHESIVE MATERIALS, AND AT LEAST 95 PERCENT OF ITS MODIFIED PROCTOR MAXIMUM DRY DENSITY FOR GRANULAR MATERIALS. THE MOISTURE CONTENT FOR BOTH COHESIVE AND GRANULAR MATERIALS SHALL RANGE FROM 2 PERCENT BELOW TO 4 PERCENT ABOVE OPTIMUM MOISTURE CONTENT.

THE FOUNDATION SYSTEM SHALL BE ISOLATED SPREAD FOOTINGS AT COLUMNS AND CONTINUOUS SPREAD FOOTINGS AT WALLS. SHALLOW SPREAD FOOTING FOUNDATIONS BEARING ON SURFACE EXISTING, LOW PLASTIC FILL, NEWLY FOUNDED STRUCTURAL FILL, OR REMEDIATED EXPANSIVE CLAY ARE APPROPRIATE FOR SUPPORT OF THE ADDITION. SHALLOW FOUNDATIONS MAY BE SIZED FOR A MAXIMUM NET ALLOWABLE BEARING PRESSURE OF 2,000 POUNDS PER SQUARE FOOT FOR CONTINUOUS WALL AND ISOLATED COLUMN FOOTINGS. WE ANTICIPATE THAT SOME LOCALIZED AREAS OF INADEQUATE BEARING MATERIALS MAY BE ENCOUNTERED; THEREFORE, WE RECOMMEND THAT ALLOWANCES BE MADE IN THE CONSTRUCTION BUDGET FOR SELECTED FOOTING OVEREXCAVATIONS.

THIS FOUNDATION SUBSURFACE PREPARATION DOES NOT CONSTITUTE A COMPLETE SITE WORK SPECIFICATION. IN CASE OF CONFLICT, INFORMATION COVERED IN THIS PREPARATION SHALL TAKE PRECEDENCE OVER THE BUILDING ADDITION SPECIFICATIONS. REFER TO THE SPECIFICATIONS FOR SPECIFIC INFORMATION NOT COVERED IN THIS PREPARATION. THIS INFORMATION WAS TAKEN FROM A GEOTECHNICAL REPORT PREPARED BY SCD ENGINEERING, INC. (GEOTECHNICAL REPORT IS FOR INFORMATION ONLY AND IS NOT A CONSTRUCTION SPECIFICATION).

E-MAIL ADDRESS FOR THE GEOTECHNICAL ENGINEER - J.MILLER@SCENGINEERING.COM

20' WIDE UTILITY  
EASEMENT PER PLAT  
OF BOCK  
SUBDIVISION SURVEY  
BK. 8, PG. 393

**REVISIONS**

1	CITY REVIEW		
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4			

By: C.C.M. 12/22/25 App: R.G.R.

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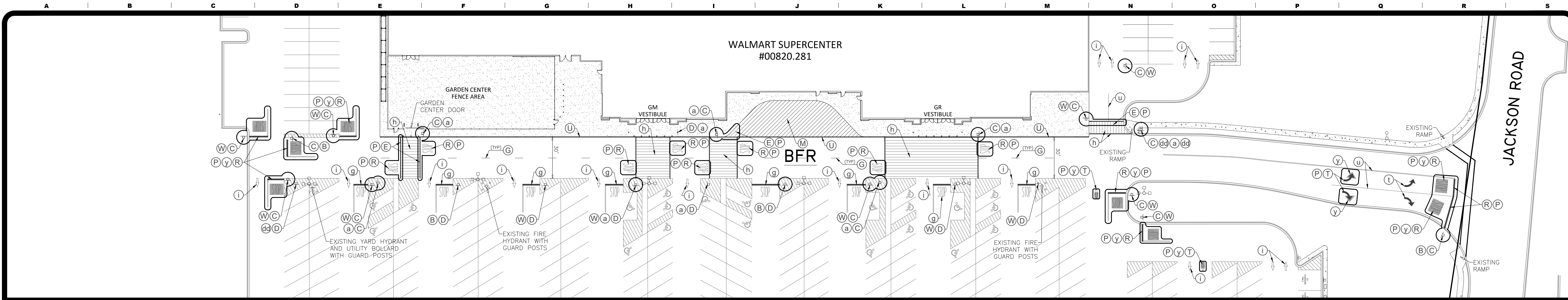
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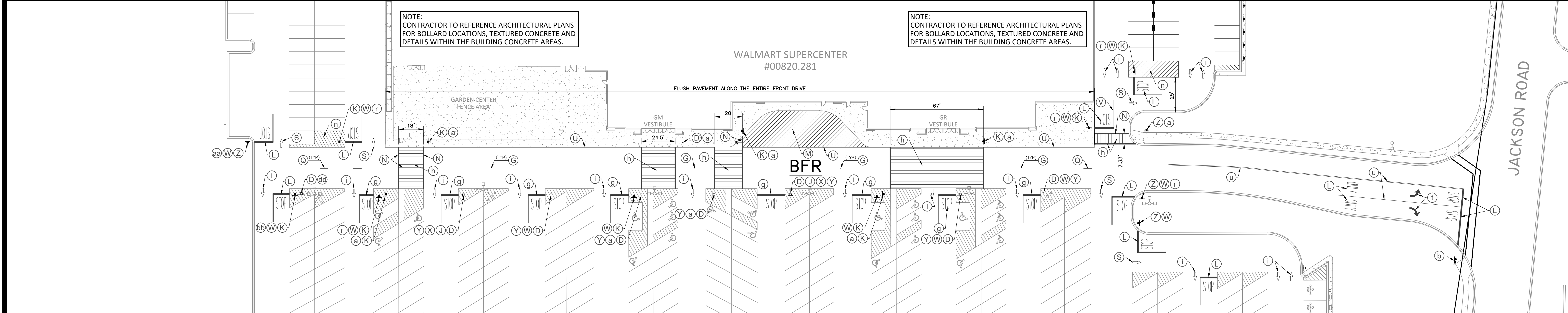
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## DEMOLITION PLAN

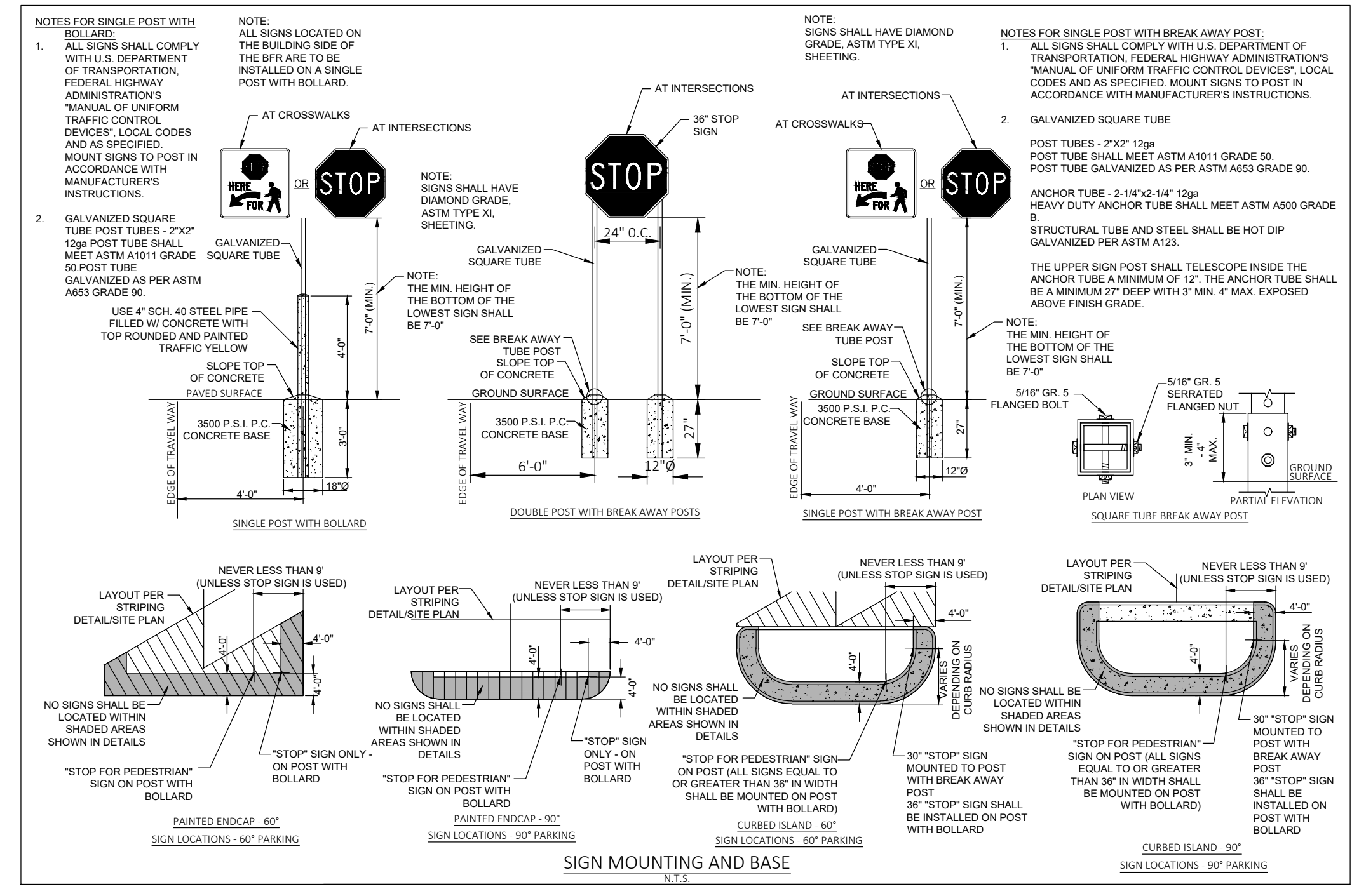


## SITE CONSTRUCTION PLAN

### SITE AND DEMOLITION LEGEND

- REFERENCE DETAIL SHEET
- (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
  - (B) EXISTING STOP SIGN TO BE REMOVED.
  - (C) EXISTING SIGN POST AND BASE TO BE REMOVED.
  - (D) EXISTING SIGN POST AND BASE TO REMAIN.
  - (E) EXISTING/FADED CROSSWALK STRIPING, ANGLED STRIPING, AND/OR FIRE LANE STRIPE TO BE REMOVED.
  - (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
  - (G) EXISTING CENTERLINE STRIPING TO REMAIN / BE REFRESHED.
  - (H) NEW "STOP HERE FOR PEDESTRIANS" SIGN.
  - (J) NEW 30"x30" STOP SIGN.
  - (K) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
  - (L) NEW "STOP" OR "ONLY" TEXT AND/OR STOP BAR WITH 4" WIDE DOUBLE SOLID YELLOW STRIPE.
  - (M) EXISTING 4" WIDE PAINTED YELLOW STRIPES AT 45° TO REMAIN / BE REFRESHED.
  - (N) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND 13'-0" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS. ENTIRE CROSSWALK SHALL BE RE-STRIPED, INCLUDING "NO PARKING FIRELANE" AND/OR RED STRIPE TO MATCH EXISTING.
  - (P) LIMITS OF SEAL COAT: ASPHALT PAVEMENT - APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT. CONCRETE PAVEMENT - REMOVE STRIPING AS SHOWN, BUT DO NOT APPLY SEAL COAT.
  - (Q) NEW 4" WIDE PAINTED YELLOW STRIPES - 6" LONG WITH 18" GAPS.
  - (R) EXISTING/FADED STOP BAR / STOP TEXT PAVEMENT MARKINGS / DOUBLE YELLOW AND/OR SINGLE WHITE STRIPE AND/OR ANY VISIBLE SEAL COAT TO BE REMOVED.
  - (S) NEW OPEN AND/OR SOLID ARROW PAVEMENT MARKINGS.
  - (T) EXISTING/FADED ARROW PAVEMENT MARKINGS AND/OR ANY VISIBLE SEAL COAT TO BE REMOVED.
  - (U) EXISTING FIRE LANE STRIPING TO REMAIN / BE REFRESHED.
  - (V) NEW 4" WIDE DOUBLE SOLID YELLOW AND/OR SINGLE SOLID WHITE STRIPE AND/OR "NO PARKING FIRELANE" WITH RED STRIPE TO MATCH EXISTING.
  - (W) EXISTING STOP SIGN TO REMAIN / BE REUSED / BE RELOCATED.
  - (X) EXISTING SIGN TO BE RAISED / RELOCATED TO MATCH CURRENT DETAILS / GUIDELINES, AND/OR STRAIGHTEN UP SIGN POST.
  - (Y) EXISTING SIGN POST AND BOLLARD TO BE REPAINTED.
  - (Z) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
  - (1) EXISTING "STOP HERE FOR PEDESTRIANS" SIGN TO REMAIN / BE REUSED / BE RELOCATED.
  - (2) NEW 36"x36" STOP SIGN WITH DOUBLE SIGN MOUNTINGS, BREAK AWAY POSTS, AND BASES.
  - (3) NEW OPD CROSSWALK MARKINGS. SEE DETAIL.
  - (4) NEW SIGN MOUNTING AND BASE WITH BOLLARD WITH BOLLARD COVER.
  - (5) EXISTING STOP PAVEMENT MARKINGS, "STOP", "ONLY" AND/OR "ENTER" TEXT TO BE REVISED / REFRESHED TO MATCH CURRENT DETAILS.
  - (6) EXISTING CROSSWALK TO REMAIN / BE REFRESHED.
  - (7) EXISTING OPEN ARROW PAVEMENT MARKING TO BE REVISED / REFRESHED TO MATCH CURRENT DETAILS.
  - (8) EXISTING MISCELLANEOUS TRAFFIC AND/OR INFORMATION SIGN TO REMAIN.
  - (9) NEW 4" WIDE PAINTED YELLOW ISLAND WITH 45° STRIPES AT 5'-0" O.C.
  - (10) NEW 4" WIDE PAINTED YELLOW ISLAND WITH 45° STRIPES AT 2'-0" O.C.
  - (11) EXISTING "DO NOT ENTER" SIGN TO REMAIN / BE REUSED / BE RELOCATED.
  - (12) NEW CROSS TRAFFIC DOES NOT STOP PLAQUE.
  - (13) EXISTING SOLID ARROW PAVEMENT MARKING TO BE REVISED / REFRESHED TO MATCH CURRENT DETAILS.
  - (14) EXISTING 4" WIDE DOUBLE YELLOW, WHITE AND/OR YELLOW SINGLE STRIPE TO REMAIN / BE REFRESHED.
  - (15) EXISTING FOLIAGE THAT IMPEDES VISIBILITY OF DRIVE, INTERSECTIONS, AND/OR SIGNAGE TO BE TRIMMED / PRUNED.
  - (16) CONTRACTOR TO TRIM / PRUNE FOLIAGE SELECTIVELY. IF EXTREME TRIMMING / PRUNING IS NEEDED CONTACT WALMART CONSTRUCTION MANAGER.
  - (17) EXISTING NO PARKING FIRE LANE SIGN TO REMAIN, REPLACE IF SIGN IS FADED OR DAMAGED.
  - (18) EXISTING SEAL COAT TO BE REMOVED. (SEAL COAT NOT TO BE USED ON CONCRETE PAVEMENT)
  - (19) EXISTING MISCELLANEOUS TRAFFIC AND/OR INFORMATION SIGN TO BE REMOVED.
  - (20) NEW TRAFFIC FROM LEFT DOES NOT STOP PLAQUE.
  - (21) NEW TRAFFIC FROM RIGHT DOES NOT STOP PLAQUE.
  - (22) NEW ONCOMING TRAFFIC DOES NOT STOP PLAQUE.
  - (23) EXISTING ORANGE PICKUP SIGN. REFER TO OPD IMPROVEMENT PLANS FOR ADDITIONAL INFORMATION.
  - (24) EXISTING BLUE PICKUP SIGN. REFER TO OPD IMPROVEMENT PLANS FOR ADDITIONAL INFORMATION.

SIGN SYMBOLS SHOWN ON THIS PLAN ARE FOR GENERAL SITE LOCATION PURPOSES. CONTRACTOR SHALL NOT SCALE OFF THESE PLANS FOR SIGN/STRIPING PLACEMENT. CONTRACTOR SHALL REFER TO DETAILS FOR EXACT SIGN PLACEMENT LOCATIONS. CONTRACTOR SHALL COORDINATE WITH THE CEC AND WALMART PM WHEN CONTRACTOR FEELS SITE CONDITIONS REQUIRE DEVIATING FROM STANDARD SIGN LOCATION DIMENSIONS.



- ### NOTES TO CONTRACTOR:
- REFERENCE SITE CONSTRUCTION PLAN AND DETAILS FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE. CONTRACTOR SHALL NOT SCALE OFF THESE PLANS FOR SIGN/STRIPING PLACEMENT.
  - PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
  - ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFR (BUILDING FRONTAGE ROAD) SHALL BE REMOVED. GRIND OUT ANY DIRECTIONAL ARROWS OR STOP BARS/TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
  - ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.

Three working days prior to the start of any excavation on this site the Contractor shall contact 811 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

# DEMOLITION AND SITE CONSTRUCTION PLAN

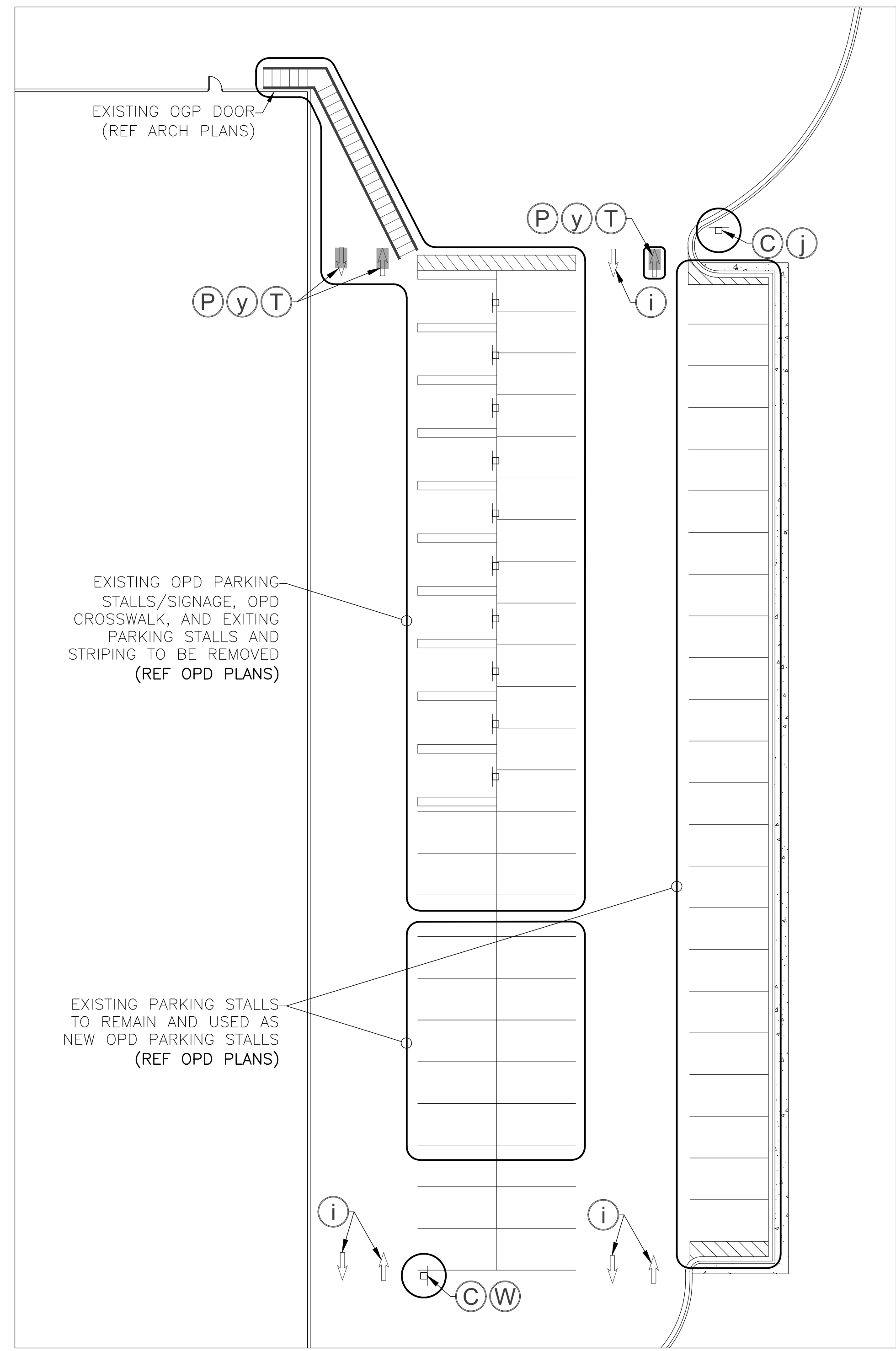
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TELEPHONE: (636) 239-4751  
**BFA**  
 Engineering & Surveying  
 WASHINGTON, MISSOURI 63090

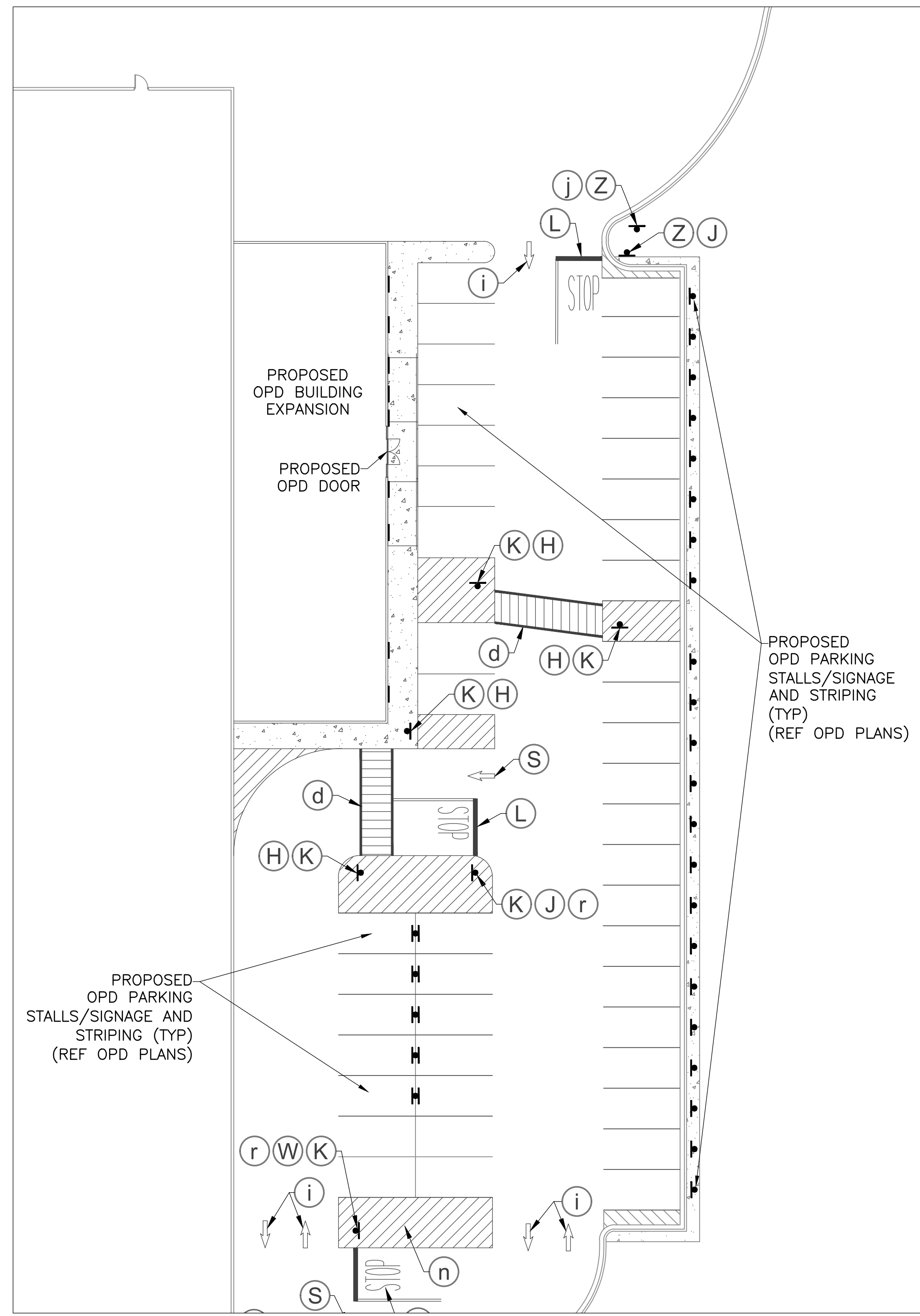
**Rich Rogers**  
 Rick G. Rogers  
 State of Missouri  
 Registered Professional Engineer for  
 BFA, Inc. Professional Engineering Corporation #000472

**Walmart #00820.281**  
 2150 Main Street  
 Booneville, Cooper County, Missouri  
 Walmart, Inc. 2608 SE J Street  
 Bentonville, AR 72716

DRAWN  
 S.A.M.  
 CHECKED  
 R.G.R.  
 DATE  
 09/29/25  
 SCALE  
 1" = 30'  
 JOB No.  
 8119  
 SHEET NAME

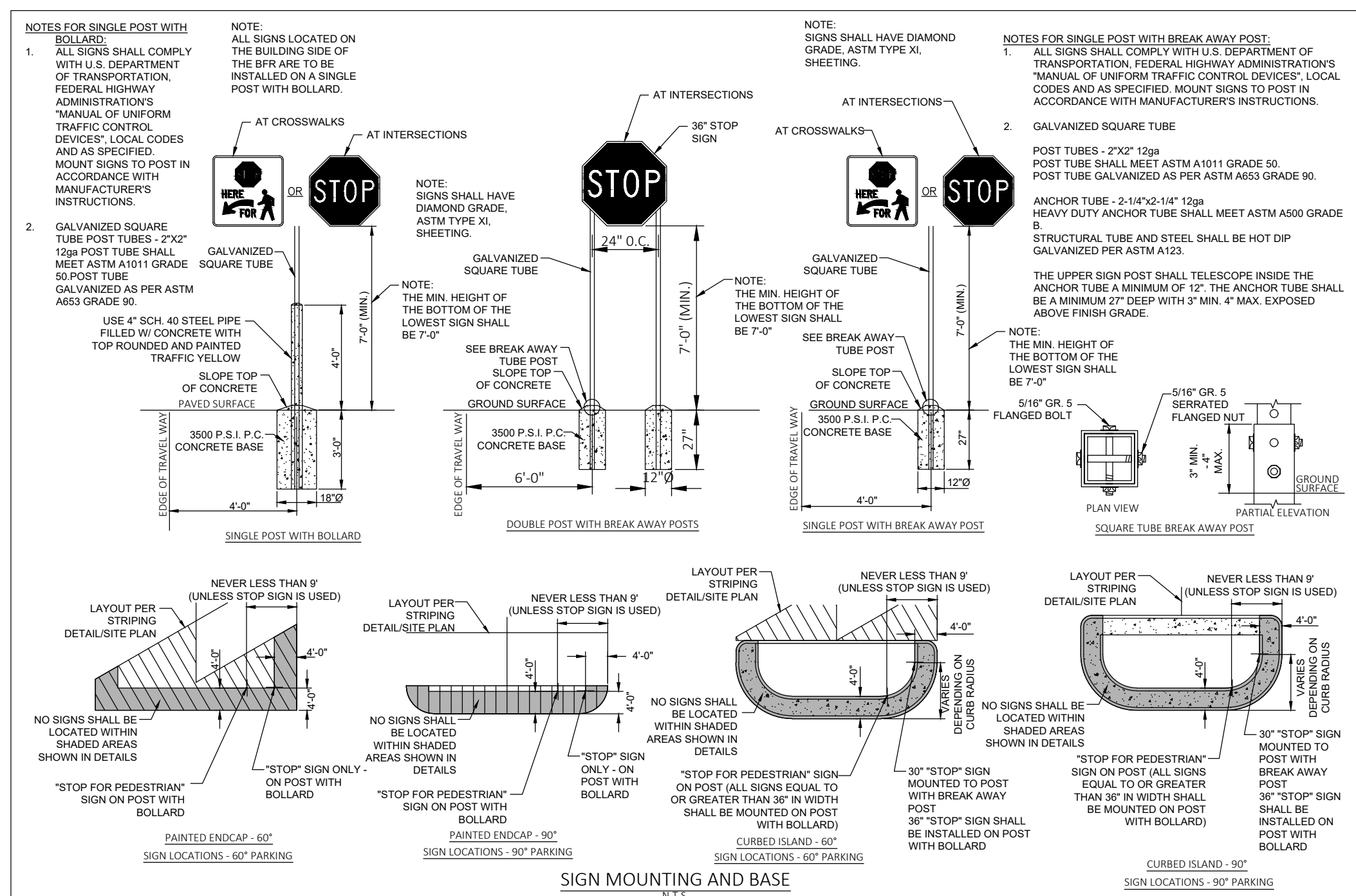


OPD DEMOLITION PLAN



OPD SITE CONSTRUCTION PLAN  
(REFER OPD IMPROVEMENT PLANS FOR ADDITIONAL DIRECTION REGARDING OPD STRIPING, SIGNAGE AND DIMENSIONS)

SIGN SYMBOLS SHOWN ON THIS PLAN ARE FOR GENERAL SITE LOCATION PURPOSES. CONTRACTOR SHALL NOT SCALE OFF THESE PLANS FOR SIGN/STRIPING PLACEMENT. CONTRACTOR SHALL REFER TO DETAILS FOR EXACT SIGN PLACEMENT LOCATIONS. CONTRACTOR SHALL COORDINATE WITH THE CEC AND WALMART PM WHEN CONTRACTOR FEELS SITE CONDITIONS REQUIRE DEVIATING FROM STANDARD SIGN LOCATION DIMENSIONS.



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- REFERENCE SITE CONSTRUCTION PLAN AND DETAILS FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE. CONTRACTOR SHALL NOT SCALE OFF THESE PLANS FOR SIGN/STRIPING PLACEMENT.
  - PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
  - EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED SHALL BE REMOVED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
  - ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.

Three working days prior to the start of any excavation on this site the Contractor shall contact 811 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.



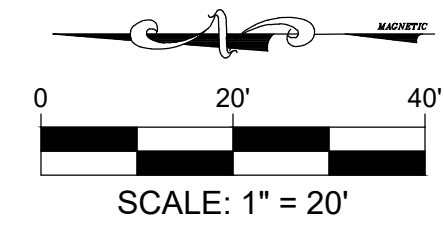
ACC DEMOLITION PLAN



ACC SITE CONSTRUCTION PLAN

SITE AND DEMOLITION LEGEND

- REFERENCE DETAIL SHEET
- (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
  - (B) EXISTING STOP SIGN TO BE REMOVED.
  - (C) EXISTING SIGN POST AND BASE TO BE REMOVED.
  - (D) EXISTING SIGN POST AND BASE TO REMAIN.
  - (E) EXISTING/FADED CROSSWALK STRIPING, ANGLED STRIPING, AND/OR FIRE LANE STRIPE TO BE REMOVED.
  - (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
  - (G) EXISTING CENTERLINE STRIPING TO REMAIN / BE REFRESHED.
  - (H) NEW "STOP HERE FOR PEDESTRIANS" SIGN.
  - (J) NEW 30"x30" STOP SIGN.
  - (K) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
  - (L) NEW "STOP" OR "ONLY" TEXT AND/OR STOP BAR WITH 4" WIDE DOUBLE SOLID YELLOW STRIPE.
  - (M) EXISTING 4" WIDE PAINTED YELLOW STRIPES AT 45° TO REMAIN / BE REFRESHED.
  - (N) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (13) 8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS. ENTIRE CROSSWALK SHALL BE RE-STRIPED, INCLUDING "NO PARKING FIRELANE" AND/OR RED STRIPE TO MATCH EXISTING.
  - (P) LIMITS OF SEAL COAT: ASPHALT PAVEMENT - APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT. CONCRETE PAVEMENT - REMOVE STRIPING AS SHOWN, BUT DO NOT APPLY SEAL COAT.
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  - (4) NEW SIGN MOUNTING AND BASE WITH BOLLARD WITH BOLLARD COVER.
  - (5) NEW DOUBLE SIGN MOUNTING, BREAK AWAY POSTS, AND BASES.
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  - (9) EXISTING MISCELLANEOUS TRAFFIC AND/OR INFORMATION SIGN TO REMAIN.
  - (10) NEW 4" WIDE PAINTED YELLOW ISLAND WITH 45° STRIPES AT 5'-0" O.C.
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REVISIONS

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103 ELM STREET

**Bill R. Rags**

Bill R. Rags, P.E. #29409  
Registered Professional Engineer for  
State of Missouri  
E-9909

Professional Engineering Corporation #00472

**Walmart** #00820-281

2150 Main Street  
Boonville, Cooper County, Missouri  
Walmart, Inc. 2608 SE J Street  
Bentonville, AR 72716

DRAWN S.A.M.  
CHECKED R.G.R.  
DATE 09/29/25  
SCALE 1"=20'  
JOB No. 8119  
SHEET NAME

**DEMOLITION AND SITE CONSTRUCTION PLAN**

**SECP-2**

SITE DEMOLITION SPECIFICATION

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
1. Demolition of structures, paving, and utilities.
2. Patching and filling voids created as a result of removals or demolition.

1.2 REGULATORY REQUIREMENTS

- A. Compliance with all laws, including Safety Laws, Environmental Laws, Stormwater Laws and Worker Verification Laws as well as requirements found within the Contract Documents and these Specifications, that pertain to Safety Compliance, Environmental Compliance, Stormwater Compliance and Worker Verification Compliance.
B. Notify affected utility companies before starting work and comply with their requirements.
C. Do not close or obstruct public or private roadways, sidewalks, or fire hydrants without appropriate permits or written authorization.
D. If hazardous, contaminated materials or other environmental related conditions are discovered, stop work immediately and notify the Wal-Mart Construction Manager for action to be taken.

1.3 PROJECT CONDITIONS

- A. Conditions existing at time of inspection for bidding purposes will be maintained by Owner as reasonably practical.
B. Unless otherwise indicated in Contract Documents or specified by the Owner, items of salvageable value to Contractor shall be removed from site and structures.

PART 2 - PRODUCTS

2.1 FILL MATERIALS

- A. Fill material shall be aggregate fill materials consisting of stone, gravel, or sand free from debris, trash, frozen materials, roots, and other organic matter.

2.2 CONCRETE

- A. Mix concrete and deliver in accordance with ASTM C 94.
B. Design mix to produce normal weight concrete consisting of Portland cement, aggregate, water reducing admixture, air entraining admixture, and water to produce following:
1. Compressive Strength: 3,500 psi, minimum at 28 days, unless otherwise indicated on the Drawings.
2. Slump Range: 1 to 3-inches at time of placement
3. Air Entrainment: 5 to 8 percent

PART 3 - EXECUTION

3.1 PREPARATION

- A. Provide, erect, and maintain erosion control devices, temporary barriers, and security devices at locations indicated on Construction Drawings.
B. Protect existing landscaping materials, appurtenances, and structures, which are to be demolished.
C. Prevent movement or settlement of adjacent structures.
D. Mark location of utilities.
E. For work on operating Walmart sites, prior to any underground excavation, contractor is expected to obtain current and representative underground utility plans from Walmart for private utilities that are not located by others.
F. Notify adjacent property owners of work that may affect their property, potential noise, utility outages, or other disruptions.

3.2 GENERAL DEMOLITION REQUIREMENTS

- A. Conduct demolition to minimize interference with adjacent structures or pavements to remain.
B. Cease operations immediately if adjacent structures appear to be in danger.
C. Conduct operations with minimum of interference to public or private access.
D. Sprinkle work with water to minimize dust.
E. Comply with governing regulations pertaining to environmental protection.
F. Clean adjacent structures and improvements of dust, dirt, and debris caused by demolition operations.

3.3 DEMOLITION

- A. Demolish site improvements designated to be removed as shown on the drawings.
B. Disconnect and cap or remove utilities to be abandoned as shown on the drawings.
C. Fill or remove piping and appurtenances as shown.
D. Demolish concrete and masonry in small sections. Break up concrete slabs on grade that are 2-feet or more below proposed subgrade to permit moisture drainage.

3.4 PATCHING

- A. Where improvements are removed from paved areas, pavements shall be sawcut in straight lines at the perimeter and patched.
B. Pavement patches shall be paved with minimum 6" concrete, broom finished and flush with adjacent grades.

3.5 FILLING VOIDS

- A. Completely fill below grade areas and voids resulting from demolition or removal of structures, etc., using aggregate fill materials consisting of stone, gravel, or sand free from debris, trash, frozen materials, roots, and other organic matter.
B. Areas to be filled shall be free of standing water, frost, frozen or unsuitable material, trash, and debris prior to fill placement.
C. Place fill materials in lifts not to exceed 6 inches loose measure and compacted to 95 percent of maximum laboratory density per ASTM D698 with moisture content of not less than 1 percent below and not more than 3 percent above optimum moisture content.
D. Grade surface to match adjacent grades and to provide flow of surface drainage after fill placement and compaction.

3.6 DISPOSAL OF DEMOLISHED MATERIALS

- A. Remove from site debris, rubbish, and other materials resulting from demolition operations.
B. No burning of any material, debris, or trash on site or off site will be allowed.
C. Transport materials removed from demolished structures with appropriate vehicles and dispose off-site to areas that are approved for disposal by governing authorities and appropriate property owners.

END OF SECTION

PAVEMENT MARKINGS SPECIFICATION

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
1. Painting and marking of pavements, curbs, and guard posts (bollards).

1.2 REFERENCES

- A. The publications listed below form a part of this specification to the extent referenced.
B. American Association of State Highway and Transportation (AASHTO):
1. AASHTO M247 - Glass Beads Used in Traffic Paints
2. AASHTO M248 - Ready-Mixed White and Yellow Traffic Paints
C. Master Painter's Institute (MPI):
1. MPI 32 - Traffic Marking Paint, Solvent Based.
2. MPI 97 - Traffic Marking Paint, Latex.
D. ASTM International (ASTM):
1. ASTM D4414 - Standard Practice for Measurement of Wet Film Thickness by Notched Gauges.
E. Federal Specifications (FS):
1. FS A-A-2886 - Paint, Traffic, Solvent Based (supersedes FS TT-P-85 and FS TT-P-115, Type I)
2. FS TT-B-1325 - Beads (Glass Spheres) Retro-Reflective
3. FS TT-P-1952 - Paint, Traffic And Airfield Marking, Waterborne

1.3 PROJECT CONDITIONS

- A. Maintain access for vehicular and pedestrian traffic as required for other construction activities. Utilize flagmen, barricades, warning signs, and warning lights as required.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. Paint shall be waterborne or solvent borne, colors as shown or specified herein.
B. Waterborne Paint: Paints shall conform to FS TT-P-1952 and have MPI 97 approval.
C. Solvent Borne Paint: Paint shall conform to FS A-A-2886 or AASHTO M248 and have MPI 32 approval.
D. Glass Beads: AASHTO M 247, Type 1 or FS TT-B-1325, Type 1, Gradation A.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine the work area and correct conditions detrimental to timely and proper completion of the work. Do not proceed until unsatisfactory conditions are corrected.

3.2 PREPARATION

- A. Sweep and clean surface to eliminate loose material and dust.
B. Where existing pavement markings are indicated on Construction Drawings to be removed or would interfere with adhesion of new paint, a motorized abrasive device or soda blasting shall be used to remove the markings.

3.3 CLEANING EXISTING PAVEMENT MARKINGS

- A. Remove existing pavement markings which are in good condition but interfere or conflict with the newly applied marking patterns and as noted on plans. Deteriorated or obscured markings that are not misleading or confusing or do not interfere with the adhesion of the new marking material do not require removal.

3.4 APPLICATION

- A. Apply two coats of same color of paint as specified below, at manufacturer's recommended rate, without addition of thinner, with maximum of 100 square feet per gallon or as required to provide a minimum wet film thickness of 15 mils and dry film thickness of 7 1/2 mils per coat.
B. Install pavement markings according to manufacturer's recommended procedures for the specified material.
C. Following items shall be painted with colors noted below:
1. Pedestrian Crosswalks: White
2. Exterior Sidewalk Curbs and Guard posts: Yellow
3. Exterior Light Pole Bases: Yellow (unless otherwise noted on Construction Detail).
4. Fire Lanes: Red or per local code.
5. Lane Striping where separating traffic moving in opposite directions: Yellow.
6. Lane Striping where separating traffic moving in the same direction: White.
7. ADA Symbols: Blue or per local code.
8. ADA parking space markings as shown on the drawings.
9. Parking Stall Striping: Yellow, unless otherwise noted on Construction Drawings.
10. Associate Parking Area: White, unless otherwise noted on Construction Drawings.
D. Apply glass beads at pedestrian crosswalk striping and at lane striping and arrows at driveways connecting to public streets.

3.5 FIELD QUALITY CONTROL

- A. Field quality control shall be the responsibility of the Contractor. Field quality control testing and inspection shall be at the discretion of the Contractor as necessary to assure compliance with Contract requirements.

3.6 CLEANING

- A. Waste materials shall be removed at the end of each workday. Upon completion of the work, all containers and debris shall be removed from the site. Paint spots upon adjacent surfaces shall be carefully removed by approved procedures that will not damage the surfaces and the entire job left clean and acceptable.

END OF SECTION

TRAFFIC SIGNS AND SIGNALS SPECIFICATION

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
1. Traffic control signs.
B. Related Requirements:
1. Section 09900 - Painting. Painting for painted posts where shown on the Drawings.

1.2 REFERENCES

- A. The publications listed below form a part of this specification to the extent referenced.
B. ASTM International (ASTM):
1. ASTM A53 - Pipe, Steel, Black and Hot Dipped, Zinc Coated Welded and Seamless.
2. ASTM C94 - Ready Mix Concrete
3. ASTM D4956 - Retroreflective Sheeting for Traffic Control.
C. US Department of Transportation, Federal Highway Administration:
1. Manual on Uniform Traffic Control Devices (MUTCD).

PART 2 - PRODUCTS

2.1 SIGNS

- A. Conform to US Department of Transportation MUTCD, Sign classification, type, size, and color shall be as shown on the drawings
B. Retroreflectivity: Microprismatic type, diamond grade reflective sheeting conforming to ASTM D 4956, Type XI.

2.2 POSTS

- A. Square Post: Square tubular steel sign post, galvanized, 12 ga, perforated full-length with 7/16 inch holes on four sides.
B. Steel Pipe: ASTM A 53, Type E (electric-resistance welded) or Type S (seamless), Grade B, Schedule 40, size as shown on the Drawings.

2.3 CONCRETE

- A. Mix concrete and deliver in accordance with ASTM C 94.
B. Design mix to produce normal weight concrete consisting of Portland cement, aggregate, water reducing admixture, air entraining admixture, and water to produce following:
1. Compressive Strength: 3,500 psi, minimum at 28 days, unless otherwise indicated on the Drawings.
2. Slump Range: 1 to 3-inches at time of placement
3. Air Entrainment: 5 to 8 percent

PART 3 - EXECUTION

3.1 PREPARATION

- A. Field verify underground utilities prior to sign installation. Primary utilities of concern of shallow depths are lawn sprinkler systems, electric, telephone, fiber optic, cable and gas.

3.2 INSTALLATION

- A. Install signs as shown on the Drawings and in accordance with MUTCD and manufacturer's instructions.
B. Install signs of the type and at locations shown on the Drawings.
C. Install posts of the type as shown on the drawing.
D. Where shown as painted, field paint steel pipe posts in accordance with Section 09900.

END OF SECTION

SEAL COAT SHALL BE APPLIED WHERE EXISTING MARKINGS ARE REMOVED.

SMALL PROJECT SEAL COAT SPECIFICATION:

IN GENERAL:

- CRACK FILLING AND OIL SPOT TREATMENTS ARE NOT REQUIRED PRIOR TO SEAL COAT. OTHER THAN THESE EXCEPTIONS, PREPARE AND CLEAN AREA TO BE SEAL COATED CONSISTENT WITH MANUFACTURER'S INSTRUCTIONS AND SPECIFICATION.

APPROVED MATERIALS:

- 1) STAR PRODUCTS
MICRO-PAVE PRO-BLEND WITH ADDED SAND
SINGLE COAT
2) SEAL MASTER
POLYMER MODIFIED MASTERSEAL WITH ADDED SAND
SINGLE COAT
3) GEM SEAL BLACK DIAMOND XL
WITH ADDED SAND
SINGLE COAT

MATERIALS IDENTIFIED IN SPECIFICATION SECTION 02787 CAN BE USED. COAL TAR BASED SEAL COAT MATERIALS IN ANY FORM ARE PROHIBITED.

Three working days prior to the start of any excavation on this site the Contractor shall contact 811 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

Table with 2 columns: REVISIONS, Description. Rows 1-4.

BFA Engineering & Surveying logo and contact information.

Professional Engineer seal for Rick G. Rohlfing, P.E. #29409, State of Missouri, License #000472.

Walmart logo and address: 2150 Main Street, Boonville, Cooper County, Missouri. Walmart, Inc. 2608 SE J Street, Bentonville, AR 72716.

Table with 2 columns: Field, Value. Rows: DRAWN, CHECKED, DATE, SCALE, NO SCALE, JOB No., SHEET NAME.

SPECIFICATIONS SHEET 1

CSS-1

SECTION 02787 (32 1236) - SEAL COAT  
PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
1. Seal coats using a polymer-modified asphalt emulsion blended with fine aggregate.
- B. Related Requirements:
1. Section 02740 – Asphaltic Concrete Paving.
  2. Section 02765 – Pavement Marking

1.2 REFERENCES

- A. The publications listed below form a part of this specification to the extent referenced. Publications are referenced within the text by the basic designation only.
- B. ASTM International (ASTM)

1. ASTM C 136 – Method of Sieve Analysis of Fine and Coarse Aggregate
2. ASTM D 217 – Method for Cone Penetration of Lubricating Grease
3. ASTM D 244 – Test Methods for Emulsified Asphalts
4. ASTM D 562 – Method for Consistency of Paints Measuring Krebs Unit (KU) Viscosity Using a Stormer-Type Viscosimeter
5. ASTM D 977 – Emulsified Asphalt
6. ASTM D 2397 – Cationic Emulsified Asphalt
7. ASTM D 2042 – Method for solubility of Asphalt Materials in Trichloroethylene
8. ASTM D 3910 – Practice for Design, Testing, and Construction of Slurry Seal
9. ASTM D 6690 – Joint and Crack Sealants, Hot Applied, for Concrete and Asphalt Pavements

1.3 ADMINISTRATIVE REQUIREMENTS

- A. Pre-installation Meeting: Convene a pre-installation meeting at the site at least two weeks prior to commencing work of this Section. Require attendance of parties directly affecting work of this Section, including, but not limited to, the Owner's representative, CTL's representative and inspector, Contractor, and job foreman.
1. Contact Wal-Mart Construction Manager three weeks prior to pre-installation conference to confirm schedule.
  2. Record discussions of meeting and decisions and agreements reached, and furnish copy of record to each party attending. Review foreseeable methods and procedures related to paving work, including the following:
    - a. Review preparation and installation procedures and coordinating and scheduling required with related work.
    - b. Review proposed sources of materials.
    - c. Tour, inspect, and discuss condition of existing pavement and other preparatory work such as patching, crack sealing, and oil spot priming/repair.
    - d. Review requirements for protecting paving work, including restriction of traffic during installation and curing period.
    - e. Review and finalize construction schedule and verify availability of materials, installer's personnel, equipment, and facilities needed to make progress and avoid delays.
    - f. Review paving requirements (drawings, specifications, and other contract documents).
    - g. Review required submittals, both completed and yet to be completed.
    - h. Review required inspections, testing procedures.
    - i. Review weather and forecasted weather conditions, and procedures for coping with unfavorable conditions.
    - j. Review health and safety precautions relating to handling and placement of seal coat.

1.4 QUALITY ASSURANCE

- A. Contractor Qualifications: The seal coat applicator shall have not less than 3 years documented experience in the application of emulsion seal coats.

1.5 SUBMITTALS

- A. Product Data: Submit the manufacturer's product information for oil spot primer.
- B. Certificates:
1. Submit manufacturer's certification that each consignment of emulsion shipped to the project meets the requirements of the applicable specification for the emulsion specified, except that the water content shall not exceed 50 percent. The certification shall also indicate the solids content of the emulsion and the date the tests were conducted.
  2. Submit certification of placement in accordance with specification requirements as specified in Part 3 Field Quality Control.
- C. Qualification Statements: Submit contractor qualifications certification.
- D. Mix Design:
1. Submit mix design and emulsion properties to the Civil Engineering Consultant of Record at least 30 days prior to beginning sealing operations. Mix designs over one year old will not be accepted.
  2. Submit approved mix designs and laboratory test results to CTL signed by the materials producer and Contractor certifying materials and mix ratios conform to the requirements specified herein.
- E. Calibration Results: Submit report of spreading equipment calibration tests.

1.6 SITE CONDITIONS

- A. Weather Limitations: Apply seal coat only under the following weather conditions:
1. The atmospheric temperature is between 50 and 90 F and is expected to remain above 50 F for 24 hours.
  2. Pavement temperature is above 55 F.
  3. Surface is dry and no moisture is expected within 24 hours.
  4. Weather and wind conditions are such that overspray is preventable and will allow proper curing and opening to traffic within a reasonable time.
- B. Maintain access for vehicular and pedestrian traffic as required by the Wal-Mart Construction Manager. Utilize temporary striping, flagmen, barricades, warning signs, and warning lights as required.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. Subject to compliance with requirements, provide seal coat products by one of the following:
1. SealMaster Pavement Products & Equipment, (800) 395-7325.
  2. Star Specialty Technology and Research, Columbus, OH (800) 759-1912.
  3. Neyra Industries, Cincinnati, OH (800) 543-7077.

2.2 PRODUCTS

- A. Water-based, polymer modified asphalt emulsion seal coat formulated for site-mixing with water and aggregate per ASTM 8099. Provide one of the following:
1. Polymer Modified Materseal (PMM), bt SealMaster, with added sand.
  2. Micro-Pave Pro-Blend Professional Grade Asphalt Emulsion Pavement Sealer, by Star, with added sand.
  3. Neyra AE Asphalt Pavement Sealer, by Neyra, with added sand.
  4. Or, Owner approved equivalent.

2.3 MATERIALS

- A. Aggregate: Aggregate shall be 100 percent passing the No. 16 (1.18 mm) sieve when tested in accordance with ASTM C 136. Aggregate shall consist of hard, washed, dry natural or manufactured particles free of dust, trash, clay, organic materials or other contaminants.
- B. Sand: Sand shall be clean, hard, and irregular silica sand, free of dust, trash, clay, organic materials or other contaminants. When tested in accordance with ASTM C 136, sand with AFS rating of 50 to 70, with less than 2% retained on 30 mesh, less than 10% retained on 140 mesh, and less than 0.3% retained on 200 mesh screen, is recommended.
- C. Asphalt Emulsion: Comply with ASTM D977 or ASTM D2397 for SS-1h or CSS-1h. The penetration of the residue from the distillation test shall be 20 to 60. Clay stabilized emulsion, with a ph not greater than 7.0, and solids content not less than 45 percent may be used. The polymer material shall be milled or blended into the asphalt or emulsifier solution prior to the emulsification process. The minimum amount and type of polymer modifier shall be determined by the laboratory performing the mix design.
- D. Coal Tar: Coal tar emulsion or coal tar/asphalt emulsion shall not be used as a substitute for asphalt emulsion.
- E. Polycyclic Aromatic Hydrocarbon (PAH): Products must contain less than 0.1% (1,000 ppm) Polycyclic Aromatic Hydrocarbon (PAH) content by weight.

F. Water: Water shall be potable and free of harmful soluble salts or reactive chemicals and any other contaminants and at least 50 F.

G. Additives: Additives shall be included and approved as part of the mix design and be compatible with the other components of the mix.

H. Crack Sealant: Crack sealant shall conform to ASTM D6690, Type II or higher and compatible with the specified seal coat emulsion.

I. Oil Spot Primer: Oil spot primer shall be a quick drying latex emulsion with suitable admixtures manufactured specifically for the purpose of isolating the asphalt seal coat from any residual oils, petroleum grease, and gasoline stained pavement. The oil spot primer shall be certified for compatibility with the specified emulsion by the manufacturer of the emulsion.

J. Pavement Primer/Tack Coat: Pavement primer/tack coat shall consist of one part SS1h emulsion diluted with four parts water applied at an undiluted emulsion rate of 0.05 to 0.10 gal/SY (diluted emulsion rate of 0.25 to 0.50 gal/SY).

2.4 COMPOSITION

A. Composition. Seal coat shall consist of a mixture of the specified emulsion, water, aggregate, and additives and be proportioned to meet the requirements shown in the following Table 1.

TABLE 1 – Undiluted Seal Coat Design Properties

Method	Minimum	Maximum
Weight (per gallon), ASTM D 244, lbs	9.0	
Cone Penetration, ASTM D 217, mm	340	700
% Non-Volatile <sup>1</sup>	50	
% Non-Volatile Residue Soluble in Trichloroethylene, ASTM D 2042	10	35
Wet Track Abrasion Loss, ASTM D 3910, g		35
Viscosity, ASTM D 562, KU	75	
Dried Film Color	Black	

<sup>1</sup>Weigh 10 g of homogeneous product into a previously tared, small ointment can. Place in an oven at 325°F for 90 minutes. Cool, reweigh and calculate non-volatile residue as a percent of the original mass.

2.5 EQUIPMENT

A. Distributors. Distributors or spray units used for the spray application of the seal coat shall be self propelled and capable of uniformly applying 0.10 to 0.30 gallons per square yard of material over the required width of application. Distributors shall be equipped with tachometers, pressure gauges, and volume measuring devices. The mix tank shall have a mechanically powered, full sweep, mixer with sufficient power to move and homogeneously mix the entire contents of the tank.

B. Spray Nozzles. Nozzles shall be free from clogs and debris and set at the same angle.

C. Mixing Equipment. The mixing machine shall have a continuous flow mixing unit capable of accurately delivering a predetermined proportion of aggregate, water, and emulsion, and of discharging the thoroughly mixed product on a continuous basis. The mixing unit shall be capable of thoroughly blending all ingredients together and discharging the material without segregation.

D. Spreading Equipment. Spreading equipment shall be a mechanical type squeegee/brush distributor attached to the mixing machine, equipped with flexible material in contact with the surface to prevent loss of slurry from the spreader box. It shall be maintained to prevent loss of slurry on varying grades and adjusted to assure uniform There shall be a lateral control device and a flexible strike off capable of being adjusted to lay the slurry at the specified rate of application. The spreader box shall have an adjustable width. The box shall be kept clean. Emulsion and aggregate build up on the box shall not be permitted.

E. Clean equipment with a petroleum solvent if previously used with a different material.

F. Hand Squeegee or Brush Application. Hand spreading application shall be used only in places not accessible to the mechanized equipment or to accommodate near trim work at curbs, etc. Material that is applied by hand shall meet the same standards as that applied by machine.

G Calibration. Spreading equipment shall be provided with a method of calibration by the manufacturer. Equipment shall be calibrated to assure that it will produce and apply a mix that conforms to the job mix formula. Calibrations shall be made with the approved job materials prior to application of the seal coat.

2.6 PREPARATION

A. A period of at least 60 days at +70 F daytime temperatures shall elapse between the placement of a hot mixed asphalt concrete surface course and the application of the seal coat except as permitted for remediation patching below.

B. Remediate distressed areas of existing pavement by saw-cutting and removing existing pavement, regrading and compacting the underlying base course and replacing with full depth asphalt at locations and as shown on the drawings.

1. Repairs not specifically shown on the plans but considered necessary by the CEC, the Geotechnical Engineer, or the CTL shall be identified and submitted as an RFI to the Construction Manager (CM) prior to commencement of repairs.
2. Repairs submitted by RFI and approved shall be performed as directed by the CEC. Cost for such work directed and performed will be paid for in accordance with the "Changes in the Work" Clause of the General Conditions.
3. Repairs shall be completed 30 days prior to the application of the seal coat.

C. Longitudinal and traverse cracks in excess of 0.25 inch, but less than 1 inch shall be sealed with a crack sealant. Cracks that contain weed or other live vegetable matter shall be treated with a locally approved, non-oil based sterilant prior to applying the crack filler.

D. Existing crack sealants in the parking lot shall be evaluated for compatibility with the specified emulsion. Report to the Engineer of Record if appearance or performance of the seal coat will be compromised by the existing crack sealant materials.

E. Remove oil drippings or grease buildup determined by the CEC to be detrimental to the subsequent seal coat performance by scraping excessive buildup and by steam cleaning. Prevent oil contaminated water from entering storm sewer inlets. After cleaning, treat cleaned areas with the oil spot primer.

F. Immediately prior to applying the primer and seal coat, the surface shall be cleared of all loose material, dirt, dust, grease, oil, vegetation and other objectionable material. If water is used, cracks shall be allowed to dry thoroughly before applying the seal coat.

G. Protect existing manholes, inlets, vaults, valve boxes, meter boxes, etc. as necessary to maintain free accessibility upon completion of seal coat application. Surfaces adjacent to seal coat application areas such as sidewalks, curb and/or gutter, storefronts, etc. shall be protected by use of felt paper anchored with clean aggregate, or by shielding components with plywood during application.

H. Apply a primer/tack coat at a rate of 0.05 to 0.10 gal/sq.yd. Remove loose gravel by sweeping prior to application of primer.

I. Coordinate limits of seal coat application operations with Owner's Construction Manager and Store Manager to avoid interruption to store operations. Protect adjacent areas of the parking lot outside of current seal coat application limits to avoid tracking onto adjacent areas. Partition off limits of current seal coat operations until surface is traffic ready.

J. Coordinate with Store Manager to deactivate lawn sprinkler systems least 48 hours prior to placing the seal coat and remain off for at least 24 hours after the seal coat application.

2.7 APPLICATION

A. Add water and sand at manufacturer's recommended rates and mix emulsion in accordance with manufacturer's instructions.

B. Apply seal coat at a total rate (undiluted) of 0.24-0.28 gal./SY.

C. The Minimum/Maximum application rate shall be between 0.10 and 0.17 gal/SY per application.

D. Dampen pavement with a fog spray of water if ambient temperatures exceed 80°F. No standing water shall remain on the surface.

E. Apply the first coat uniformly in a manner such that the combined application of the first and second coats equal the total rate specified above.

F. Suspend application when the distribution tank has less than 100 gallons left and refill to prevent irregular patterns or misses.

G. Each coat shall be allowed to dry and cure initially a minimum of 2-4 hours before applying any subsequent coats. The initial drying shall allow evaporation of water of the applied mixture, resulting in the coating being able to sustain light foot traffic. The initial curing shall enable the mixture to withstand vehicle traffic without damage to the seal coat.

H. Apply the second coat in the same manner as outlined for the first coat.

I. Apply additional coats if and where necessary as determined by the CEC.

1. Submit an RFI identifying extent of additional coats for approval prior to application.
2. Apply additional coats in accordance with RFI approval. Cost for such additional work directed and per-formed will be paid for in accordance with the "Changes in the Work" Clause of the General Conditions.

J. The finished surface shall present a uniform texture with no streaks.

K. The final coat shall be allowed to dry a minimum of eight hours in dry daylight conditions before opening to traffic, and initially cure enough to support vehicular traffic without damage to the seal coat.

L. Where marginal weather conditions exist during the eight hour drying time, additional drying time shall be allowed. The length of time shall be as specified by the supplier. The surface shall be checked after the additional drying time for trafficability before opening the section to vehicle traffic.

2.8 FIELD QUALITY CONTROL

A. Certify in writing that the seal coat placement is in accordance with specification requirements.

END OF SECTION

REVISIONS

NO.	DESCRIPTION
1	
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TELEPHONE: (636) 239-4751  
BFA  
Engineering • Surveying  
103 ELM STREET  
WASHINGTON, MISSOURI 63090

RICK G. ROHRIG  
Professional Engineer for  
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#000472  
BFA, Inc. Professional Engineering Corporation

Walmart #00820.281  
2150 Main Street  
Boonville, Cooper County, Missouri  
Walmart, Inc. 2608 SE J Street  
Bentonville, AR 72716

DRAWN	S.A.M.
CHECKED	R.G.R.
DATE	09/29/25
SCALE	NO SCALE
JOB No.	8119
SHEET NAME	

Three working days prior to the start of any excavation on this site the Contractor shall contact 811 for utility location information.

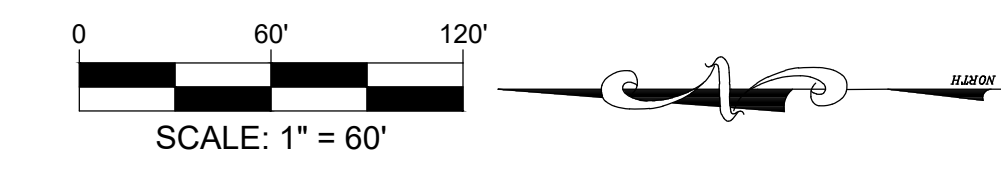
The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

SPECIFICATIONS SHEET 2

CSS-2

# OVERALL SITE PLAN

(IMAGE BASED ON GOOGLE MAPS AERIAL)



**NOTES:**  
BFA ENGINEERING'S SCOPE OF WORK FOR REVISED SITE PLAN INCLUDES DESIGN AND IMPROVEMENTS WHICH ARE LIMITED ONLY TO HIGHLIGHTED AREAS. ORIGINAL PROVIDED SITE PLAN WAS DESIGNED BY OTHERS AND/OR AERIAL PHOTO TAKEN FROM GOOGLE.

PLAN IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT TO SCALE. REFERENCE DETAILS FOR LOCATION OF SIGNAGE.

ACTUAL SITE FEATURES MAY BE DIFFERENT THAN THOSE SHOWN ON THIS AERIAL PHOTO, INCLUDING BUT NOT LIMITED TO PARKING, UTILITIES, LANDSCAPING, LIGHTING, SIDEWALKS, ETC.

PICKUP DIRECTIONAL SIGNAGE HAS ALREADY BEEN INSTALLED ON THIS SITE. CONTRACTOR SHALL REMOVE EXISTING ORANGE PICKUP SIGNAGE AND REPLACE THEM WITH NEW WALMART BLUE DIRECTIONAL SIGNAGE AS SHOWN. NEW WALMART BLUE SIGNS, POSTS, AND BASES ARE REQUIRED. THERE ARE EXISTING SIGN POSTS THAT ARE TO BE REMOVED.

PROPERTY LINE

APPROXIMATE LOCATION OF PROPOSED OPD EXPANSION

APPROXIMATE LOCATION OF PROPOSED PICKUP AREA

APPROXIMATE LOCATION OF EXISTING PICKUP AREA

EXISTING WALMART ORANGE PICKUP RIGHT SIGN WITH POST AND BOLLARD TO BE REMOVED

EXISTING WALMART ORANGE PICKUP LEFT AND PICKUP RIGHT SIGN WITH BREAK-AWAY POST TO BE REMOVED. NEW WALMART BLUE PICKUP RIGHT SIGN WITH NEW BREAK-AWAY POST.

NEW WALMART BLUE PICKUP AHEAD SIGN WITH BREAK-AWAY POST.

NEW WALMART BLUE PICKUP RIGHT SIGN WITH BREAK-AWAY POST

NEW WALMART BLUE PICKUP LEFT SIGN WITH POST AND BOLLARD

### CONSTRUCTION COORDINATION

CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH THE STORE MANAGER AND WALMART CONSTRUCTION MANAGER THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL PREPARE, INSTALL, MAINTAIN, AND REMOVE TEMPORARY CONSTRUCTION FENCES, BARRIERS, TRAFFIC CONTROL SIGNAGE, ETC. CONTRACTOR SHALL MAINTAIN SAFE DELIVERY TRUCK ROUTES, CUSTOMER PARKING AND DRIVES, AS WELL AS PEDESTRIAN WALKWAYS.

**DEWATERING NOTE:** WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE, AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO SITE SPECIFIC SPECIFICATIONS.

### PICKUP EXTERIOR SIGN SCHEDULE

DESCRIPTION	DIMENSIONS	QUANTITY
WAITING SPACES LEFT	18 X 24	
WAITING SPACES RIGHT	18 X 24	
WAITING SPACES AHEAD	18 X 24	
RESERVED WAITING	18 X 24	
PICKUP LEFT PHARMACY RIGHT	18 X 24	
PICKUP RIGHT PHARMACY LEFT	18 X 24	
STOP THANKS FOR ORDERING	18 X 36	
PICKUP HOURS	18 X 18	
RESERVED	18 X 18	
PHONE NUMBER	8 X 18	
VERTICAL PICKUP	18 X 36	
PICKUP LEFT	18 X 24	1
PICKUP AHEAD	18 X 24	1
PICKUP RIGHT	18 X 24	2
PICKUP BANNER AND MOUNTING HARDWARE	24 X 60	
TEMPORARY PARKING SIGN WITH PYRAMID BASE	24 X 60	

CONTRACTOR SHALL REMOVE PAVEMENT, BASE MATERIALS, AND SPOIL SPECIFICATIONS AS WELL AS APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS. STOCKPILING OF THESE MATERIALS ON THE SITE IS PROHIBITED.

### CAUTION - NOTICE TO CONTRACTOR REGARDING EXISTING UTILITIES

THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE PERFORMING ANY CONSTRUCTION ACTIVITIES TO REQUEST FIELD LOCATIONS OF THEIR UTILITIES. THE CONTRACTOR MUST BE AWARE THAT SOME EXISTING UTILITIES, SUCH AS UNDERGROUND ELECTRIC LINES SERVING PARKING LOT LIGHTING, STORM SEWER LINES, PRIVATE WATER AND SANITARY LINES, CABLES FOR SECURITY CAMERAS, ETC. MAY NOT BE LOCATED BY LOCAL OR STATE UTILITY COMPANIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE NECESSARY ACCOMMODATIONS TO ACCURATELY LOCATE ALL EXISTING UTILITIES.

ALL EXISTING UTILITIES SERVING WALMART, WALMART'S PROPERTY, OR ADJACENT DEVELOPMENTS SHALL REMAIN IN PLACE AND OPERATIONAL AT ALL TIMES DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE EXISTING UTILITIES WHEN NECESSARY TO FACILITATE THE REQUIRED IMPROVEMENTS SHOWN BY THESE PLANS. THE CONTRACTOR MUST COORDINATE ANY RELOCATIONS OR MODIFICATIONS TO THE EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANY, THE WALMART MANAGER AND WALMART CONSTRUCTION MANAGER.

Three working days prior to the start of any excavation on this site the Contractor shall call 811 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved site-plan requirements established for the type of construction required by these plans.

### REVISIONS

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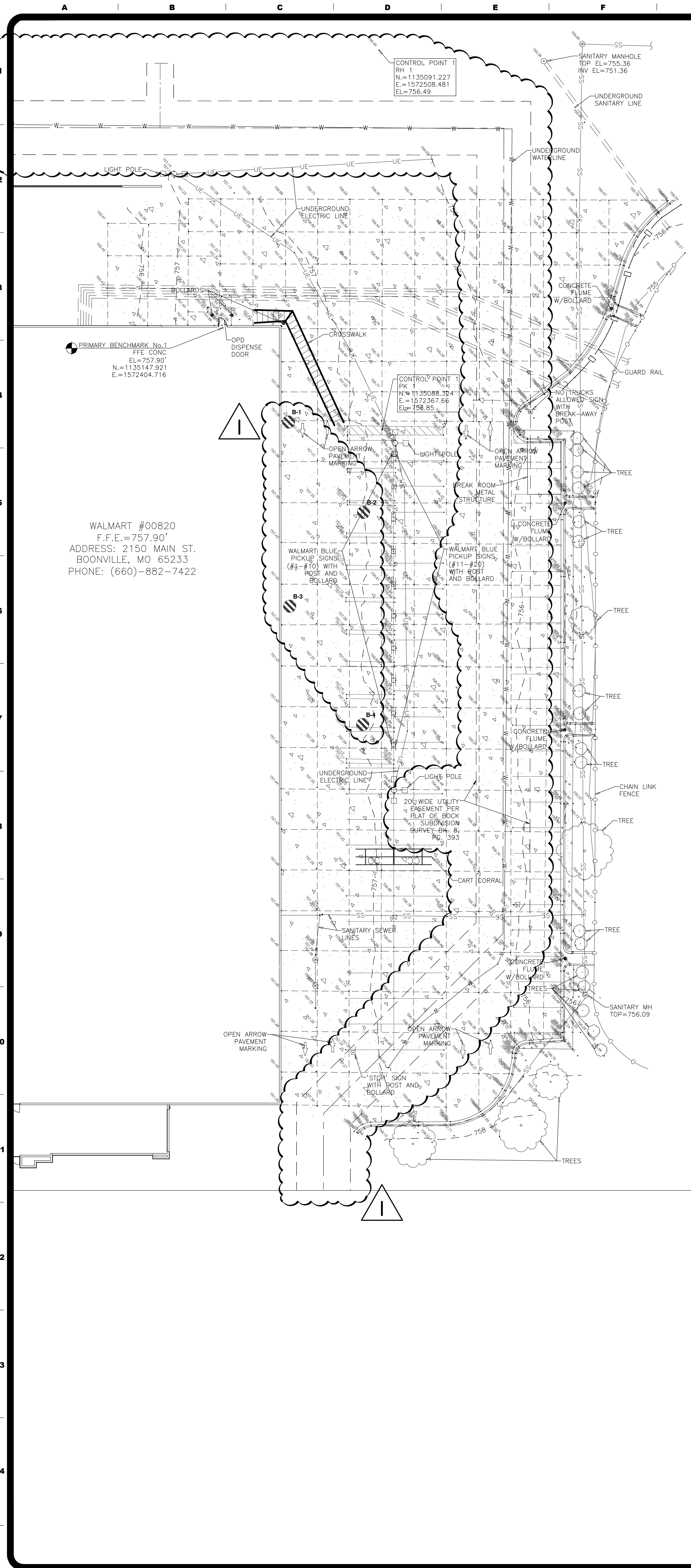
TELEPHONE: (636) 239-4751  
**BFA**  
 Engineering-Surveying  
 103 ELM STREET  
 WASHINGTON, MISSOURI 63090

Rick C. Rehling, P.E. #29409  
 Registered Professional Engineer for State of Missouri  
 BFA, Inc. Professional Engineering Corporation #000472

**Walmart** #00820-281  
 2150 Main St.  
 Booneville, Cooper County, Missouri  
 Walmart, Inc. 2608 SE J Street  
 Bentonville, AR 72716

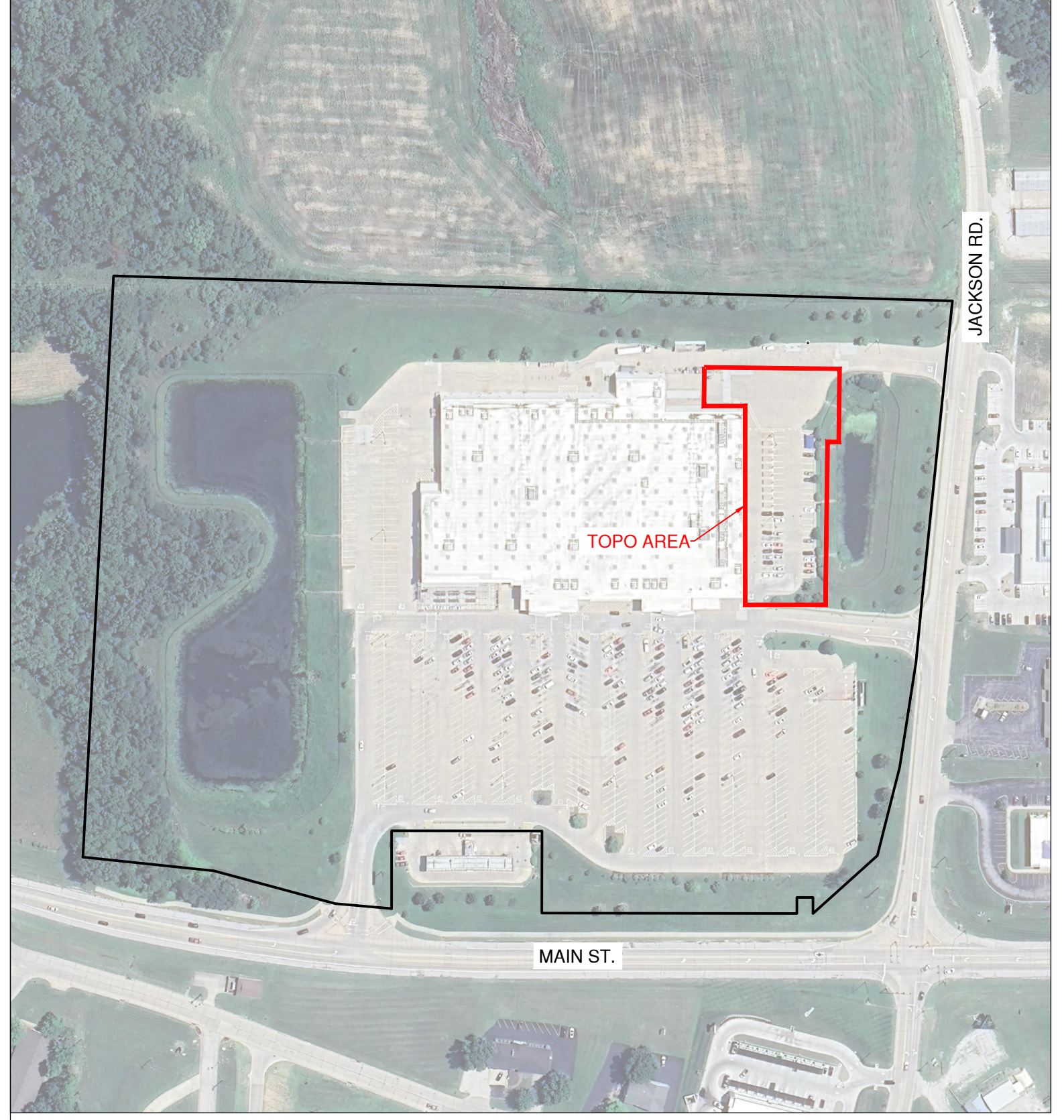
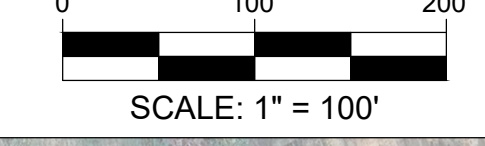
DRAWN: J.S.G.  
 CHECKED: R.G.H.  
 DATE: 09/29/2025  
 SCALE: 1" = 60"  
 JOB No.: 8119A  
 SHEET NAME: OVERALL SITE PLAN

OSP-1



**KEY MAP**

(IMAGE BASED ON GOOGLE MAPS AERIAL)



**TOPOGRAPHIC SURVEY**

(THIS IS NOT A BOUNDARY SURVEY)



- TOPOGRAPHIC SURVEY NOTES:**
- Underground facilities, structures, and utilities have been plotted from available surveys and records. Therefore, their location must be considered approximate only. There may be others, the existence of which is presently not known.
  - Bearings referenced to Grid North of the Missouri Coordinate System 1983, Central Zone per GPS observations utilizing the MoDOT VRS RTK Network.
  - Field work was completed on this site by BFA Inc. on July 24, 2025.
  - Contractor shall verify elevation of temporary benchmarks based on the elevation of the primary benchmark, prior to the start of construction. Contractor shall notify engineer if elevations differ from those shown on these plans.  
Temporary Benchmark - Egress Door = 757.90
  - This site is within Zone X areas of 0.2% flooding as per Federal Emergency Management Agency Flood Insurance Rate Map, Panel 155 of 475, Community-Panel No. 22053001550, Map Date: May 3, 2011.
  - Soil boring locations shown on this plan were taken from the subsurface exploration and evaluation report prepared by SOI Engineering, Inc. dated October 29, 2025. Their locations are to be considered approximate only.
  - Existing curbs and gutters on site are vertical. Curbs and gutters along asphalt paved areas are 18" wide with 6" curb and 12" wide gutter.
  - This site is Zoned C-P "Planned Business District" as per the City of Boonville, MO.
  - Building setback lines are:  
There shall be a setback from any street of at least 30 feet for any building, and ten feet for any parking lot. Along any other property line, within or adjoining a zoned business district, there shall be a setback for any building or structure of at least ten feet, unless, for good cause shown, the City Council adjust such setback.  
Along any other property line abutting or adjoining a zoned dwelling house district, there shall be a setback of at least ten feet for any building or parking lot. The Planned Business District shall be permanently screened from such abutting or adjoining properties zoned for dwelling house use by wall, fence or other suitable enclosure at least six feet in height. The area adjacent to such wall or fence shall be planted with trees and shrubs to form an ornamental screen, and trees and shrubs shall be properly and adequately maintained by the developer.  
The building line along any street shall be consistent with the building line established in any neighboring residential districts. The Planning Commission may recommend to the City Council a reduction in the above required setbacks where the situation will reasonable warrant such reductions, and the City Council may, in their discretion, adjust such setbacks.
  - There is currently irrigation system on site.
  - Water service to this site is provided by City of Boonville.
  - Sanitary sewer service to this site is provided by City of Boonville.
  - Electrical service to this site is provided by Ameren.
  - Telephone service to this site is provided by local telephone company.
  - Natural gas service to this site is provided by gas company.
  - Public storm sewer is regulated by the City of Boonville MO
  - Existing light poles appear to be 39 feet in height with 3 feet tall bases. Actual light pole and base heights may vary throughout the site.

**CAUTION - NOTICE TO CONTRACTOR REGARDING EXISTING UTILITIES**

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HORIZONTAL CONTROL POINTS			
POINT NUMBER	DESCRIPTION	NORTHING	EASTING
1	RH 1	1135091.227	1572508.481
2	PK 1	1135088.324	1572367.66

TOPOGRAPHIC LEGEND	
DESCRIPTION	EXISTING
AERIAL ELECTRIC	—AE—
UNDERGROUND ELECTRIC	—UE—
UNDERGROUND TELEPHONE	—UT—
GAS LINE	—G—
WATERLINE	—W—
TAPER SWITCH	—SS—
SANITARY SEWER	—SS—
STORM SEWER	—SS—
EASEMENT	—E—
PROPERTY LINE	—P—
GUIDE RAIL	—GR—
CHAINLINK FENCE	—CF—
BARB WIRE FENCE	—X—X—X—
CONTOURS	—100—
UTILITY POLE	o
GUARD POST	oP
SANITARY MANHOLE	o
WATER VALVE	o
FIRE HYDRANT	o
CATCH BASIN	o
JUNCTION BOX	o
FLARED END SECTION	oD
CLEANOUT	o
GRATED INLET	o
SOIL BORING	o

Three working days prior to the start of any excavation on this site the Contractor shall call 811 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

**REVISIONS**

1	CITY REVIEW	By: C.M.W.	12/22/2025	App: R.G.R.
2				
3				
4				

TELEPHONE: (636) 239-4721  
**BFA**  
 Engineering-Surveying  
 103 ELM STREET  
 BOONVILLE, MISSOURI 65009

*Rick G. Rohlfing*  
 Rick G. Rohlfing, P.E. #29409  
 Registered Professional Engineer for the State of Missouri  
 BFA, Inc. Professional Engineering Corporation #000472

**Walmart** #00820-281  
 2150 Main St.  
 Boonville, Cooper County, Missouri  
 Walmart, Inc. 2608 SE J Street  
 Bentonville, AR 72716

DRAWN: J.S.G.  
 CHECKED: R.G.R.  
 DATE: 09/29/2025  
 SCALE: 1" = 20'  
 JOB No. 8119A  
 SHEET NAME: TOPOGRAPHIC SURVEY  
**TS-1**



**PAINTING STRIPING LEGEND**

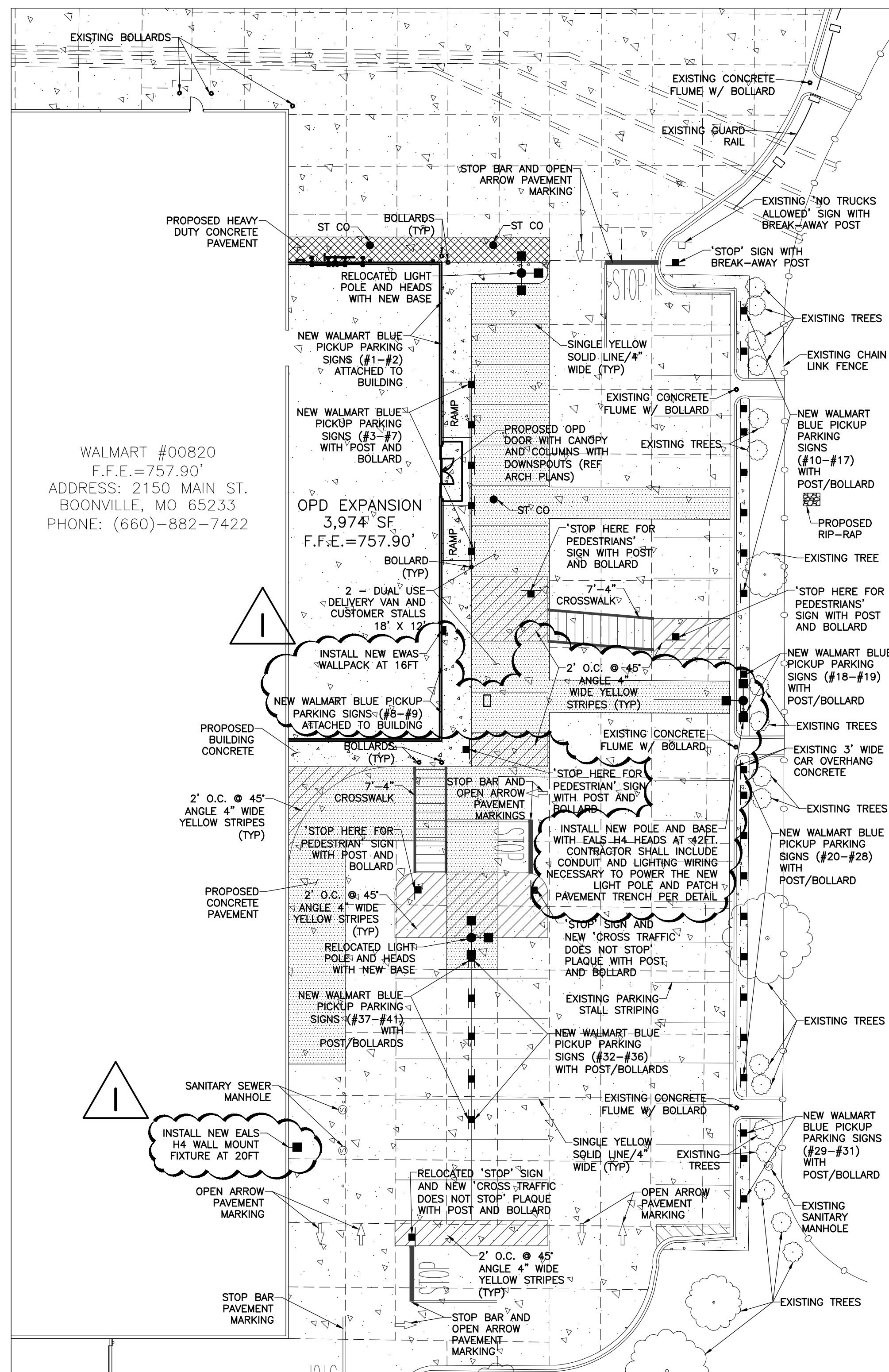
- SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE
- SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
- DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE
- EACH SYSL/10" - SINGLE YELLOW SOLID LINE / 10" WIDE
- SWDL/4" - SINGLE WHITE DASHED LINE / 4" WIDE
- SBYL/4" - SINGLE BROKEN YELLOW LINE / 4" WIDE
- SWSL/24" - SINGLE WHITE SOLID LINE / 24" WIDE

**ADA INSTRUCTIONS TO CONTRACTOR:**

- Contractors shall exercise appropriate care and precision in construction of ADA (handicap) accessible components and access routes for the site. These components, as constructed, must comply with the current ADA Standards and regulations' barrier free access and any modifications, revisions or updates to same. Finished surfaces along the accessible route of travel from parking space, public transportation, pedestrian access, inter-building access, to points of accessible building entrance/exit, must comply with these ADA code requirements. These include, but are not limited to the following:
  - Parking spaces and parking aisles - slope shall not exceed 1:50 (1/4" per foot or nominally 2.0%) in any direction.
  - Curb ramps - slope shall not exceed 1:12 (8.3%). And have a rise of no more than six inches without a handrail.
  - Landings - shall be provided at each end of ramps, must provide positive drainage, and must not exceed 1:50 (1/4" per foot or nominally 2.0%) in any direction.
  - Path of travel along accessible route - must provide a 36-inch or greater unobstructed width of travel (car overhangs and/or handrails cannot reduce this minimum width). The slope must be no greater than 1:20 (5.0%). ADA ramp requirements must be adhered to. A maximum slope of 1:12 (8.3%), for a maximum rise of 2.5 feet, shall be provided. The ramp must have ADA hand rails and 60" L Landings on each end that are cross sloped no more than 1:50 in any direction (1/4" per foot or nominally 2.0%) for positive drainage.
  - Doorways - must have a "level" landing area on the exterior side of the door that is sloped away from the door no more than 1:50 (1/4" per foot or nominally 2.0%) for positive drainage. This landing area must be no less than 60 inches (5 feet) long, except where otherwise permitted by ADA Standards for alternative doorway opening conditions. (See ICC/ANSI A117.1-2008 and other referenced incorporated by code).
  - When the proposed construction involves reconstruction, modification, revision or extension of or to ADA components from existing doorways or surfaces, contractor must verify existing elevations shown on the plan. Note that Table 405.2 of the Department of Justice's ADA Standards for Accessible design allows for steeper ramp slopes, in rare circumstances. The Contractor must immediately notify the design engineer of any discrepancies and/or field conditions that differ in any way or any respect from what is shown on the plans. In writing, before commencement of work. Constructed improvements must fall within the maximum and minimum limitations imposed by the barrier free regulations and the ADA requirement.
  - The Contractor must verify the slopes of Contractor's forms prior to pouring concrete. If any non-conformance is observed or exists, Contractor must immediately notify the engineer prior to pouring concrete. Contractor is responsible for all costs to remove, repair and replace non-conforming concrete.

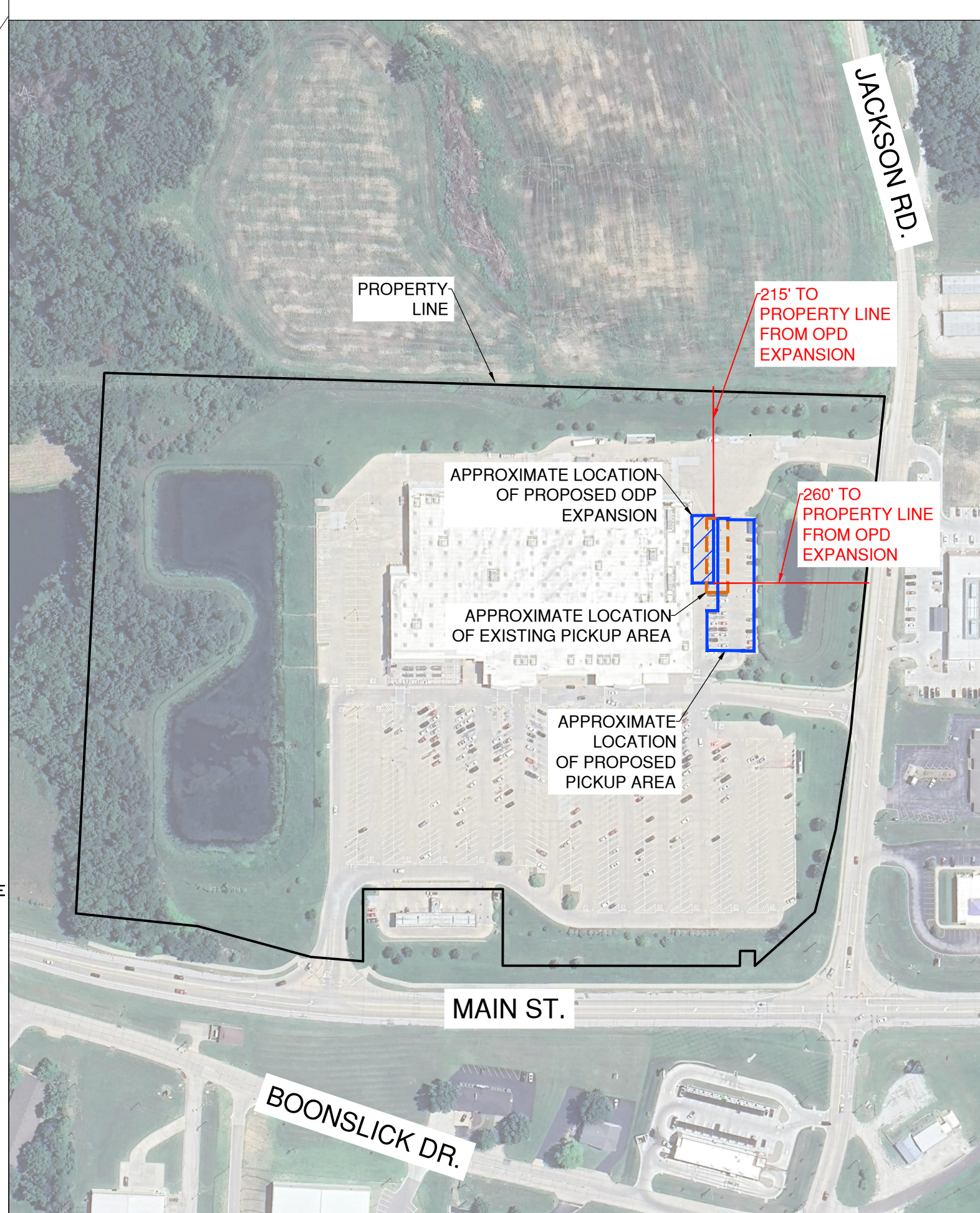
**PAVEMENT LEGEND**

- EXISTING CONCRETE PAVEMENT
- PROPOSED STANDARD DUTY CONCRETE PAVEMENT
- PROPOSED BUILDING CONCRETE (SEE ARCH. PLANS AND SPECS.)
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT

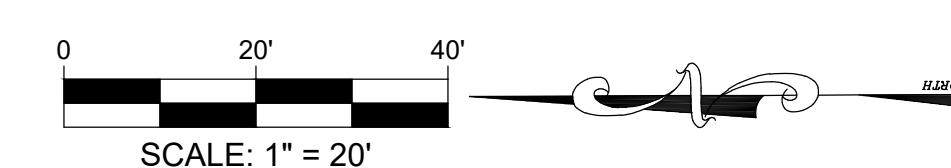


**KEY MAP**

(IMAGE BASED ON NEARMAPS AERIAL)



**SITE PLAN**



**SITE NOTES:**

- The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of the utility. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
- Bearings referenced to Grid North of the Missouri Coordinate System 1983, Central Zone per GPS observations utilizing the MoDOT VRS RTK Network.
- Contractor shall verify elevation of temporary benchmarks based on the elevation of the primary benchmark, prior to the start of construction. Contractor shall notify engineer if elevations differ from those shown on these plans.
- Temporary Benchmark - Egress Door = 757.90
- This site scales within Zone X areas of 0.2% flooding as per Federal Emergency Management Agency Flood Insurance Rate Map, Panel 155 of 475, Community-Panel No. 290530155C, Map Date: May 3, 2011.
- All trenches under paved areas shall be backfilled with granular material and compacted to meet compaction requirements for the parking lot. Granular material shall be placed and compacted to a level equal to the trench depth at the time of the utility installation.
- All unexcavated areas are to receive six inches of topsoil. Contractor to seed, mulch, fertilize and maintain all areas outside of paved areas that were disturbed during construction until an acceptable stand of grass is established. Contractor shall be responsible to take whatever means necessary to establish permanent soil stabilization.
- Contractor to contact telephone, electric, gas, and water companies to have underground utilities located on this site and adjacent to this site prior to doing any excavating.
- Contractor shall refer to architectural plans for exact locations and dimensions of vestibules, exit porches, ramps, truck docks, precise building dimensions, exact building utility entrance locations, exact number and location of downspouts, and guard post.
- The Contractor is responsible for keeping stormwater run-off and sedimentation under control during construction.
- All survey monuments disturbed during construction shall be replaced by a surveyor licensed in the state, in which this project is located, at the contractor's expense.
- The sitework for this project shall meet or exceed "The Site Specific Specifications."
- Note to Lighting Contractor: All floodlights mounted on parking light poles for purposes of illuminating the face of the building, as well as any parking lot light poles utilized for lighting the truckwell areas, shall be separately circuited for the purpose of security lighting.
- The Contractor shall verify and/or perform all necessary inspections and/or certifications required by codes and/or utility companies prior to the announced building possession date and the final completion of utility services. All fees shall be paid by the Contractor.
- All new parking lot lighting poles and fixtures with lamps and point will be provided by Walmart and installed by the Electrical Contractor. The Electrical Contractor shall provide Walmart a one-year warranty certificate. All incurred costs for receiving, storage, liability, and warranty labor shall be included in the installation and contract price. Refer to architectural plans for site lighting consult routing.
- All dimensions and radii are to the back of curb, unless otherwise shown.
- Contractor shall be responsible for all removals of and/or relocations, including but not limited to, utilities, storm drains, trees, traffic signals and poles, etc as required. All work shall be done in accordance with governing authorities specifications and shall be approved by such. All costs shall be included in base bid.
- The height of the light poles concrete base is critical (see detail).
- Contractor shall inform the construction manager of any site conditions that have changed since BFA's site visit and features shown on these plans, cart corral that are within the proposed improvement areas shall be removed and relocated to a location coordinated with the Walmart store manager.

**SITE LIGHTING CONTRACTOR NOTES:**

REFER TO ARCHITECTURAL PLANS FOR LIGHTING ELECTRICAL PLAN

**ABBREVIATION LEGEND**

ABBREVIATION	DESCRIPTION
EL	ELEVATION
FL	FLOW LINE
N/F	NOW AND FORMERLY

**PARKING LEGEND**

Ⓜ	CUSTOMER PARKING
Ⓜ*	ASSOCIATE PARKING

**STRUCTURE ABBREVIATION LEGEND**

ABBREVIATION	DESCRIPTION
BHI	BEE-HIVE INLET
CB	CATCH BASIN
CO	CLEAN OUT
FES	FLARED END SECTION
JB	JUNCTION BOX
CS	CONTROL STRUCTURE
SRD	SIPHONIC ROOF DRAIN
CS	CONTROL STRUCTURE

**SITE PLAN LEGEND**

DESCRIPTION	PROPOSED	EXISTING
AERIAL ELECTRIC	—AE—	—AE—
UTILITY POLE	•	•
GUARD POST	•	•
SANITARY MANHOLE	•	•
CATCH BASIN	•	•
JUNCTION BOX	•	•
FLARED END SECTION	•	•
CLEANOUT	•	•
GRATED INLET	•	•
GUIDE RAIL	—	—
CHAINLINK FENCE	—X—X—X—	—X—X—X—
BARBIRE FENCE	—X—X—X—	—X—X—X—
WATER VALVE	•	•
FIRE HYDRANT	•	•
EASEMENT	—	—
PROPERTY LINE	—	—

**Luminaire Schedule**

Symbol	Qty	Label	Arrangement	Description	LLF	Arrangement Watts	Arrangement Luminaire Lumens	BUG Rating
■	1	WH4_20	SINGLE	1-EAL8038H4AF760NDC1BLCK w/WMM-EAMT06BLCK mounted at 20ft	0.837	140	20000	B3-U0-G3
■	1	WC4_16	SINGLE	1-EAAS010C4AF740N1FMBLCK mounted at 16ft	0.837	56	7500	B1-U0-G2
■	1	T2H4_42	TRIPLE	1-EAL8038H4AF760NDD1BLCKFS1 & 1-EAL8038H4AF760NDD1BLCKFS2 & 1-EAL8038H4AF760NDD1BLCKP 39ft pole on 3ft base	0.837	420	60000	B3-U0-G3

**PARKING INFORMATION NOTES**

- TOTAL BUILDING AREA WAS OBTAINED FROM THE ADR (BRR ARCHITECTURE) ON 07/28/2025
- EXISTING PARKING COUNTS ARE BASED ON ORIGINAL CONSTRUCTION PLANS, A REVIEW OF AVAILABLE AERIAL PHOTOGRAPHS AND SITE VISIT BY BFA ON 07/28/2025
- PARKING SPACES OCCUPIED BY CART CORRALS HAVE BEEN EXCLUDED FROM THE PARKING COUNTS AND PARKING RATIOS. THERE ARE 12 DOUBLE AND 0 SINGLE EXISTING CART CORRALS TAKING UP 24 SPACES.
- THE VAN STALL COUNT IS INCLUDED IN THE ADA PARKING STALLS PROVIDED COUNT
- CART CORRALS THAT ARE WITHIN THE PROPOSED OPD PARKING AREAS SHALL BE RELOCATED. CONTRACTOR SHALL COORDINATE NEW CART CORRAL LOCATIONS WITH THE STORE MANAGER.
- ECR INFORMATION PROVIDED BY MWEBSTER ON 04/09/2025. NOT SUBJECT TO ECR.
- SITE IS ZONED C-P PLANNED BUSINESS DISTRICT. IT APPEARS FROM THE ORIGINAL SITE PLAN, 739 SPACES WERE APPROVED WITH THE ORIGINAL SITE PLAN. AN AMENDMENT TO THE ORIGINAL PLANNED BUSINESS DISTRICT APPROVAL MAY BE REQUIRED FOR PROPOSED PARKING BEING BELOW A 5.0 RATIO.

**SITE ANALYSIS TABLE (EXISTING STORE)**

	EXISTING	PROPOSED
TOTAL BUILDING AREA	148,822 S.F.	152,796 S.F.
REQUIRED PARKING (PER CITY OF BOONVILLE, MO)	745 SPACES	764 SPACES
REQUIRED PARKING RATIO (PER CITY OF BOONVILLE, MO)	5.00/1,000 S.F.	5.00/1,000 S.F.
CUSTOMER AND ASSOCIATE PARKING	700 SPACES	656 SPACES
ACCESSIBLE PARKING	21 SPACES	21 SPACES
EV PARKING	4 SPACES	4 SPACES
PICKUP PARKING	20 SPACES	41 SPACES
CART CORRALS (NOT INCLUDED IN PARKING COUNTS BELOW)	12 CORRALS / 24 SPACES	12 CORRALS / 24 SPACES
PROPOSED TOTAL PARKING EXCLUDING PICKUP STALLS	725 SPACES	681 SPACES
PROPOSED PARKING RATIO EXCLUDING PICKUP STALLS	4.87/1,000 S.F.	4.46/1,000 S.F.
PROPOSED TOTAL PARKING INCLUDING PICKUP STALLS	745 SPACES	722 SPACES
PROPOSED PARKING RATIO INCLUDING PICKUP STALLS	5.01/1,000 S.F.	4.73/1,000 S.F.

CONTRACTOR SHALL REFER TO SECP-1 AND SECP-2 PLAN SHEETS FOR ADDITIONAL INFORMATION AND IMPROVEMENTS

Three working days prior to the start of any excavation on this site the Contractor shall call 811 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

**REVISIONS**

NO.	DATE	REVISION
1	12/22/25	CITY REVIEW
2		
3		
4		

By: [Signature] App: [Signature]

By: [Signature] App: [Signature]

By: [Signature] App: [Signature]

By: [Signature] App: [Signature]

By: [Signature] App: [Signature]

By: [Signature] App: [Signature]

By: [Signature] App: [Signature]

By: [Signature] App: [Signature]

By: [Signature] App: [Signature]

By: [Signature] App: [Signature]

SP-1

Walmart #00820-281  
2150 Main St.  
Boonville, Cooper County, Missouri  
Walmart, Inc. 2608 SE J Street  
Bentonville, AR 72716

DRAWN: J.S.G.  
CHECKED: R.G.H.  
DATE: 09/29/2025  
SCALE: 1" = 20'  
JOB No.: 8119A  
SHEET NAME: SITE PLAN

SP-1

**RESOLUTION NO. R2026-02**

**A RESOLUTION OF THE CITY OF BOONVILLE, MISSOURI AUTHORIZING AND APPROVING A COOPERATIVE AGREEMENT BETWEEN THE COOPER COUNTY COLLECTOR AND THE CITY OF BOONVILLE, MISSOURI REGARDING THE COLLECTION OF CITY AD VALOREM TAXES; AND PROVIDING AN EFFECTIVE DATE THEREFOR.**

**WHEREAS**, the City of Boonville, Missouri and the Cooper County Collector desire to enter into a Cooperative Agreement authorized and permitted by Sections 50.322, 70.220 to 70.320 inclusive, and Sections 140.670 to 140.750 inclusive, of the Revised Statutes of Missouri, for the cooperative efforts of the parties to collect the taxes of the City of Boonville on property located within the boundaries of said City, which is located in Cooper County, Missouri; and

**WHEREAS**, the previous agreement expires on August 31, 2026.

**NOW THEREFORE**, be it resolved by the City Council of the City of Boonville, Missouri as follows:

**SECTION 1:** That a certain Cooperative Agreement between the Cooper County Collector and the City of Boonville, Missouri, a copy of which is marked "**Exhibit A**" and is attached hereto and made a part hereof, is hereby approved.

**SECTION 2:** That the Mayor and the City Clerk be and are hereby authorized to execute, and attest said Agreement, in multiple counterparts, on behalf of the City of Boonville.

**SECTION 3:** This resolution shall take effect and be in full force from and after its passage and approval.

**Passed this 2<sup>nd</sup> Day of February, 2026, by the City Council of Boonville, Missouri**

\_\_\_\_\_  
**Ned Beach, Mayor**

**ATTEST:**

\_\_\_\_\_  
**Amber Davis, City Clerk**

## COOPERATIVE AGREEMENT

THIS AGREEMENT made and entered in this \_\_\_\_ day of February, 2026, by and between the City of Boonville, Missouri, a municipal corporation, and hereinafter referred to as the “City”, the Collector of Cooper County, Missouri, and hereinafter referred to as the “Collector”, and the County Commissioners of Cooper County, Missouri, and hereinafter referred to as the “Commissioners”.

**WHEREAS**, statutory provisions set out in Sections 50.332 and 70.220, RSMO, allow county officials to contract with municipalities of the third class to perform services for such municipality of the same type the county official performs for the county; and

**WHEREAS**, tax collection and extension occurs at the County Courthouse for other political subdivisions within Boonville, and so it is the most cost effective and efficient for municipal tax collection to also occur at the County Courthouse; and

**WHEREAS**, previous contracts included a provision to reimburse Commissioners for the supplies, computers and computer programming necessary to effectuate tax collection but the Commissioners have declined reimbursement for the use of these supplies for municipal tax collection; and

**WHEREAS**, the parties contract is expiring on August 31, 2026, for the Collector to perform services which have been customarily performed by the office for the City in past years relating to the collection of City taxes, including but not by way of limitation, printing, collecting and remitting City of Boonville real and personal property tax payable to the City; and

**WHEREAS**, to perform the contemplated services and to receive the certified information to collect taxes, there must be a written agreement between the City and the Collector; and

**WHEREAS**, the parties wish to enter into an agreement for the Clerk to perform such services as are necessary for extending City tax books as generally described in Section 137.290, RSMO, and certifying or authenticating such information to the County Collector for collection on property located within the boundaries of said City pursuant to a separate contractual arrangement between the City and the Cooper County Collector

NOW, THEREFORE, it is hereby mutually agreed as follows:

1. **Extent of Services to be Provided by Collector.** It is understood and agreed that the Collector shall use her best professional efforts to effectuate the collection of the City Taxes as set forth herein, by all lawful and proper means. The Collector shall:
  - a. Maintain reasonable and appropriate accounting and depository records to pay the taxes collected by her in accordance with this agreement to the City of Boonville;
  - b. Have the power to collect the Real and Personal property taxes of the City as provided by Section 140.690, RSMO;
  - c. As provided by section 140.690, RSMO, real property is in all cases liable for all taxes for the City and a lien is created for all these taxes, and the interest and costs provided by law, the same as for the applicable State and County taxes, which lien shall be enforced as set out in Chapter 140, RSMO;
  - d. The Collector will create and mail tax statements and notices to all applicable residents of the City of Boonville;
  - e. The Collector will provide to the City, a delinquent tax list, not later than March 20 of each year; and

- f. The Collector will disburse the monies monthly.
2. **Compensation to be Paid by the City.** It is understood and agreed that the City shall compensate the Collector for this work.
    - a. The City shall compensate the Collector \$1.60 per tax bill sent to taxpayers in the City of Boonville. The Collector shall invoice the City no later than December 15<sup>th</sup> with the total amount to be paid for these services.
    - b. The Collector shall submit a bill to the City quarterly for the collection of all delinquent taxes, at the same rate of \$1.60 per delinquent tax payment.
    - c. Such compensation shall be paid directly to the Collector, in addition to any other salary or compensation received by the Collector for her official duties, and the City shall issue Form 1099 in a timely manner, evidencing such payment. It is further understood and agreed that such compensation shall not constitute additional salary for the position of County Collector and shall not be subject to the County's payroll benefits and withholding.
  3. **Accounting and Reconciliation.** It is mutually understood and agreed that the Collector shall provide any accounting and reconciliation records to the City as may be necessary to achieve the results contemplated in this Agreement for the collection of the City's taxes.
  4. **Records Transfer to City.** Upon the termination of this Agreement the Collector shall make available to the City any existing records under her control as may be necessary to enable the City to undertake the collection of taxes assessed on real property situated in the City of Boonville, Missouri, for the year after such termination.
  5. **Services to be Consistent With Clerk.** It is contemplated by this Agreement and understood by the parties that the City taxes shall be added to and included on the County tax statements by the County Collector as an additional political subdivision, and the County Clerk shall perform his services in such a manner as shall be consistent therewith.
  6. **Agreement Subject to Approval.** It is further understood and agreed that this Agreement must be approved by the Cooper County Commission under the provisions of Section 137.290, RSMO, in order to become effective and the parties hereby agree to execute and submit the Agreement for approval, in a timely manner, and further hereby request the County Commission to approve the Agreement.
  7. **Agreement Term.** This Agreement shall expire on August 31, 2028. The Cooper County Collector, the County Commissioners and the City will begin meeting by the 28<sup>th</sup> of February to determine provisions for a new contract.
  8. **Facsimile and Electronic Signatures Binding.** It is understood and agreed that facsimile and electronic copies of the original signatures on this Agreement shall have the same effect and be binding on the parties as if they were the original signatures.

IN WITNESS WHEREOF, the parties have hereunto set their hands and affixed their official seals as of the \_\_\_\_ day of February, 2026.

CITY OF BOONVILLE, MISSOURI

ATTEST:

By: \_\_\_\_\_  
Mayor

By: \_\_\_\_\_  
City Clerk

COUNTY OF COOPER, MISSOURI

ATTEST:

By: \_\_\_\_\_  
County Collector

By: \_\_\_\_\_  
County Clerk

By: \_\_\_\_\_  
Presiding Commissioner

ATTEST:

By: \_\_\_\_\_  
Eastern Commissioner

\_\_\_\_\_  
County Clerk

By: \_\_\_\_\_  
Western Commissioner

**RESOLUTION NO. R2026-03**

**A RESOLUTION OF THE CITY OF BOONVILLE, MISSOURI AUTHORIZING AND APPROVING A COOPERATIVE AGREEMENT BETWEEN THE COOPER COUNTY CLERK AND THE CITY OF BOONVILLE, MISSOURI REGARDING THE COLLECTION OF CITY AD VALOREM TAXES; AND PROVIDING AN EFFECTIVE DATE THEREFOR.**

**WHEREAS**, the City of Boonville, Missouri and the Cooper County Clerk desire to enter into a Cooperative Agreement authorized and permitted by Sections 50.322, 70.220 to 70.320 inclusive, and Sections 140.670 to 140.750 inclusive, of the Revised Statutes of Missouri, for the cooperative efforts of the parties to collect the taxes of the City of Boonville on property located within the boundaries of said City, which is located in Cooper County, Missouri.

**WHEREAS**, the previous agreement expires on August 31, 2026

**NOW THEREFORE**, be it resolved by the City Council of the City of Boonville, Missouri as follows:

**SECTION 1:** That a certain Cooperative Agreement between the Cooper County Clerk and the City of Boonville, Missouri, a copy of which is marked "**Exhibit A**" and is attached hereto and made a part hereof, is hereby approved.

**SECTION 2:** That the Mayor and the City Clerk be and are hereby authorized to execute, and attest said Agreement, in multiple counterparts, on behalf of the City of Boonville.

**SECTION 3:** That the fully executed Agreement and counterparts be delivered to the Cooper County Commission for consideration and approval as soon as practicable.

**SECTION 4:** This resolution shall take effect and be in full force from and after its passage and approval.

**Passed this 2<sup>ND</sup> Day of February, 2026, by the City Council of Boonville, Missouri**

\_\_\_\_\_  
**Ned Beach, Mayor**

**ATTEST:**

\_\_\_\_\_  
**Amber Davis, City Clerk**

## COOPERATIVE AGREEMENT

THIS AGREEMENT made and entered in this \_\_\_\_ day of February, 2026, by and between the City of Boonville, Missouri, a municipal corporation, and hereinafter referred to as the “City”, and the County Clerk of Cooper County, Missouri, and hereinafter referred to as the “Clerk”, and the County Commissioners of Cooper County, Missouri, and hereinafter referred to as the “Commissioners”.

**WHEREAS**, statutory provisions set out in Sections 50.332 and 70.220, RSMo., allow county officials to contract with municipalities of the third class to perform services for such municipality of the same type the county official performs for the county; and

**WHEREAS**, tax collection and extension occurs at the County Courthouse for other political subdivisions within Boonville, and so it is the most cost effective and efficient for municipal tax collection to also occur at the County Courthouse; and

**WHEREAS**, previous contracts included a provision to reimburse Commissioners for the supplies, computers and computer programming necessary to effectuate tax collection but the Commissioners have declined reimbursement for the use of these supplies for municipal tax collection; and

**WHEREAS**, the parties contract is expiring on August 31, 2026 for the Clerk to perform services which have been customarily performed by the office for the City in past years relating to the collection of City taxes, including but not by way of limitation, extending the tax books and certifying or authenticating such tax books to the Cooper County Collector; and

**WHEREAS**, to perform the contemplated services and certify information to the County Collector, there must be a written agreement between the City and the Clerk; and

**WHEREAS**, the parties wish to enter into an agreement for the Clerk to perform such services as are necessary for extending City tax books as generally described in Section 137.290, RSMo., and certifying or authenticating such information to the County Collector for collection on property located within the boundaries of said City pursuant to a separate contractual arrangement between the City and the Cooper County Collector

NOW, THEREFORE, it is hereby mutually agreed as follows:

1. **Term and Extent of Services to be Provided by Clerk.** It is understood and agreed that the Clerk shall use his best professional efforts to effectuate the collection of the City Taxes as set forth herein by all lawful and proper means. The Clerk shall:
  - a. Perform the services necessary to extend the City’s Tax Books each tax year and certify or authenticate such records to the Cooper County Collector as provided in the Revised Statutes of Missouri, no later than October 31.
  - b. The Clerk shall provide to the City, a copy of the final tax printouts, for the current year, including a list of tax payers, valuations, assessments, amount of taxes due and other pertinent information vital to the tax billing service not later than November 10<sup>th</sup>.
  - c. The Clerk shall further perform any additional or incidental services necessary to allow for the collection of the City’s taxes for 2026. Such services shall be performed in a professional and diligent manner as contemplated by applicable statutory law.

2. **Compensation to be Paid by the City.** The City shall compensate the Clerk \$1.10 per tax bill sent to taxpayers in the City of Boonville. The Clerk shall invoice the City no later than December 15<sup>th</sup> with the total amount to be paid for these services. Payment to the Clerk shall be annual lump sum payment. Such compensation shall be paid directly to the Clerk, in addition to any other salary or compensation received by the Clerk for his official duties, and the City shall issue Form 1099 in a timely manner, evidencing such payment. It is further understood and agreed that such compensation shall not constitute additional salary for the position of County Clerk and shall not be subject to the County's payroll benefits and withholding.
3. **Accounting and Reconciliation.** It is mutually understood and agreed that the Clerk shall provide any necessary accounting and reconciliation records to the City as may be necessary to achieve the results contemplated in this Agreement for the collection of the City's taxes.
4. **Records Transfer to City.** Upon the termination of this Agreement the Clerk shall make available to the City any existing records under his control as may be necessary to enable the City to undertake the collection of taxes assessed on real property situated in the City of Boonville, Missouri, for the year after such termination.
5. **Services to be Consistent With Collector.** It is contemplated by this Agreement and understood by the parties that the City taxes shall be added to and included on the County tax statements by the County Collector as an additional political subdivision, and the Clerk shall perform his services in such a manner as shall be consistent therewith.
6. **Agreement Subject to Approval.** It is further understood and agreed that this Agreement must be approved by the Cooper County Commission under the provisions of Section 137.290, RSMo., in order to become effective and the parties hereby agree to execute and submit the Agreement for approval, in a timely manner, and further hereby request the County Commission to approve the Agreement.
7. **Agreement Term.** This Agreement shall expire on August 31, 2028. The Cooper County Clerk, the County Commissioners and the City will begin meeting by the 28<sup>th</sup> of February to determine provisions for a new contract.
8. **Facsimile and Electronic Signatures Binding.** It is understood and agreed that facsimile and electronic copies of the original signatures on this Agreement shall have the same effect and be binding on the parties as if they were the original signatures.

IN WITNESS WHEREOF, the parties have hereunto set their hands and affixed their official seals as of the \_\_\_\_ day of February, 2026.

CITY OF BOONVILLE, MISSOURI

ATTEST:

By: \_\_\_\_\_  
Mayor

By: \_\_\_\_\_  
City Clerk

COUNTY OF COOPER, MISSOURI

ATTEST:

By: \_\_\_\_\_  
County Clerk

By: \_\_\_\_\_  
County Collector

By: \_\_\_\_\_  
Presiding Commissioner

ATTEST:

By: \_\_\_\_\_  
Eastern Commissioner

\_\_\_\_\_  
County Collector

By: \_\_\_\_\_  
Western Commissioner



January 28, 2026

To: Mayor and City Council  
From: Kate Fjell, City Administrator  
Re: Council Meeting Notes, 2.2.26

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It should be another relatively short business meeting on Monday. Just a couple comments on agenda items:

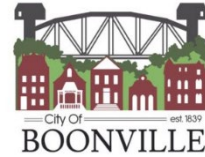
**Pay App and Change Order for CL Richardson:** Work continues on the water and sewer project. Obviously, weather has slowed some of this work, but it will continue as weather allows. There is one change order that will need to be approved as well; this is for some coring and concrete reinforcement that is necessary install the sewer line to a manhole.

**New Business: County Clerk and County Collector Agreements for tax collection**

There are 2 resolutions for property tax collection contracted with county officials. There is no change to cost or scope. The only change is that this agreement will not expire until 2028. I believe there is now certainty in this area which will ensure smooth tax collection for years to come.

**Miscellaneous**

- A big thank you to the parks crews and street crews that shoveled, plowed and removed the snow from the storm. As an avid walker, I was happy to be able to go out walking on Monday thanks to all their hard work!
- We are nearing the end of the budget work sessions. At the 2/17 meeting we will present a full and complete budget, and I am tentatively planning to put it on for a first reading. This will also include the water and sewer rates for FY 26-27. If you have any questions about the budgets, planned capital or other items please come see me or the relevant department head to discuss. I know that you see it all in bits and pieces but this work session tonight and the next session will complete all the pieces and especially highlight the uses of gaming funds, CIP and other funds which have more mixed uses.



## Economic Developer’s Report

January 22, 2026

Narrative:

Happy New Year! After no relevant activity since last May, I’m happy to report that the Missouri Partnership did put out two RFIs to which we have responded. On Project Beagle the only qualifying site was a lot in Mid America Industrial Park. For Project Endor, I submitted sites in Boonville, and Cooper and Howard Counties. Background work on Project Spinner continued, and the BCDC hosted its first entrepreneurial education seminar (angel investment) on 1/13/26 with 21 attendees. Points of emphasis are in **Bold**.

### 1. Active Projects:

Boonslick Community Development Corporation								
Active Project List								
NEW	ADVANCING	ON HOLD	Questionable	Out				
Updated: 1/13/2026								
Orig Date	Project Name	Type	Source	Score	Trend	Short Description	Loc	
25 1/12/2026	Endor	Manufacturing	MoPar	5	↔	Adv. Manufacturing and Testing	BCH	
24 12/11/2025	Beagle	Manufacturing	MoPar	5	↔	Heavy Manufacturing	B	
23 10/1/2025	Spinner	IT	Local	3	↔	IT Services Company	BCH	
18 6/2/2025	Alan	Plt. Expansion	Local	5	↓	Training facility	C	
17 5/27/2025	Locksmith 2	Food Mfg.	MoPar	6	↔	Food Manufacturing	B	
16 5/1/2025	Extend	Energy	Local	9	↑	Energy	C	
13 3/26/2025	Kraken	Med Eq. Mfg.	MoPar	5	↔	Medical Equipment Manufacturing	B	
11 3/19/2025	Ace	Manufacturing	Local	5	↔	Assembly of high technology parts	C	
9 3/19/2025	Zach	Manufacturing	Local	7	↑	Assembly of high technology parts	C/B	
7 2/27/2025	Bell	Industrial	Local	3	↔	Plastic extrusion	B	
3 1/30/2025	Markus	Bioscience	Local	6	↑	Biomedical manufacturing	B	
2 1/30/2025	Pasta	Bioscience	Local	2	↔	Biomedical manufacturing	B	
1 1/17/2025	Magnito	Industrial	MoPar	3	↔	High value metal recovery	C	

### 2. Attraction Activities:

- a. Project Orpheus – No Response (Barge/Rail) – (Pg. 3)
- b. Project Beagle – Response for Boonville Site (Pg. 4)
  - i. Discussion of utility Availability:
    - 1. 12/22/25 Memo to Boonville City Council (Pg. 25)
    - 2. Supporting Docs (Pg 27)
    - 3. Glasgow site
    - 4. HCIP – Gas availability
- c. Project Endor – Response for Boonville, Cooper and Howard Counties (Pg. 32)
- d. Project Spinner
  - i. Commissioned civil engineer to assist in prospective site selection
  - ii. Holding for utility technical information
  - iii. Overview of industry (Pg. 38)
  - iv. Call with prospect 12/15/25
- e. Project Markus
  - i. Prospect chose a location elsewhere in the State of Missouri

3. **Retention Activities:**
  - a. **Kawasaki**
    - i. **Chapter 100 Validation & Action by IDA**
  - b. **CMMG**
    - i. **Visit notes (Pg. 70) 12/24/25**
  - c. **Missouri Pacific Lumber 1/7/26**
    - i. **Visit notes (Pg. 76)**
    - ii. **Industry Background (Pg. 88)**
4. **Expansion Activities:**
  - a. **Project Zach**
    - i. **Re-Engaged on Expansion Plans**
    - ii. **See video link in email**
    - iii. **Industry thought leadership (Pg. 100)**
    - iv. **Sources of funding (Pg. 104)**
  - b. **Hotel Study**
    - i. **Received lead for potential developer**
    - ii. **May be affected by lease of property for I-70 project**
  - c. **Received and forwarded information for infrastructure financing in WPIP (Pg. 107)**
    - i. **Met with COMO Connect to discuss 1/6/2026**
5. **Entrepreneurial Support:**
  - a. **Successful Angel Investment Seminar (Pg. 109)**
  - b. **Creation of Entrepreneurial Support Example Book (Pg. 113)**
  - c. **SBA Disaster Loan information (Pg. 117)**
  - d. **Discussion regarding renewing Boonville MFA and HoCo revolving loan programs**
    - i. **MFA Packet (Pg. 121)**
    - ii. **Howard Co RLF program description (Pg. 135)**
    - iii. **Howard Co RLF Application (Pg. 140)**
    - iv. **Enterprise Development Credit Memo (Pg. 142)**
    - v. **Process:**
      1. **Intake/requirement of business plan/loan approval/servicing**
  - e. **Counseled local entrepreneur on buy/sell of business. Referral made.**
  - f. **Referred local company to specialty attorney**
  - g. **Upcoming meeting with downtown retailer to discuss example guide**
6. **Workforce Development:**
  - a. **No Activity this period**
7. **Housing Development:**
  - a. **No Activity**
8. **Community Activities**
  - a. **Hosted meeting for Port Authority 1/9/2026**
  - b. **Forwarded inquiry for warehousing to potential landlord**
  - c. **Attended Port Authority Christmas party 12/11/25**
  - d. **Attended SBA disaster recover assistance meeting 12/9/25**
  - e. **Distributed press release re: AECl to KWRT and BDN – 12/8/25**

## 9. BCDC Topics

- a. **BCDC donation from Enterprise Development Corporation (Pg. 148)**
- b. **Progress on MU Collaboration Agreement – Redline – (Pg 149) 12/18/25**
  - i. **Draft Job Description (Pg. 152)**
- c. **All updated NDAs are complete**
- d. **BCDC land discussion**
  - i. **Pending request for easements (Pg. 155)**
  - ii. **Discussions with many primes/subs for I-70 Project**
  - iii. **MECO report on land improvements (Pg. 160)**
- e. **Article – Building Code updates from Columbia and commercial impact (Pg. 163)**
- f. **Job announcement FYI – Columbia REDI (Pg. 165)**
- g. **Fayette Boutique Hotel Analysis – Fayette Caring Center (Pg. 174)**
- h. **Prospective letter to Fitzgibbon re. health services (Pg. 177)**
- i. MoPar transition to Lasso (Pg. 180)
- j. MoPar region map (Pg. 182)
- k. Chamber of Commerce banquet info (Pg. 183)
- l. Mid Mo RPC Regional transportation needs list (Pg. 184)

## 10. Other Matters

- a. Scheduled placer training 1/21/25
- b. Meeting scheduled with Ameren 1/16/25
- c. Watched “State of the State” 1/13/25
- d. Attended HCEDC meeting 12/4/25
- e. Attended HCEDC/BCDC Monthly meeting 12/8/25
- f. Attended Multi-modal TAC meeting 12/10/25
- g. Attended LASSO training 1/14/2026
- h. Attended MoPAR Missouri Meetup 1/13/2026
- i. Attended LivePlan training 1/7/2026
- j. Attended LightCast training 12/9/25
- k. Met with Capital Materials to discuss 87 property 1/5/26
- l. MMRPC Transportation Advisory Committee 12/17/25
- m. Placer.ai training 12/16/25
- n. Cooper Co in Beijing Review (Pg. 186)
- o. Article on economic development in small towns (Pg. 190)
- p. Missouri 2025 Job posting data (Pg. 193)
- q. Missouri Manufacturing data (Pg. 194)
- r. Missouri Partnership 2025 results (Pg. 197)
- s. Purchasing Manager’s index report – Midwest (Pg. 199)
- t. VISA US 2026 Economic outlook (Pg. 200)
- u. VISA US Spending Momentum Index (Pg. 209)
- v. VISA American Mood Trend (Pg. 214)
- w. VISA 2026 Global Economic Outlook (Pg. 218)